

A G E N D A

FOR THE *REGULAR MEETING OF RED DEER CITY COUNCIL*

TO BE HELD IN THE COUNCIL CHAMBERS, CITY HALL

TUESDAY, APRIL 22, 2003

COMMENCING AT *4:30 P.M.*

- (1) Confirmation of the Minutes of the Regular Meeting of Monday, April 7, 2003.
- (2) UNFINISHED BUSINESS
- (3) PUBLIC HEARINGS
 1. Parkland Community Planning Services – Re: *West Park Extension (Westlake):*
 - (a) *Neighbourhood Area Structure Plan Amendment 3217/B-2003*
(Consideration of 2nd & 3rd Readings of the Bylaw) . .1
 - (b) *Parkland Community Planning Services – Re: Land Use Bylaw Amendment 3156/G-2003 / Rezoning of Public Utility Lots and Municipal Reserve Lot from A1 Future Urban Development to P1 Parks and Recreation District / West Park Extension / Trademark West Park Inc.*
(Consideration of 2nd & 3rd Readings of the Bylaw) . .1

- (c) *Land Use Bylaw Amendment 3156/H-2003 / Rezoning of Land from R1 Residential Low Density to P1 Parks and Recreation and R1N Residential Narrow Lot, from P1 Parks & Recreation to R1 Residential Low Density, from R1N Residential Narrow Lot to R1 Residential Low Density and from Road to R1 Residential Low Density to R1A/ Trademark West Park Inc.*
(Consideration of 2nd & 3rd Readings of the Bylaw) . .1
2. *Parkland Community Planning Services – Re: Aspen Ridge Neighbourhood:*
- (a) *Aspen Ridge Neighbourhood Area Structure Plan Amendment 3217/D-2003 / Melcor Developments Ltd.*
(Consideration of 2nd & 3rd Readings of the Bylaw) . .38
- (b) *Land Use Bylaw Amendment 3156/K-2003 / Rezoning of 10.0 ha of Land From A1 Future Urban Development District to R1 Residential Low Density and R1A Residential (semi-detached) Districts / Phases 12 & 13 / Aspen Ridge Neighbourhood / Melcor Developments Ltd.*
(Consideration of 2nd & 3rd Readings of the Bylaw) . .51
3. *Parkland Community Planning Services – Re: Land Use Bylaw Amendment 3156/M-2003 / Part of the SW ¼ Sec. 3-38-27-4 / Rezoning of 9.36 ha of Land from A1 Future Urban Development District to R1 Residential Low Density, P1 Parks and Recreation Districts and Road / Inglewood Communities Inc.*
(Consideration of 2nd & 3rd Readings of the Bylaw) . .53
4. *Parkland Community Planning Services – Re: Land Use Bylaw Amendment 3156/N-2003 – Various Items to Improve Clarity of the Land Use Bylaw*
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5. Land & Economic Development Manager – Re: *Laebon Developments Ltd / Sale of Land:*
 - (a) Road Closure Bylaw 3308/2003 (Plan 892-3301 / Kentwood Drive)
(Consideration of 2nd & 3rd Readings of the Bylaw) . .70
 - (b) Road Closure Bylaw 3309/2003 (Plan 892-0111 / Area Required for Road)
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3. Tax Collector – Re: *2003 Tax Rate Bylaw – Bylaw No. 3312/2003*
(Consideration of 3 Readings of the Bylaw) . .81
4. City Clerk – Re: *Resolutions for the 2003 AUMA Annual Convention* . .86
5. Parkland Community Planning Services – Re: *Land Use Bylaw Amendment 3156/R-2003 / Addition of Historic Significance Properties*
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(5) CORRESPONDENCE

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City Clerk's Department

DATE: April 14, 2003
TO: City Council
FROM: City Clerk
SUBJECT: West Park Extension (Westlake):
Neighbourhood Area Structure Plan Bylaw Amendment 3217/B-2003
Land Use Bylaw Amendment 3156/G-2003
Land Use Bylaw Amendment 3156/H-2003

At the Monday, April 7, 2003 Council Meeting, Public Hearings were reopened for West Park Extension (Westlake) Neighbourhood Area Structure Plan Bylaw Amendment 3217/B-2003, Land Use Bylaw Amendment 3156/G-2003 and Land Use Bylaw Amendment 3156/H-2003.

Prior to closing the Public Hearings, a resolution was passed to again adjourn the Public Hearings to Tuesday, April 22, 2003.

Discussion

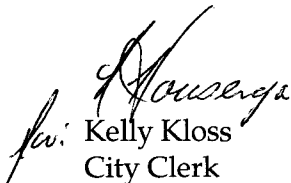
Upon further review of these amendments by the Administration and Developer, no further changes are recommended other than those proposed in the report from Parkland Community Planning Services dated April 1, 2003 (attached).

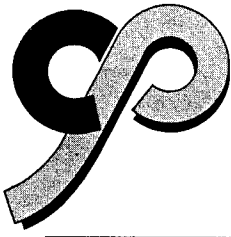
Recommendations

That following the Public Hearings, Council pass a resolution to amend West Park Extension (Westlake) Neighbourhood Area Structure Plan Bylaw 3217/B-2003 and Land Use Bylaw Amendment 3156/G-2003.

That Council proceed with second and third readings of the following:

- West Park Extension (Westlake) Neighbourhood Area Structure Plan Amendment 3217/B-2003
- Land Use Bylaw Amendment 3156/G-2003
- Land Use Bylaw Amendment 3156/H-2003


for: Kelly Kloss
City Clerk



DATE: April 1, 2003

TO: Kelly Kloss City Clerk

RE: West Park Extension (Westlake) Neighbourhood Area Structure Plan
Bylaw Amendment No. 3217/B-2003
Land Use Bylaw Amendment 3156/G-2003
Land Use Bylaw Amendment 3156/H-2003

On March 24, 2003, Public Hearings for the West Park Extension (Westlake) Neighbourhood Area Structure Plan Amendment 3217/B-2003, Land Use Bylaw Amendment 3156/G-2003, and Land Use Bylaw Amendment 3156/H-2003 were opened and then adjourned to the Council Meeting of April 7, 2003. The adjournment was so that City Administration can review changes to the design of the proposed berm along Highway No. 2.

The review resulted in the proposed berm being widened from 15m to 30m (the berm will be an earth berm; the existing Plan called for a 15m earth berm with fence) and an alteration of the size and shape of the storm detention pond adjacent to the berm. Map No. 5/2003 of Bylaw No. 3156/G-2003 has been revised to include these changes which also included the full length of Webster Drive along the east boundary of the future residential site.

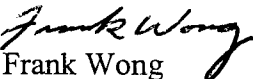
This minor change also affected the servicing plans, Plan text, and development statistics of the West Park Extension (Westlake) Neighbourhood Area Structure Plan. Bylaw Amendment 3217/B-2003 has been revised to include these additional changes. The NASP, combined with the original amendment of the enlargement of the northeast storm detention pond, results in having an increase in open space from 13.06 ha (20.65%) to 14.41 ha (22.78%), the multiple-family site is decreased from 3.92 ha to 3.32 ha and a loss of 4 single-family lots adjacent to the northeast detention pond area.

The Engineering Services Department have reviewed the revised changes and their concerns have been addressed.

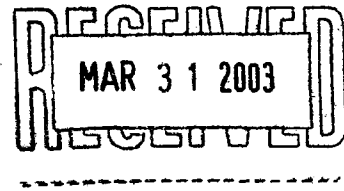
Attached are the revised plans for the West Park Extension (Westlake) Neighbourhood Area Structure Plan Amendment No. 3217/B-2003 and Land Use Bylaw Amendment 3156/G-2003.

RECOMMENDATION

Planning staff recommend that Council give final readings to Bylaw Amendment 3217/B-2003, Bylaw Amendment 3156/G-2003 and Bylaw Amendment 3156/H-2003.


Frank Wong
Planning Assistant

Attachments



Engineering Services

Date: March 28, 2003

To: Frank Wong
Planning Assistant

From: Ken Haslop, P.Eng.
Engineering Services Manager

Re: Westlake Subdivision - Proposed Neighbourhood Area Structure Plan
Revision - Your File RED 03106

Subsequent to our letter of March 24, 2003, the developer has agreed to revise the Neighbourhood Area Structure Plan as follows:

1. The berm right of way will be increased to a width of 30 metres.
2. The alignment of Webster Drive will be adjusted to allow for the increased berm width and to accommodate the proposed detention pond public utility lot.
3. The right of way for Webster Drive will be provided from Walker Boulevard to Cronquist Drive.

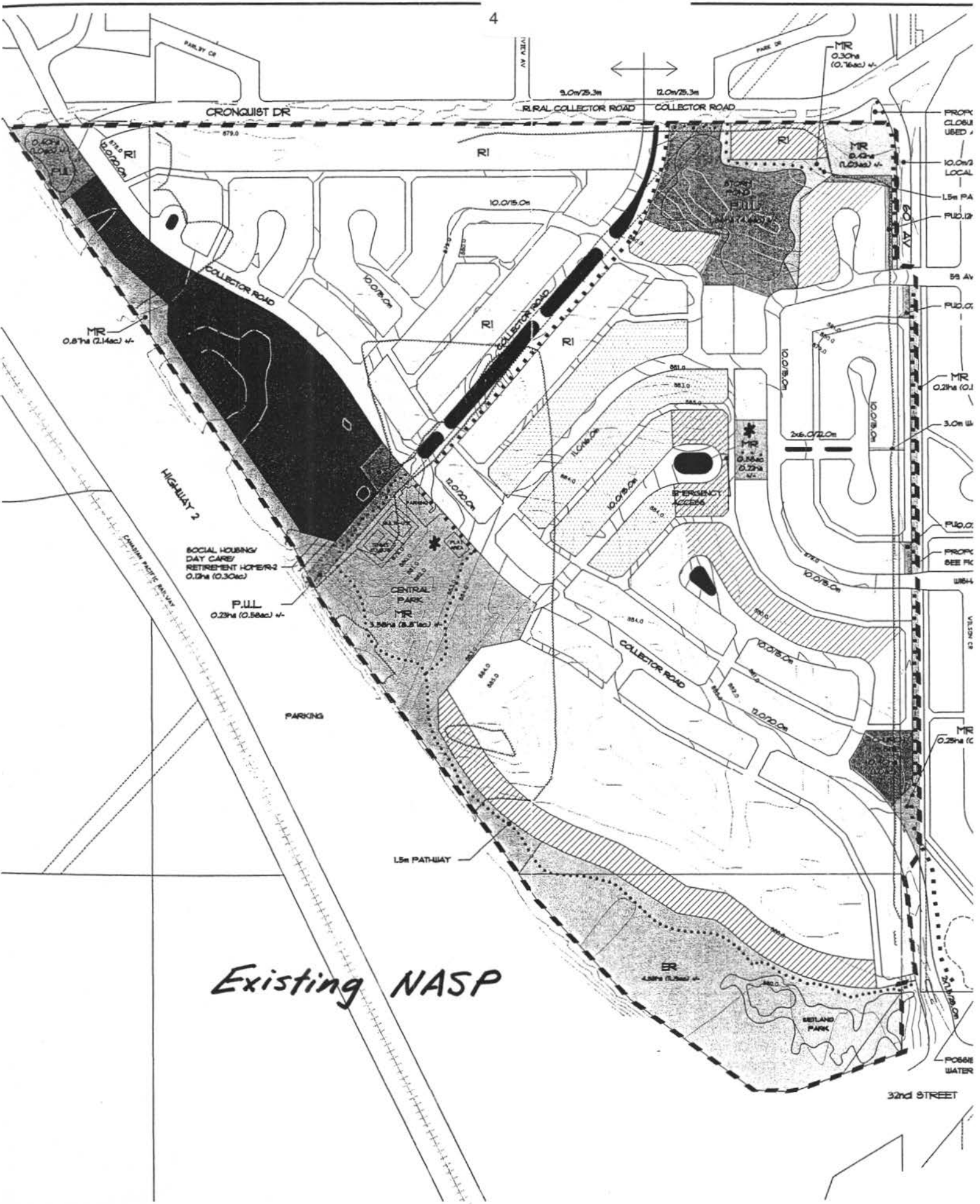
These plan amendments will resolve the concerns previously identified by the Engineering Services Department.

Please give Sybren or me a call if you have any questions.

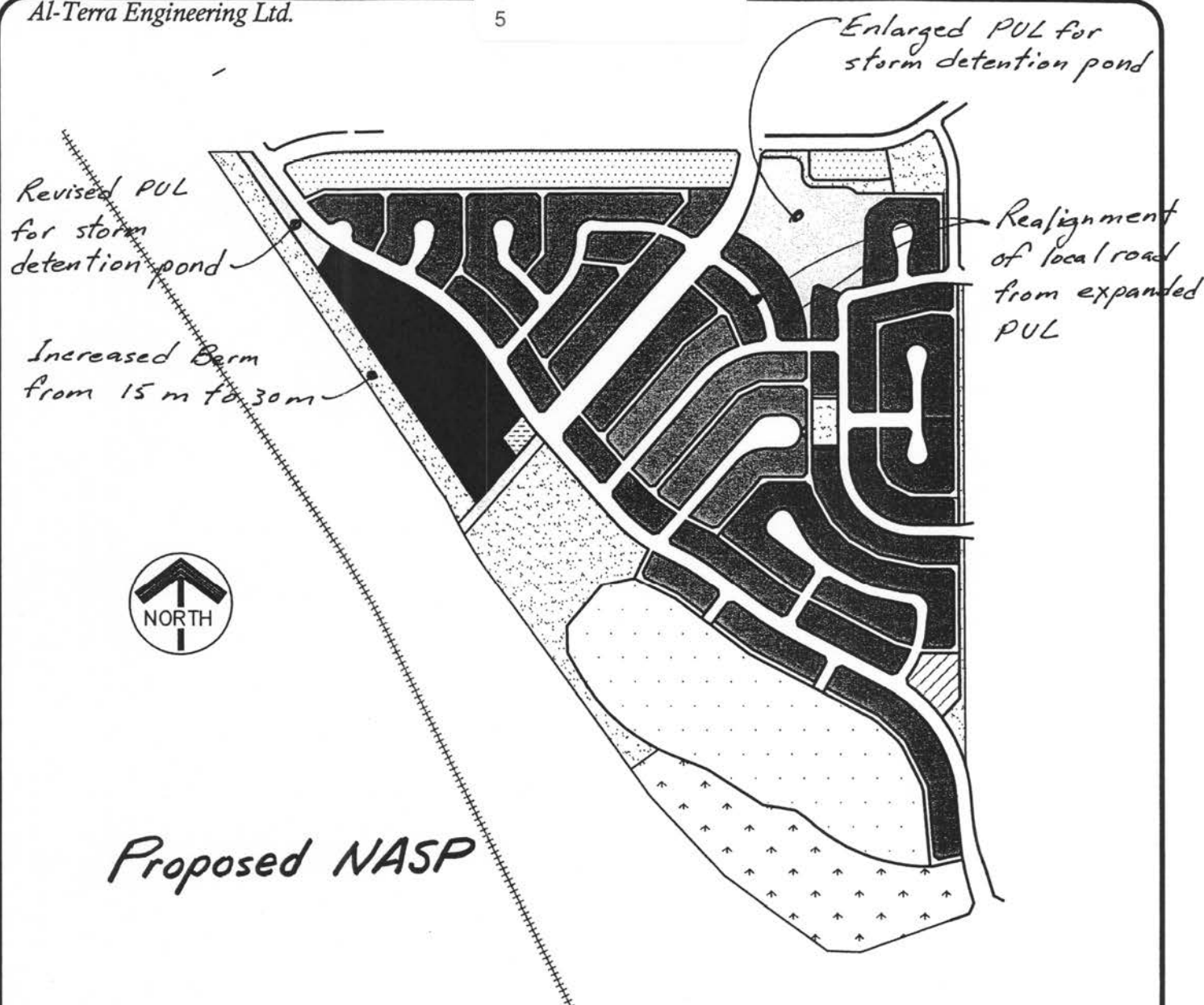
A handwritten signature in black ink, appearing to read "K. Haslop".

Ken G. Haslop, P. Eng.
Engineering Services Manager

SS/kyu



Existing NASP



	Acres	Hectares	%
Single family Large Lots	8.08	3.27	5.57
Single family Standard Lots	46.31	18.74	31.92
Single family Narrow Lots	8.18	3.31	5.64
Single family Adult Living	19.84	8.03	13.68
Multi family - Town House	8.21	3.32	5.66
Street and Lanes	29.73	11.63	19.80
Public Utility Lots	7.86	3.18	5.42
Church Site	1.0	0.40	0.69
Social Care Site (Social Housing/Day Care/Retirement Home/R2)	0.30	0.12	0.21
Municipal Reserve *	16.56	6.70	11.42

Prepared for: Trademark Western Properties.

Plan Statistics		
Total Area	158.26	63.24
Environmental Reserve	11.19	4.53
Total Developable	145.07	58.71
Net Developable Area	145.07	58.71 100.0

* Municipal Reserve Summary		
Central Park	8.87	3.58
Highway 2 Buffer	4.19	1.70
Buffer - Existing Community	1.16	0.47
Tot Lot	0.55	0.22
Feature Park	1.03	0.42
N.E. Storm Pond	0.76	0.31
Total Area for Municipal Reserve	16.56	6.70

West Park Extension

in Red Deer

Neighbourhood Structure Plan

Within:

Section 7, Township 38, Range 27, W of 4

TABLE 1 LAND USE ALLOCATION

Existing NASP

	Acres± (Ha±)	Percentage
Total Neighbourhood Area	156.26 (63.24)	-
Environmental Reserve	12.15 (4.93)	-
Developable Area	144.11 (58.31)	100.00
Land Use		
Single Family – Large Lots	7.68 (3.10)	5.34
Single Family – Standard Lots	50.22 (20.33)	34.84
Single Family – Adult Living	21.06 (8.52)	14.61
Multi - Family – Townhouse	6.59 (2.66)	4.57
Municipal Reserve	14.41 (5.83)	10.00
Streets and Lanes	35.31 (14.31)	24.51
Public Utility Lots	7.54 (3.04)	5.23
Church Site	1.00 (0.40)	0.69
Social Care Site	0.30 (0.12)	0.21

TABLE 1 LAND USE ALLOCATION

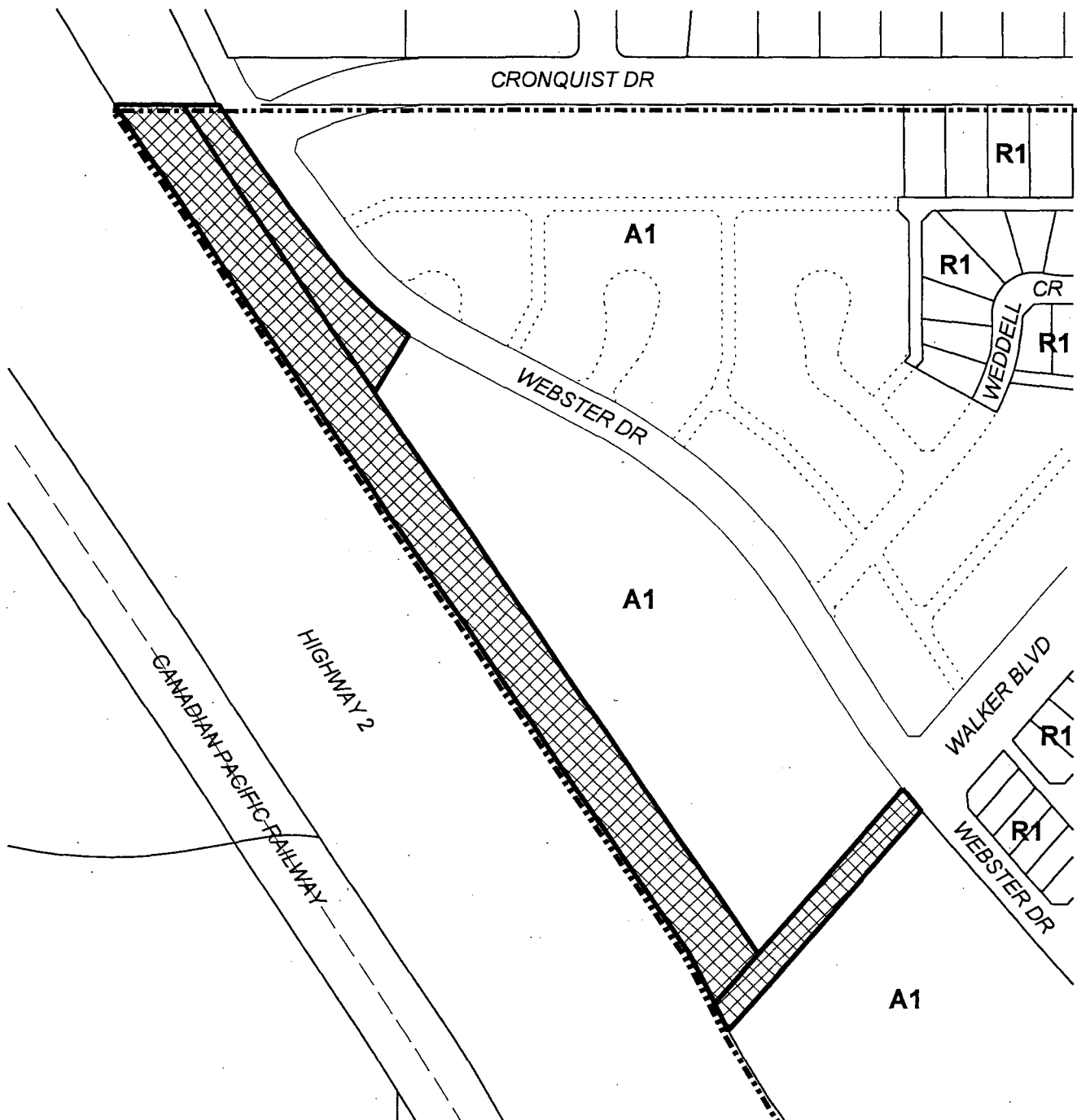
Proposed NASP

	Acres± (Ha±)	Percentage
Total Neighbourhood Area	156.26 (63.24)	-
Environmental Reserve	11.19 (4.53)	-
Developable Area	145.07 (58.71)	100.00
Land Use		
Single Family – Large Lots	8.08 (3.27)	5.57
Single Family – Standard Lots	46.31 (18.74)	31.92
Single Family – Adult Living	19.84 (8.03)	13.68
Multi - Family – Townhouse	8.21 (3.32)	5.66
Single Family – Narrow Lot	8.18 (3.31)	5.64
Municipal Reserve	16.56 (6.70)	11.42
Streets and Lanes	28.73 (11.63)	19.80
Public Utility Lots	7.86 (3.18)	5.42
Church Site	1.00 (0.40)	0.69
Social Care Site*	0.30 (0.12)	0.21

* Social Housing/Day Care/ Retirement Home/R2

The City of Red Deer

PROPOSED LAND USE BYLAW AMENDMENT



AFFECTED DISTRICTS:

A1 - Future Urban Development

P1 - Parks & Recreation

Change from :

A1 to P1



REVISED

MAP No. 5 / 2003

BYLAW No. 3156 / G - 2003

West Park Extension Neighbourhood Area Structure Plan

Bylaw Amendment 3217B-2003

Revised Pages:

9, 12, 13, 14, 15, 16, 17, 19, 24 and 25

Revised Figures:

4, 7, 9, 10, 16, 17, 20, 21 and 22

as submitted by

Parkland Community Planning Services – April 1, 2003

addressing such design elements as street layout and street classification, the Guidelines identify the potential development of community facilities including:

- One site of approximately 0.12 hectares (0.3 acres) for the possible development of a social care residence or seniors residence site, preferably located on collector roads on a corner site where higher parking requirements can be satisfied. It is advised that the site be secured for a minimum of three months after advertising, but if it is not purchased for either of the specified uses then it may be used for conventional residential development.
- One 0.405 hectare (1 acre) church site, preferably located on collector roads on a corner site where higher parking requirements can be satisfied. Similarly, the site should be kept for a minimum of six months after advertising, but it may be used for conventional residential development if it is not purchased for a church.

3.5 Neighbourhood Area Structure Plan

The City of Red Deer requires a Neighbourhood Area Structure Plan (NASP) to provide planning and development strategies for large areas of land prior to development. The NASPs are governed by the *Municipal Government Act* and must reflect other guidelines and/or statutory documents established as a policy of Council such as the Municipal Development Plan. These Neighbourhood Area Structure Plans typically address land use, transportation, social facilities, servicing and staging as well as any significant site-specific matters.

4.0 DEVELOPMENT PROPOSAL

The West Park Extension neighbourhood development concept (**Figure 4**) is based upon the community and developer input, City policies, site characteristics, edge conditions and market indicators. The key components are neighbourhood structure, land use density and population, open space, transportation, servicing and phasing.

4.1 Development Concept

The vision for West Park Extension is a comprehensively planned residential community with an emphasis upon integrating land uses, open space connectivity, land use efficiency and innovation. The key urban design and land use planning principles guiding the Plan include:

family housing as well as a medium density townhouse site are also proposed in the neighbourhood. The various lot types and the townhouse site are provided as either a response to a particular residential market niche or a specific land use or site issue.

The concept plan also provides opportunities for walkout basements. The potential locations are identified in **Figure 4**.

The proposed land use allocation is illustrated in **Table 1**.

TABLE 1 LAND USE ALLOCATION

	Acres± (Ha±)	Percentage
Total Neighbourhood Area	156.26 (63.24)	-
Environmental Reserve	11.19 (4.53)	-
Developable Area	145.07 (58.71)	100.00
Land Use		
Single Family – Large Lots	8.08 (3.27)	5.57
Single Family – Standard Lots	46.31 (18.74)	31.92
Single Family – Adult Living	19.84 (8.03)	13.68
Multi - Family – Townhouse	8.21 (3.32)	5.66
Single Family – Narrow Lot	8.18 (3.31)	5.64
Municipal Reserve	16.56 (6.70)	11.42
Streets and Lanes	28.73 (11.63)	19.80
Public Utility Lots	7.86 (3.18)	5.42
Church Site	1.00 (0.40)	0.69
Social Care Site*	0.30 (0.12)	0.21

* Social Housing/Day Care/ Retirement Home/R2

Traffic will move efficiently and safely through the neighbourhood on a curvilinear road network that emphasizes cul-de-sac access to single family residences. The road network is supported by a complete rear lane system. Connections to the existing West Park and its local road network are strategically located to optimize efficiency of movement and safety, and to minimize through traffic.

A significant natural area along the western boundary is provided for recreation purposes and buffering of highway noise. Similarly, the existing natural wetland found at the southern end of the site is protected as habitat but is also upgraded for stormwater detention purposes.

It should be noted that the smaller wetland and associated park area located to the east of the 60th Avenue alignment is not within the site boundaries, even though each of these contribute to the neighbourhood. As such, they have not been included in the Neighbourhood Structure Plan area.

4.1.1 Single Family Detached

There are five single family detached lot types being proposed, all of which fall under the City of Red Deer's Residential Low Density District (R1) and Residential Narrow Lot District (R1N). Each of the lot types is described below.

Standard A: The typical and minimum widths of standard A lots are 15.2 metres \pm (49.9 feet \pm) and 12.8 metres \pm (42.0 feet \pm) respectively. Standard A lots account for 371 of the 692 (approximately 54 percent) dwelling units anticipated on the site, the highest proportion of any residential land use. They are found throughout the neighbourhood

Standard B: At 16.8 metres \pm (55 feet \pm) wide standard B lots are wider than standard A lots. They are found along the neighbourhood's eastern boundary where they back onto lots with similar dimensions in the adjoining established neighbourhood. They are intended to enhance compatibility and cohesiveness between existing and future residential development.

Large: Large lots are characterized by a 22.9 metre \pm (75 feet \pm) width, and lot depths of 48.8 metres \pm (160 feet \pm) and 40 metres \pm (132 feet \pm). Located along the south side of Cronquist Drive these lots are intended to enhance compatibility with larger suburban lots located on the north side of the road.

Narrow: Narrow lots are characterized by a minimum lot width of 10.4 metres (34.1 feet) and rear drive garages. They are located near the center of the

neighbourhood in close proximity to major neighbourhood roads and park and natural areas.

Adult Living: Adult living detached single family lots are typically 12.2 metres \pm (40 feet \pm) wide. They are found in an 8.03 hectare \pm (19.84 acre \pm) cluster located at the south end of the neighbourhood adjacent to the park and natural areas. As implied by their name, they are intended as detached seniors' housing characterized by smaller yards.

4.1.2 Townhouses

A single, 3.32 gross hectare \pm (8.21 acre \pm) medium density townhouse site is strategically located in close proximity to a park / natural area and the internal collector road network. Townhouse units will be a maximum two stories high. They are intended for a range of potential homebuyers.

4.2 Development Density

As noted in Section 3.1 maximum density for new residential areas in the City of Red Deer is 45 persons per gross hectare. Based upon the existing policy and given a total neighbourhood development area of 63.24 hectares \pm (156.26 acres \pm), a maximum population of 2846 persons could be accommodated in the West Park Extension area.

The proposed development concept, however, is well below the maximum, as the estimated population density is 36.78 persons per hectare. This is based upon an estimated build-out of 699 dwelling units, City of Red Deer occupancy factors and a population of 2326 persons.

The population density calculation is summarized in **Table 2**. Table 2 also shows the estimated number of dwelling units and associated population for each of the residential land uses when the neighbourhood is fully developed. Single family Standard A lots account for the majority of dwelling units (371) and population (1261) as compared to the other residential land uses.

TABLE 2 ESTIMATED POPULATION DENSITIES

Land Use	Lot Width (m±)	Number of Dwelling Units	Number of Persons/ Unit	Total Population (Maximum)	Density Persons/Ha
Single Family, Large Lot	22.9	30	3.4	102	-
Single Family, Standard A Lots	12.8	371	3.4	1261	-
Single Family, Standard B Lots	16.8	14	3.4	48	
Single Family, Narrow Lots	10.4	81	3.4	275	
Single Family, Adult Living Lot	12.2	130	3.4	442	-
Multiple Family, Townhouse	8.21 ac@8upa	66	3.0	198	-
Total (With church and social care site)		692	-	2326	36.78
Multiple Family, Townhouse (Additional- no social care site)*	0.30 ac@8upa	2	3.0	6	
Single Family, Standard Lot A (Additional- no church)	12.9	5	3.4	17	
Total (No church or social care site*)		699	-	2349	37.14

* Social Housing /Daycare /Retirement Home /R2

NOTE: The occupancy factor of 3.4 persons per dwelling unit used for the Adult Living single family is considered to be high. Applying a more realistic factor of 2.2 persons per dwelling unit to the Adult Living component the anticipated overall neighbourhood density would be 34.31 persons per hectare (with a church and social care site) and 34.68 persons per hectare (without the sites).

The relatively low estimated population density can be attributed to the amount of park and natural areas that are provided and the quantity of lower density single family detached development.

It should be noted that the calculations are based on the assumption that the church and community care sites would be developed for these intended purposes. Should the two sites be developed for residential purposes, the estimated population density for the entire neighbourhood would marginally increase to 37.14 persons per hectare (15.03 persons per acre). This is well within the 45 persons per hectare limit stipulated in the City of Red Deer *Municipal Development Plan*.

4.3 Parks and Open Space

The parks and open space system includes several different types of parks and an extensive pedestrian / cycling trail system connecting parks and neighbourhoods. The park and trail systems represent important community amenities and focal points for new West Park Extension residents as well as those from neighbouring communities. Approximately 10 per cent of the site is provided as municipal reserve, satisfying the *Municipal Government Act* and City of Red Deer requirements. It is comprised of a balance of natural areas, local play areas, buffer and linear parks. The percentage increases to 21 per cent when the environmental reserve areas and public utility lots such as the storm detention facility are included.

4.3.1 West Area Park

The neighbourhood's largest and most significant park is the linear park that runs the length of neighbourhood's western boundary. It includes a 3.58 hectare \pm (8.87 acre \pm) natural park located at approximately the midway point along the boundary (see **Figure 8**). A "play area", complete with a full range of playground facilities, a multi-use area and a small parking lot are integrated into the natural area park. The final location and layout of the play area will be determined in cooperation with the City of Red Deer Recreation Parks and Culture Department. The western linear park system connects the northern and southern detention

ponds to form a corridor of public use open space encompassing the entire western and southern boundaries of the neighbourhood.

The western boundary park serves several important purposes by offering excellent outdoor amenity and recreation opportunities to the community, protecting important tree stands and wildlife habitat, and acting as a noise and visual barrier to Highway 2. An approximately 30 metre (100 ft.) wide, landscaped berm complete with sound attenuation faculty, will be constructed adjacent to portions of the highway right-of-way for added noise and visual abatement. The design details of the berm are illustrated in **Figure 9**.

4.3.2 East Area Park

A second linear open space incorporating a 2.5 metre regional path will be created along the 60th Avenue alignment (see **Figure 6**). It connects the historical northeast feature park at the intersection of Cronquist Drive and 60th Avenue in the north to the combination wetland / storm detention pond found in the south. The school site monument is the focus of the northeast feature park. This park and monument site will be enhanced with paved walking areas and seating facilities as illustrated in **Figure 10**. The feature park is also connected to the storm detention facility located to the southwest and ultimately to the Grand Boulevard.

4.3.3 Grand Boulevard

The high-tension power line corridor has been integrated into the neighbourhood park and open space system by serving as a median for the main entry road (see **Figure 7**). Special design treatments, such as extensive landscaping are intended to improve its visual and aesthetic quality and establish the Grand Boulevard as a neighbourhood gateway.

4.3.4 Local Parks

A 0.22 hectare \pm (0.55 acre \pm) "tot lot" in the east central area (see **Figure 10**) is provided as a local play and amenity area.

4.7 Public Utilities

In addition to the environmental reserve wetland area within the Plan boundary and the one to the east of 60th Avenue, two storm detention facilities are provided to service the neighbourhood. A large, 2.12 hectares \pm (5.2 acres \pm) site, located in the northeast sector of the neighbourhood just east of the Grand Boulevard, will be supplemented by 0.30 hectares \pm (0.76 acres \pm) of municipal reserve along the east and north side. The combined area will be landscaped and developed as an amenity for the neighbourhood as well as a storm sewer facility (see **Figure 10** and **Section 6.3**).

A small 0.35 hectares \pm (0.87 acres \pm) wetland in the northwest corner will also be retained as part of the open space and storm water system.

5.0 TRANSPORTATION

A West Park Extension Traffic Impact Study was prepared by Finn Transportation Consultants in November 2001 and was submitted under separate cover. This study addresses both the external and internal transportation networks and concludes that both networks can adequately accommodate the anticipated traffic generated by the West Park Extension.

5.1 Internal Road Network

Road connections to the external road network are strategically located. An internal road hierarchy conveys traffic efficiently and safely within the neighbourhood, while cul-de-sacs provide access to many of the single family residences.

As outlined in Section 4.1, the proposed neighbourhood structure plan closes a portion of the existing 60th Avenue. This closure is intended to provide for more continuity between the existing community and the new neighbourhood and will eliminate the current shortcutting traffic on 60th Avenue. A small portion of 60th Avenue between 59th Avenue Crescent and Cronquist Drive will remain open to accommodate local traffic movement.

The intent of the proposed internal roadway network is to:

external areas draining into the site. It is to discharge via an existing culvert running beneath Highway 2 into the ditch located on the west side of Highway 2 along the Canadian Pacific Railway (CPR) tracks, discharging ultimately into the Red Deer River. A naturalized trapped low in the northwest corner of the site, also to be dedicated as public utility lot, is to service an area of approximately 8 hectares (19.8 acres). This depression will be equipped with a wet cell to provide water quality enhancement. It is also to discharge via an existing culvert running beneath Highway 2 into the CPR ditch. The balance of the site and some external area discharging as overland flow into the site from the east comprising a total area of approximately 35 hectares (86.5 acres), will be serviced by a constructed wetland/naturalized wet pond located in the northeast corner of the site. This facility will discharge into a storm sewer line at Cronquist Drive and 60th Avenue (see **Figure 19**). The storm sewer will run along Cronquist Drive and tie into the existing storm sewer trunk at Cronquist Drive and 57th Street, discharging ultimately into the Red Deer River.

The area taken up by the storm water management facilities amounts to about 7.0 hectares (17.3 acres) or 11.1 per cent of the overall area. With this percentage adequate water quality enhancement will be provided while safeguarding the long-term sustainability of the facilities. In addition, minimizing side slopes and fluctuations in water level during severe storm events will preserve public safety.

A Master Drainage Plan has been prepared and submitted under separate cover addressing the storm water conveyance system. The Plan deals with the location and type of storm water management facilities required; the location of outfalls to the Red Deer River; the presence of Best Management Practices to enhance the water quality of the runoff discharged to the Red Deer River; and erosion and sediment controls. Preliminary storage requirements and off-site discharge rates are included. This document was submitted to the City of Red Deer, County of Red Deer, Canadian Pacific Railway and Alberta Environment for approval. The storm water conveyance system, storm water management facilities and BMPs, and storm outfalls will be designed to City of Red Deer, Canadian Pacific Railway and Alberta Environment standards. Detailed drawings for servicing each development cell will be provided to the City as part of the approval process. Drawings will be supported by a detailed Serviceability Report that

details the operation of any facilities or BMPs, and verifies the operation of the drainage system versus City and provincial guidelines.

Figure 20 shows the proposed overland Drainage Pattern for this development, while **Figure 21** shows the proposed storm sewer routing for this project.

6.4 Shallow Utilities

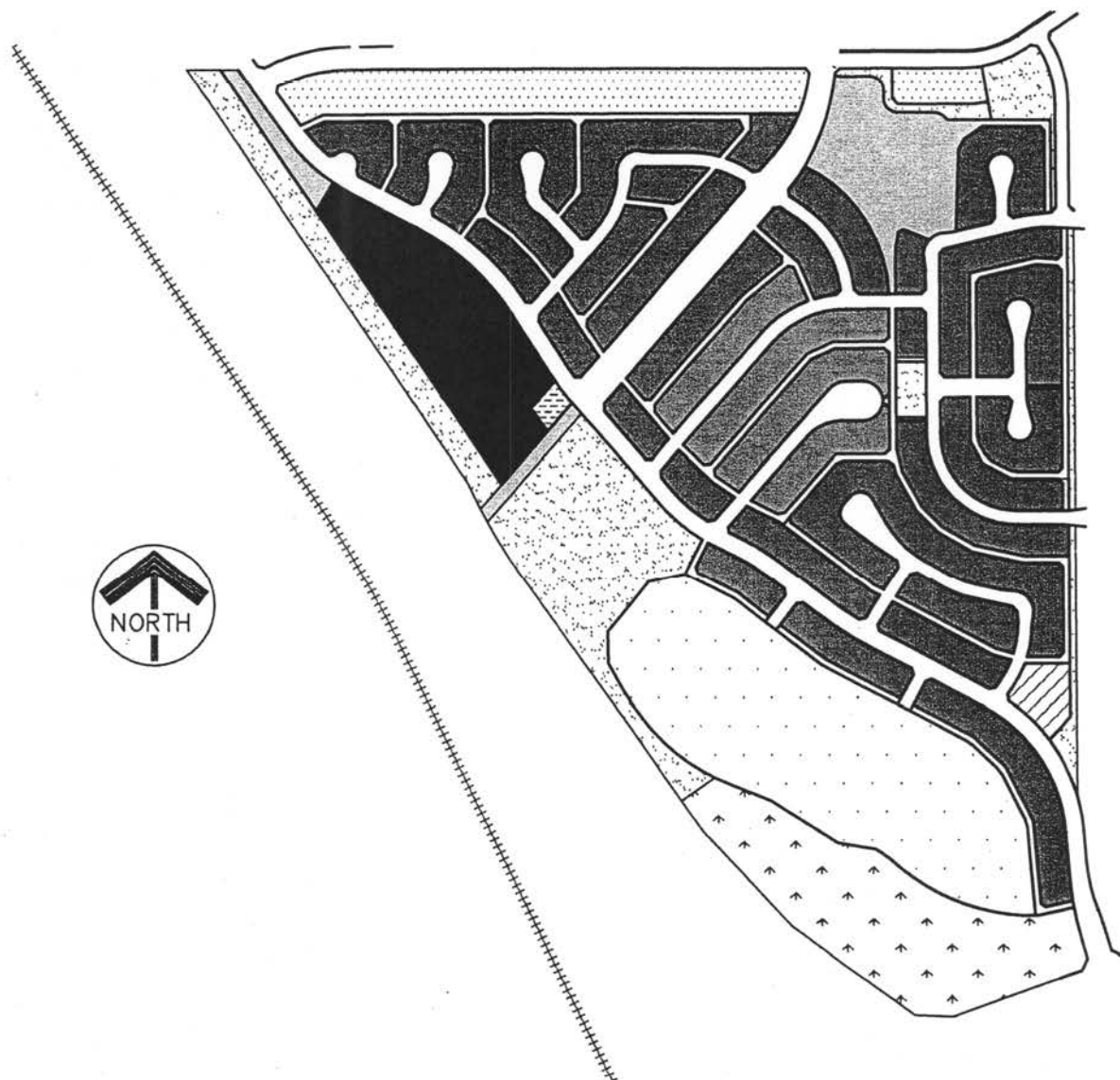
The City of Red Deer's Electric Light & Power Department, Telus Communications, Shaw Cable and ATCO Gas, have all been contacted regarding the proposed West Park Extension. All of the franchise utilities have been advised that there is adequate capacity, in the general area, to provide servicing to this project. The utility companies will revise and address the servicing alternatives in more detail, during the circulation and review of the Neighbourhood Area Structure Plan.

6.5 Cronquist Drive Trunk Extension

As is detailed previously, underground service trunk lines are to be extended along Cronquist Drive to the intersection at 57th Avenue and 43rd Street. The storm, sanitary and water mains would be installed together as shown in **Figure 21a**. The existing road structures would be removed and reconstructed after the extensions are complete. The existing trees in the boulevards will be maintained and the boulevards reseeded. Every reasonable effort would be made to complete the work in an efficient and timely manner to minimize disruption to the residents in the area.

7.0 PHASING

Figure 22 illustrates the preliminary concept for phasing. The present location of utilities dictates the initial few phases of development. Market conditions will influence the actual phasing of the development.



	Acres	Hectares	%
Single family Large Lots	8.08	3.27	5.57
Single family Standard Lots	46.31	18.74	31.92
Single family Narrow Lots	8.18	3.31	5.64
Single family Adult Living	19.84	8.03	13.68
Multi family - Town House	8.21	3.32	5.66
Street and Lanes	29.73	11.63	19.80
Public Utility Lots	7.86	3.18	5.42
Church Site	1.0	0.40	0.69
Social Care Site (Social Housing/Day Care/ Retirement Home/R2)	0.30	0.12	0.21
Municipal Reserve *	16.56	6.70	11.42

Prepared for: Trademark Western Properties.

Plan Statistics	Acres ±	Hectares ±	%
Total Area	156.26	63.24	
Environmental Reserve	11.19	4.53	
Total Developable	145.07	58.71	
Net Developable Area	145.07	58.71	100.0

* Municipal Reserve Summary	Acres ±	Hectares ±
Central Park	8.87	3.58
Highway 2 Buffer	4.19	1.70
Buffer - Existing Community	1.16	0.47
Tot Lot	0.55	0.22
Feature Park	1.03	0.42
N.E. Storm Pond	0.76	0.31
Total Area for Municipal Reserve	16.56	6.70

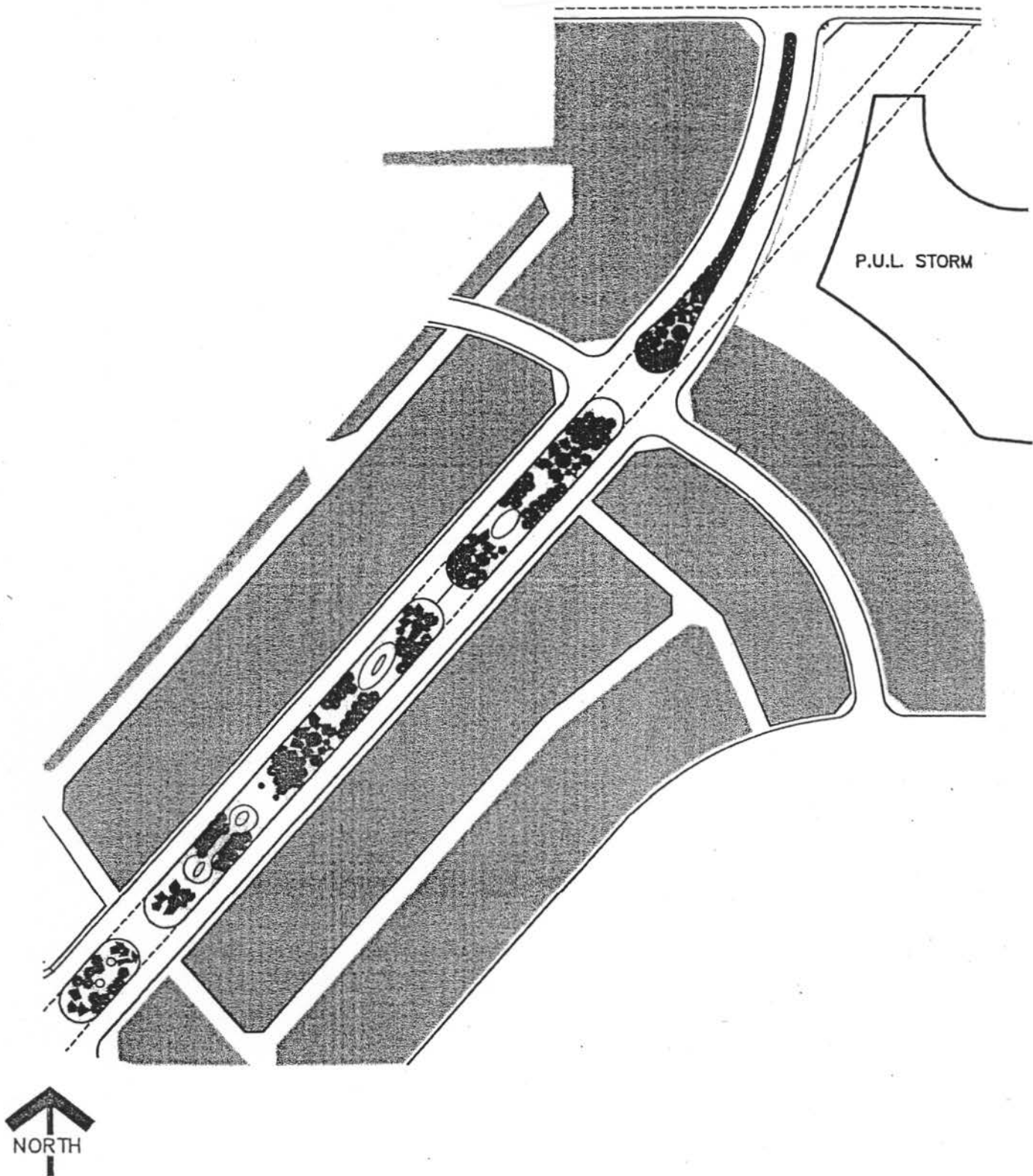
West Park Extension

in Red Deer

Neighbourhood Structure Plan

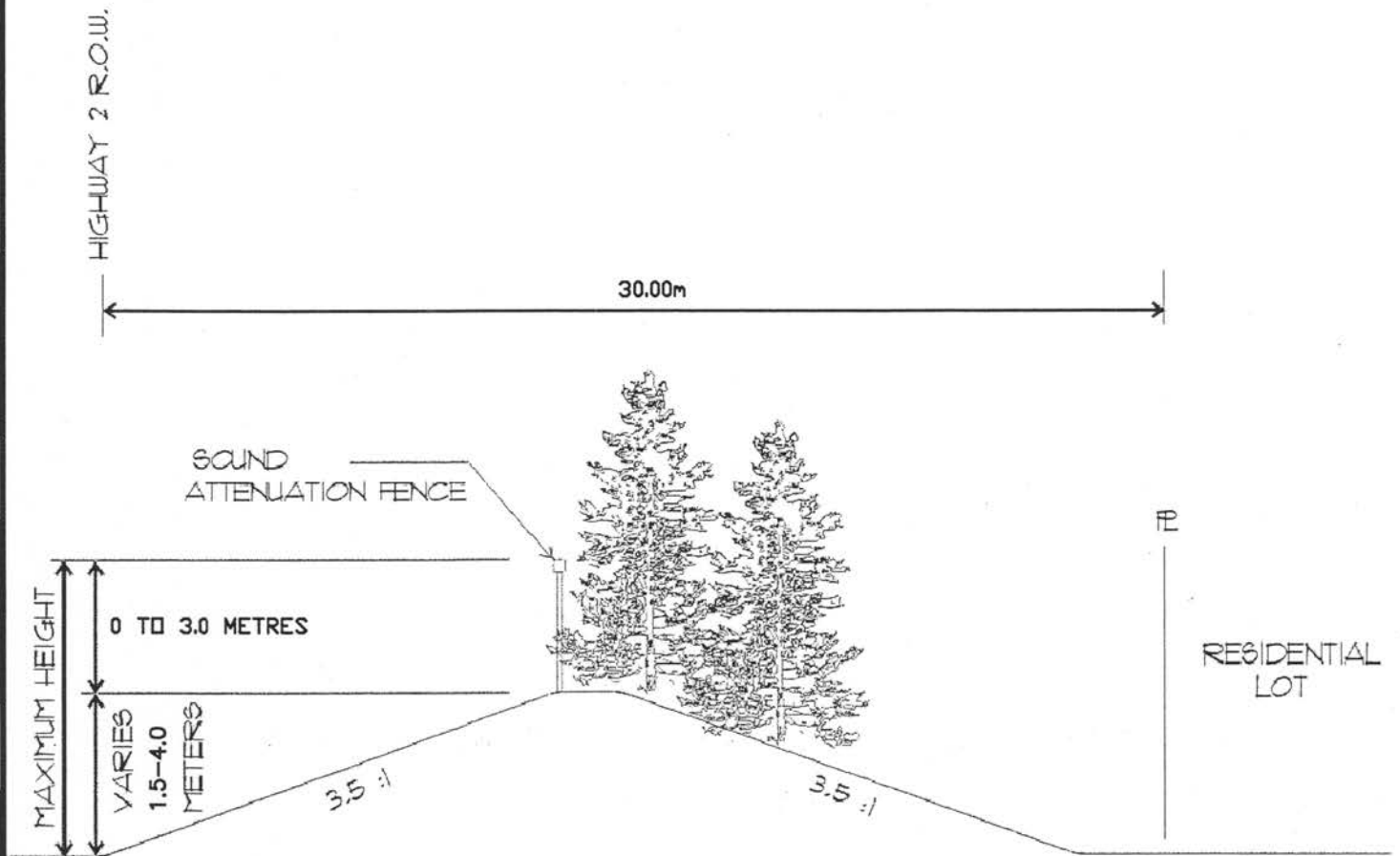
Within:

Section 7, Township 38, Range 27, W of 4



West Park Extension
Grand Boulevard Concept Plan

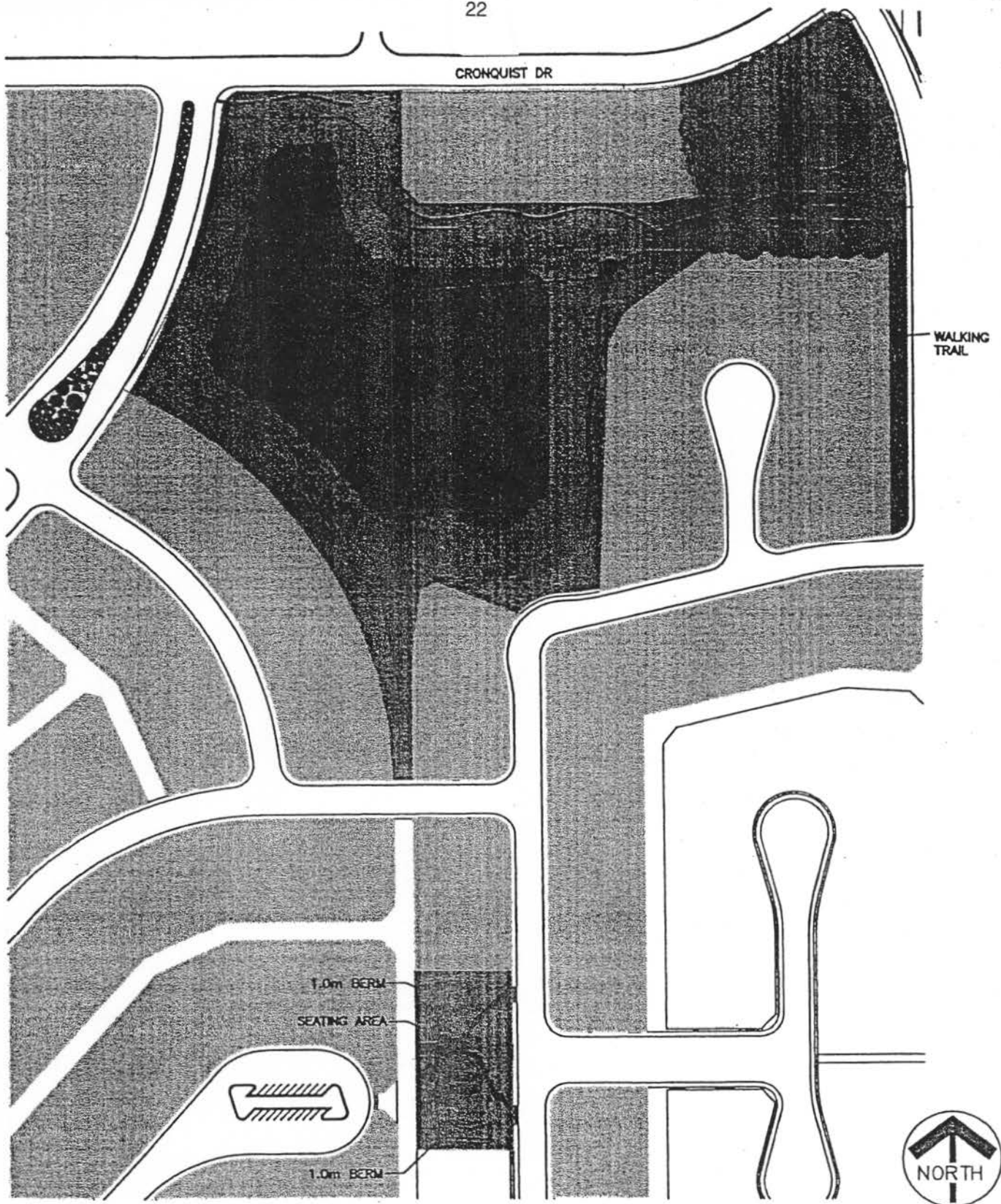
HIGHWAY BERM DETAIL



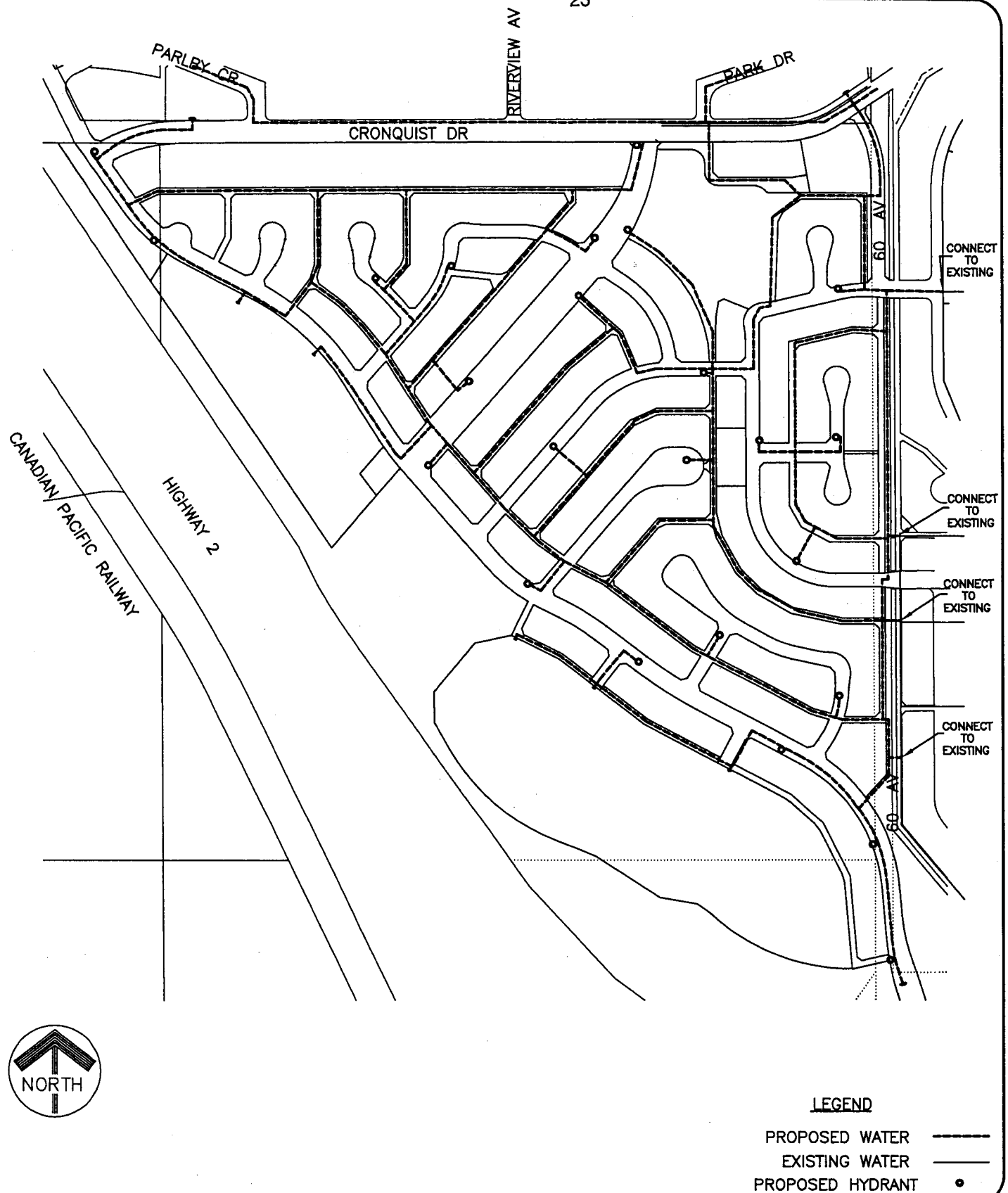
NOTE: ALL DIMENSIONS ARE IN METERS

BERM TO BE LOCATED A MIN. HEIGHT OF 2.5m ABOVE HIGHWAY ELEVATION

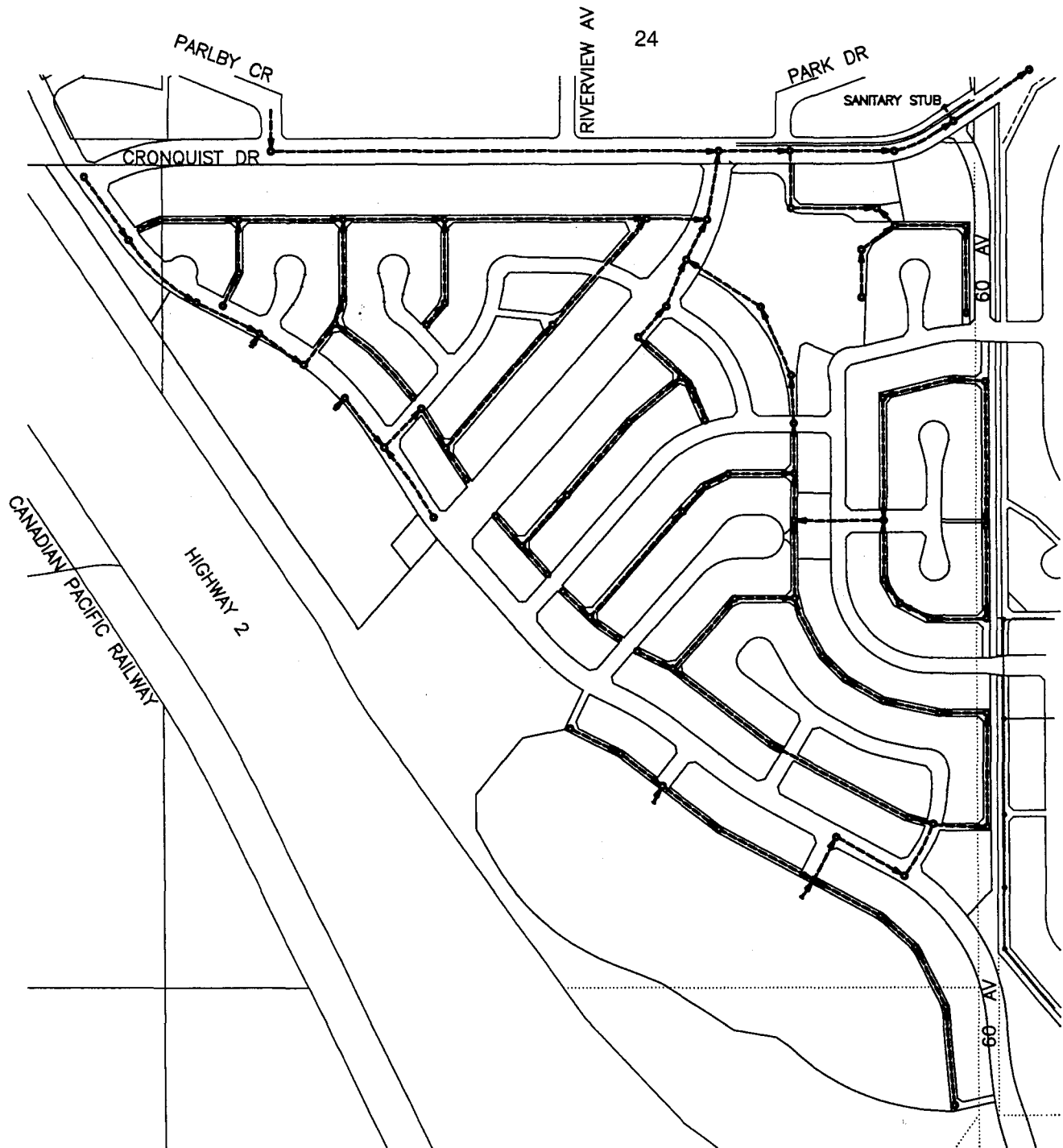
West Park Extension Highway Berm Detail



West Park Extension
Northeast Wetland
Park Concept Plan



West Park Extension Proposed Water Main

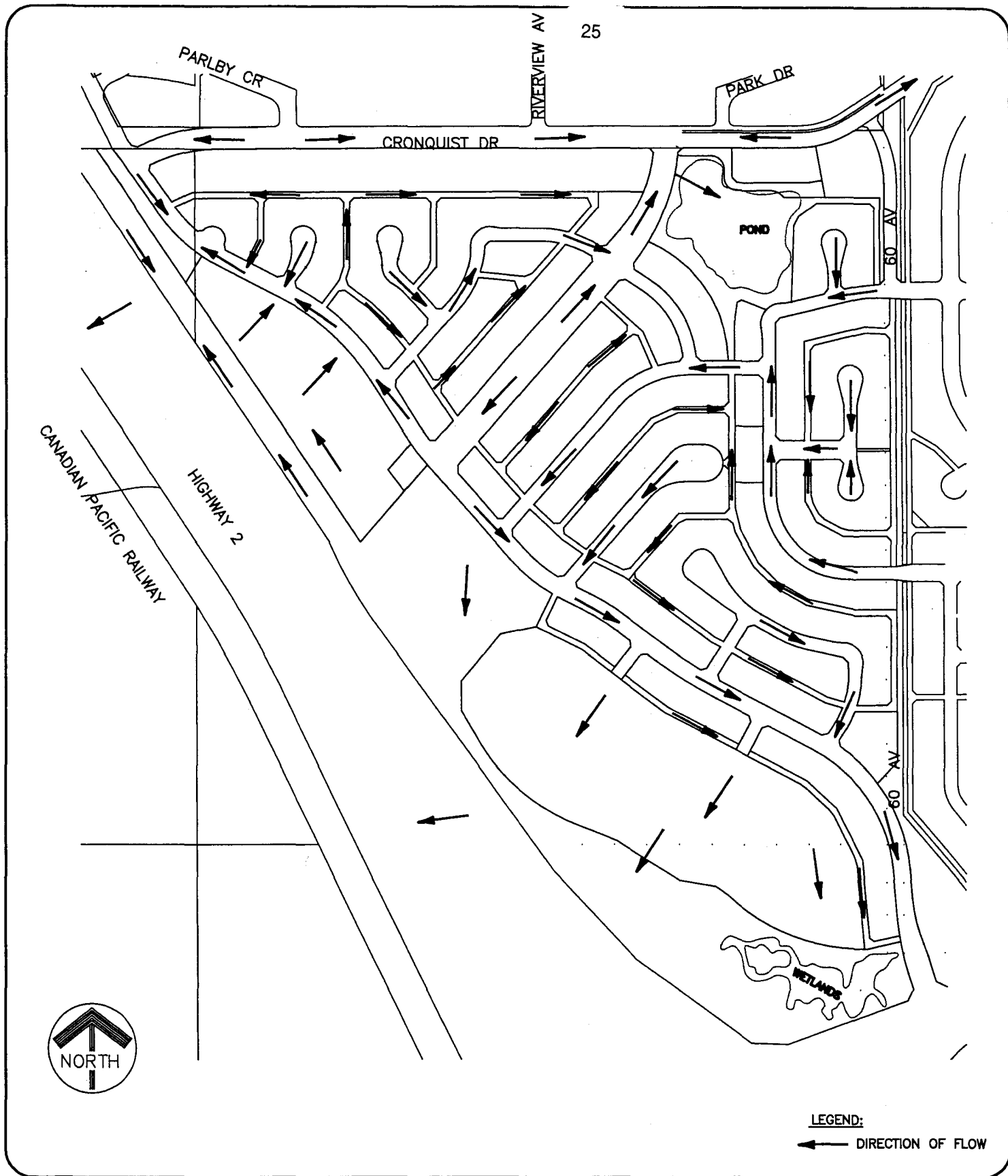


LEGEND

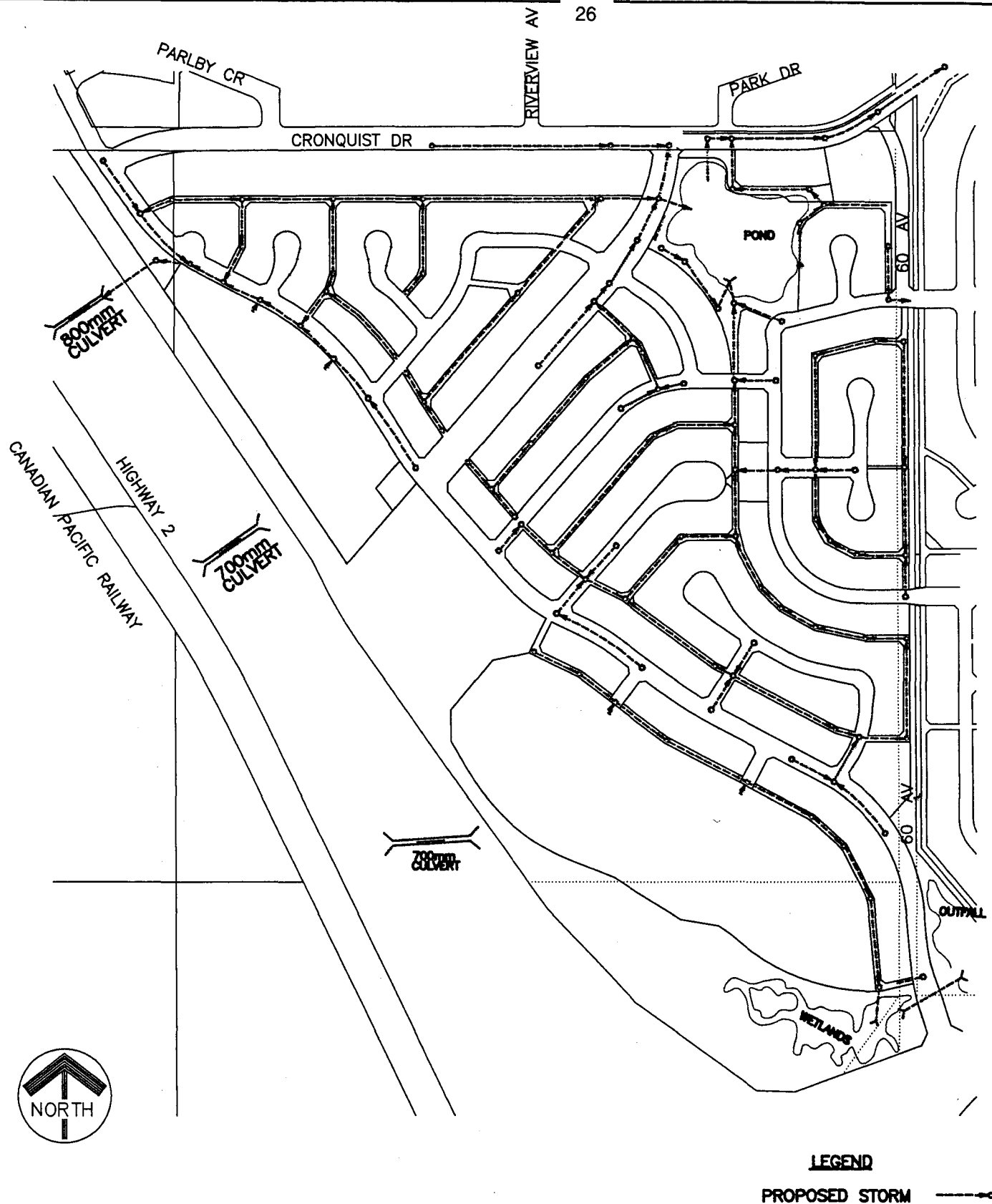
PROPOSED SANITARY ———●———

EXISTING SANITARY ———●———

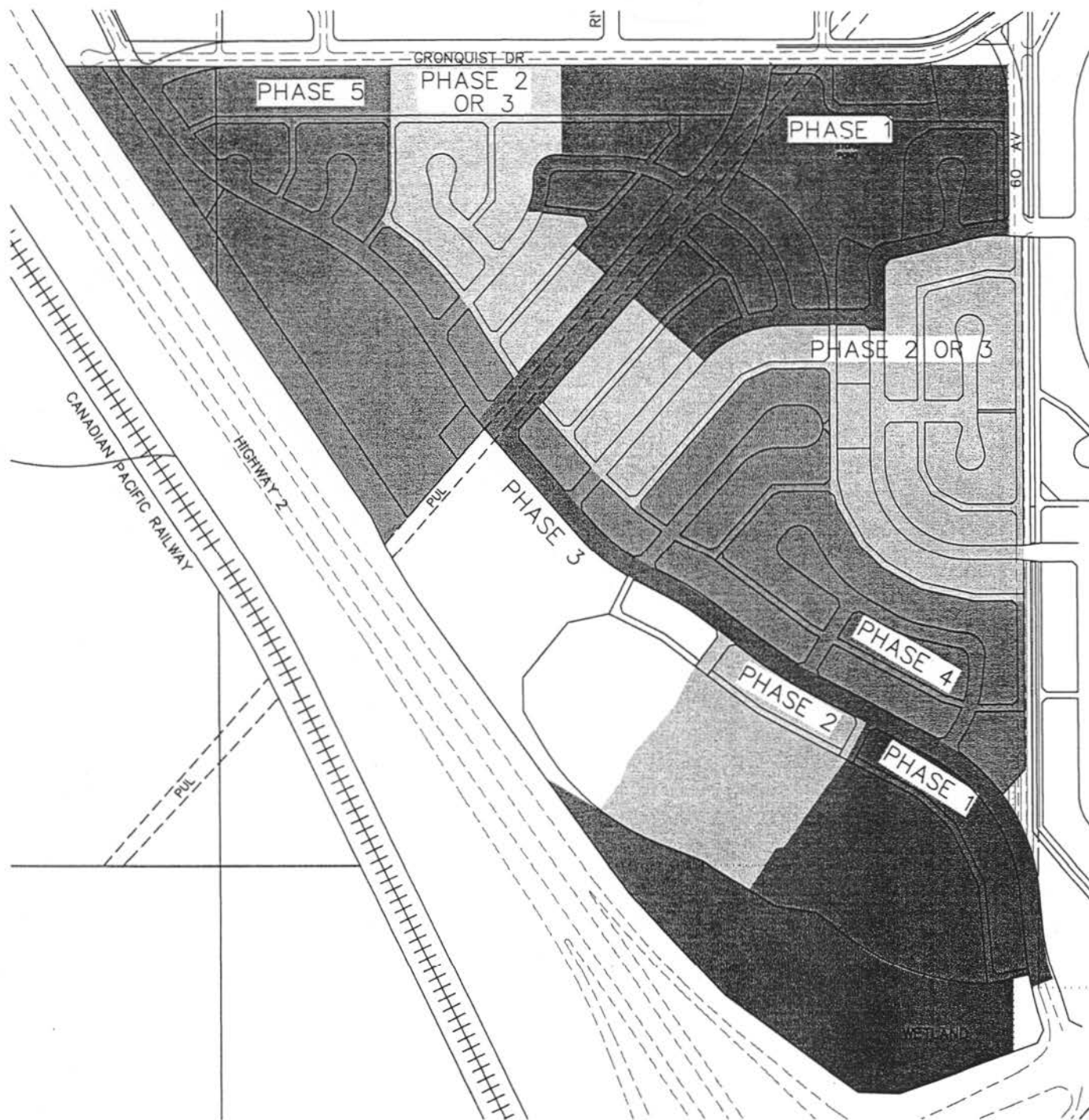
West Park Extension Proposed Sanitary Sewer



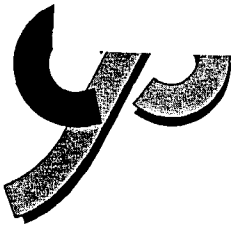
West Park Extension Proposed Overland Drainage



West Park Extension Proposed Storm Sewer



West Park Extension Phasing



AND
**COMMUNITY
PLANNING
SERVICES**

28

Suite 404, 4808 Ross Street
Red Deer, Alberta T4N 1X5
Phone: (403) 343-3394
FAX: (403) 346-1570
e-mail: pcps@pcps.ab.ca

Date: February 18, 2003

**Previously Submitted
to the March 24, 2003
Council Meeting**

To: Kelly Kloss, City Clerk

Re: Land Use Bylaw Amendment 3156/G-2003
Portion of Block X, Plan 1128 AM and
Portion of the NE ¼ Sec 7-38-27-4
West Park Extension
Trademark West Park Inc.

Trademark West Park Inc. is proposing to subdivide approximately 5.737 ha (14.176 ac) to create a 4.048 ha (10.0 ac) future urban development lot, two public utility lots, one municipal reserve lot and a portion of road right-of-way. The public utility lots and the municipal reserve lot are being rezoned from A1 Future Urban Development to P1 Parks and Recreation District, while the 4.048 ha (10.0 ac) lot will remain in the A1 Future Urban Development District until such time as when services and roads are extended to adjacent phases of development. The purpose of this rezoning is to create the 4.048 ha (10.0 ac) lot to complete an internal land sale/exchange agreement.

Planning staff have had discussions with the Engineering Services Department regarding the creation of the A1 Future Urban Development lot and the issue of servicing can be addressed with a Deferred Servicing Agreement with the Developer. The subject 4.048 ha (10.0 ac) A1 lot will be developed as a medium density townhouse project as well as a small day/social/retirement home project in accordance with the Neighbourhood Area Structure Plan. It will be rezoned to R2 Residential Medium Density at the time of development.

The proposed land uses comply with the West Park Extension Neighbourhood Area Structure Plan.

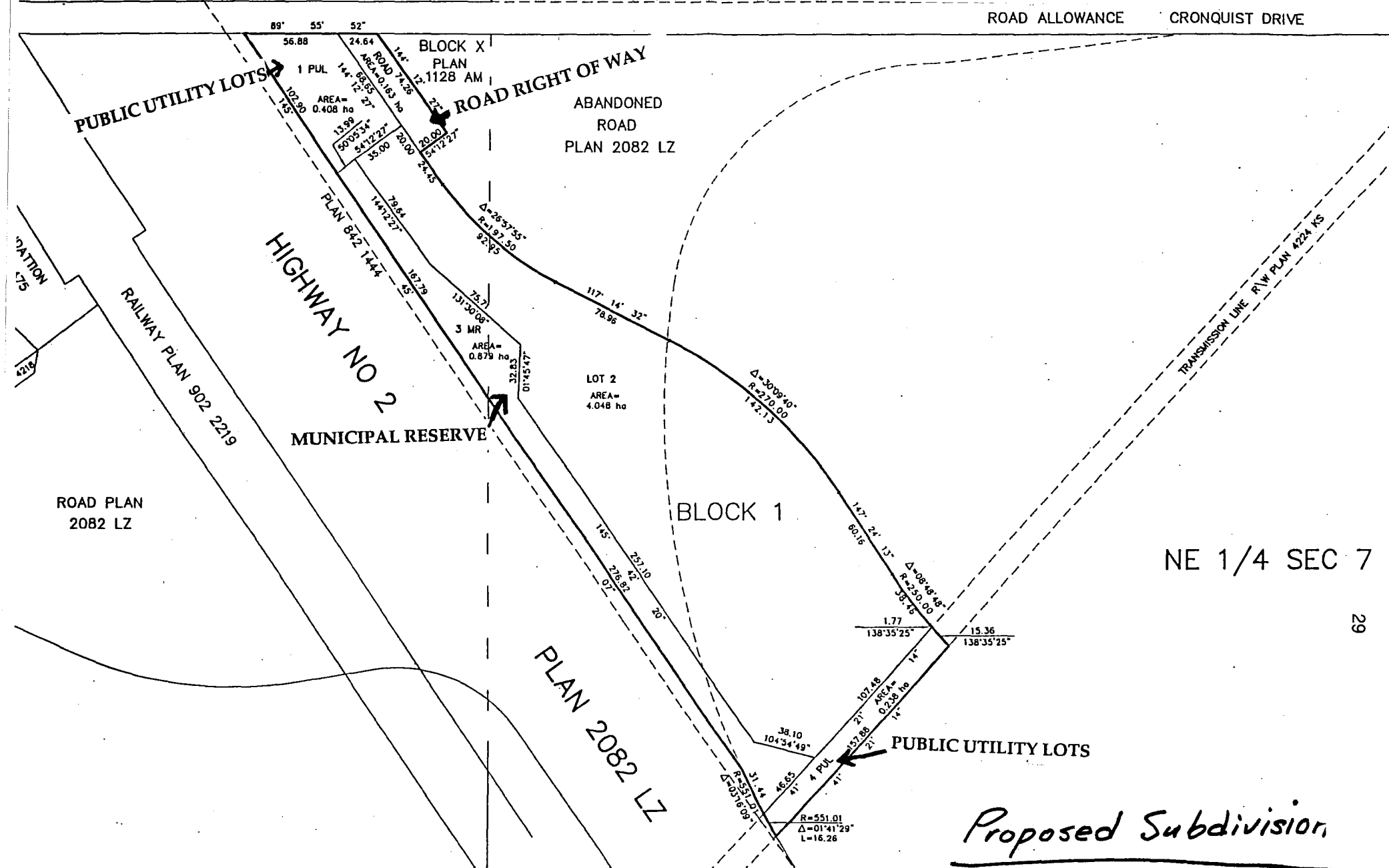
Recommendation

The proposed subdivision complies with the Neighbourhood Area Structure Plan; therefore Planning staff recommend that City Council proceed with first reading of Land Use Bylaw Amendment 3156/G-2003.

Sincerely,

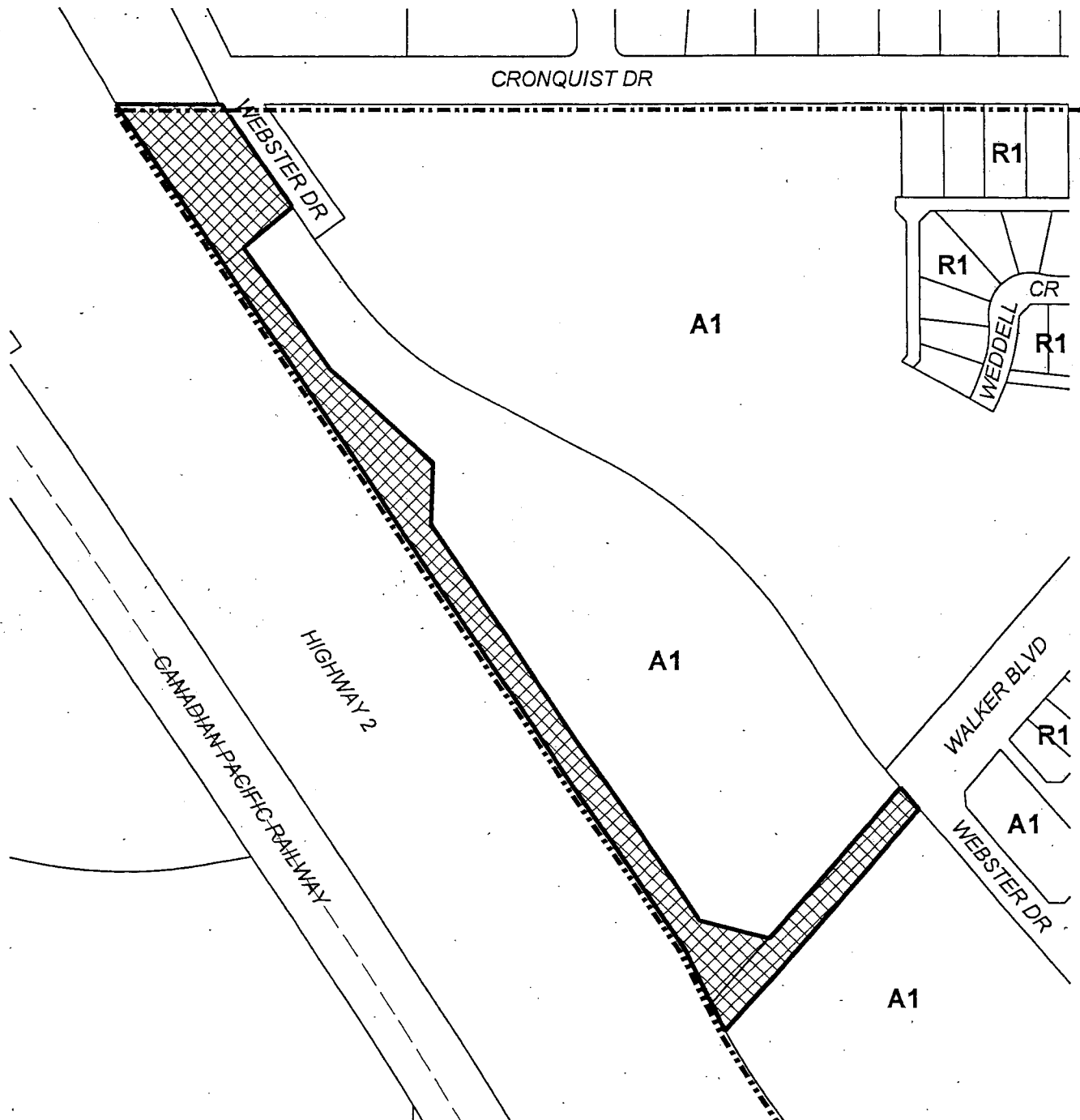
Frank Wong,
Planning Assistant

Attachment



The City of Red Deer

PROPOSED LAND USE BYLAW AMENDMENT



AFFECTED DISTRICTS:

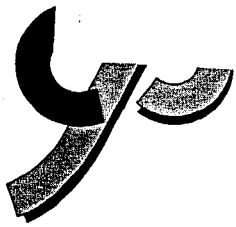
A1 - Future Urban Development
P1 - Parks & Recreation

Change from :

A1 to P1 

MAP No. 5 / 2003

BYLAW No. 3156 / G - 2003



DATE: February 18, 2003
TO: Kelly Kloss City Clerk
FROM: Frank Wong, Planning Assistant
RE: West Park Extension (Westlake) Neighbourhood Area Structure Plan
Bylaw Amendment No. 3217/B-2003

**Previously Submitted
to the March 24, 2003
Council Meeting**

PURPOSE

Al-Terra Engineering Ltd., on behalf of Trademark West Park Inc., being the landowner/developer of the West Park Extension Subdivision, is proposing to amend the existing West Park Extension (Westlake) Neighbourhood Area Structure Plan. The proposed amendment was received on January 27, 2002 and was processed in accordance with the City of Red Deer's *Planning and Subdivision Guidelines*.

The purpose of this Plan Amendment application is to change land use designations in the northeast portion of the Plan area which will necessitate amendments to the servicing plans, associated maps and the Plan text accordingly, prior to commencing with development of the initial phases of the subdivision. The amendment also adjusts the previously approved subdivisions for Phases 1 and 2.

BACKGROUND

The original West Park Extension (Westlake) Neighbourhood Area Structure Plan was adopted by Council in May 2002. The proposed amendment includes the following changes which are labelled on the attached map:

1. The public utility lot located in the northeast of the Development Concept Plan is enlarged to accommodate a larger stormwater detention pond as required by the City's Engineering Services Department.
2. The expansion of the public utility lot southward results in the realignment of an adjacent local road as well as replotting of residential lots in the vicinity.
3. The amendment will result in a net loss of 3 narrow single-family lots and 1 regular single-family lot.
4. The amendment will result in an increase in green space from 13.06 ha (20.65%) to 13.36 ha (21.12%).

Bylaw No. 3217/B-2003 ...page 2

NEIGHBOURHOOD MEETING

In terms of the City's "*Planning & Subdivision Guidelines*" a neighbourhood meeting is not required for a Plan Amendment where the amendment entails the following issues:

- Minor road, lane or public utility lot deletions and/or additions;
- Addition or deletion of lots with walkout basements; or
- Designation of R1-Single Family lots from higher density residential designations.
- Self-contained local roads or lanes.

As an alternative to a neighbourhood meeting, a door to door notice has been circulated to adjacent landowners informing them of the proposed changes, the date of the MPC meeting, and the fact that there will be an opportunity for further input at the public hearing for the Neighbourhood Area Structure Plan amendment.

As of February 18, 2003, no comments have been received.

PLANNING ANALYSIS

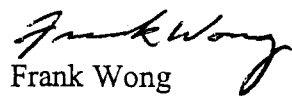
From a planning perspective the proposed plan amendment reduces the percentage of residential development in the Plan Area, improves traffic circulation in the vicinity of Walker Boulevard and Weddell Crescent, and increases the amount of green space in the Plan area.

MUNICIPAL PLANNING COMMISSION

In accordance with the "*Planning & Subdivision Guidelines*" this proposed Neighbourhood Area Structure Plan amendment was referred to the Municipal Planning Commission for a recommendation to City Council. MPC at their February 18 meeting recommended that Council give first reading to Bylaw Amendment 3217/B-2003.

RECOMMENDATION

Planning staff recommend that Council gives first reading to the proposed Bylaw Amendment 3217/B-2003, which seeks to amend the existing West Park Extension (Westlake) NASP as described in this report.



Frank Wong
Planning Assistant

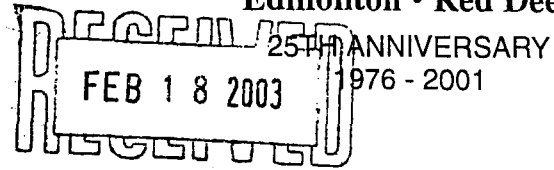
Attachments

AL-TERRA Engineering Ltd.**Consulting Engineers**

February 14, 2003

Edmonton • Red Deer

236-G-45



Parkland Community Planning Services
 #404, 4808 Ross Street
 Red Deer, Alta; T4N 1X5

Attention: Mr Frank Wong

Dear Sir

Re: Revisions to the Neighbourhood Area Structure Plan
 For West Park Extension Project

Enclosed please find the revisions to the Neighbourhood Area Structure Plan for the West Park Extension. The revisions required are caused by the modifications to the north-east storm pond and surrounding roads and lots. The items that have been revised include:

Page 12 - Table 1 - Land Use Allocation
 Page 14 - 4.2 Development Density
 Page 15 - Table 2 - Estimated Population Densities
 Page 16 - 4.2 Development Density (cont'd)
 Page 19 - 4.7 Public Utilities
 Figure 4 - Land Use Plan
 Figure 7 - Gravel Boulevard Concept Plan
 Figure 10 - North East Wetland Park Concept Plan
 Figure 16 - Proposed Water Main
 Figure 17 - Proposed Sanitary Sewer
 Figure 20 - Proposed Overland Drainage
 Figure 21 - Proposed Storm Sewers
 Figure 22 - Phasing

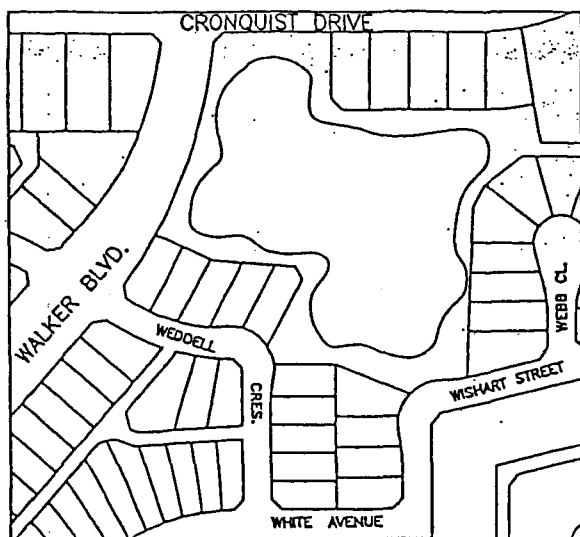
If you have any questions or require additional information, please contact our office.

Yours truly

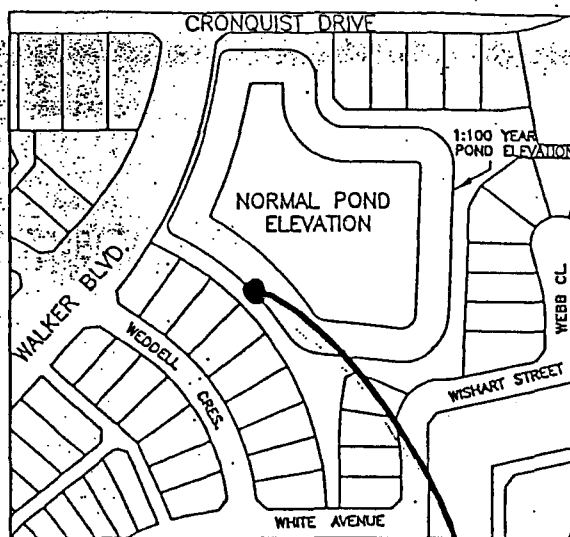
Steve Banack, P. Eng.
 Project Manager

c.c. Gary Grelish - Trademark
 Ron Zazelenchuk - Interplan Strategies

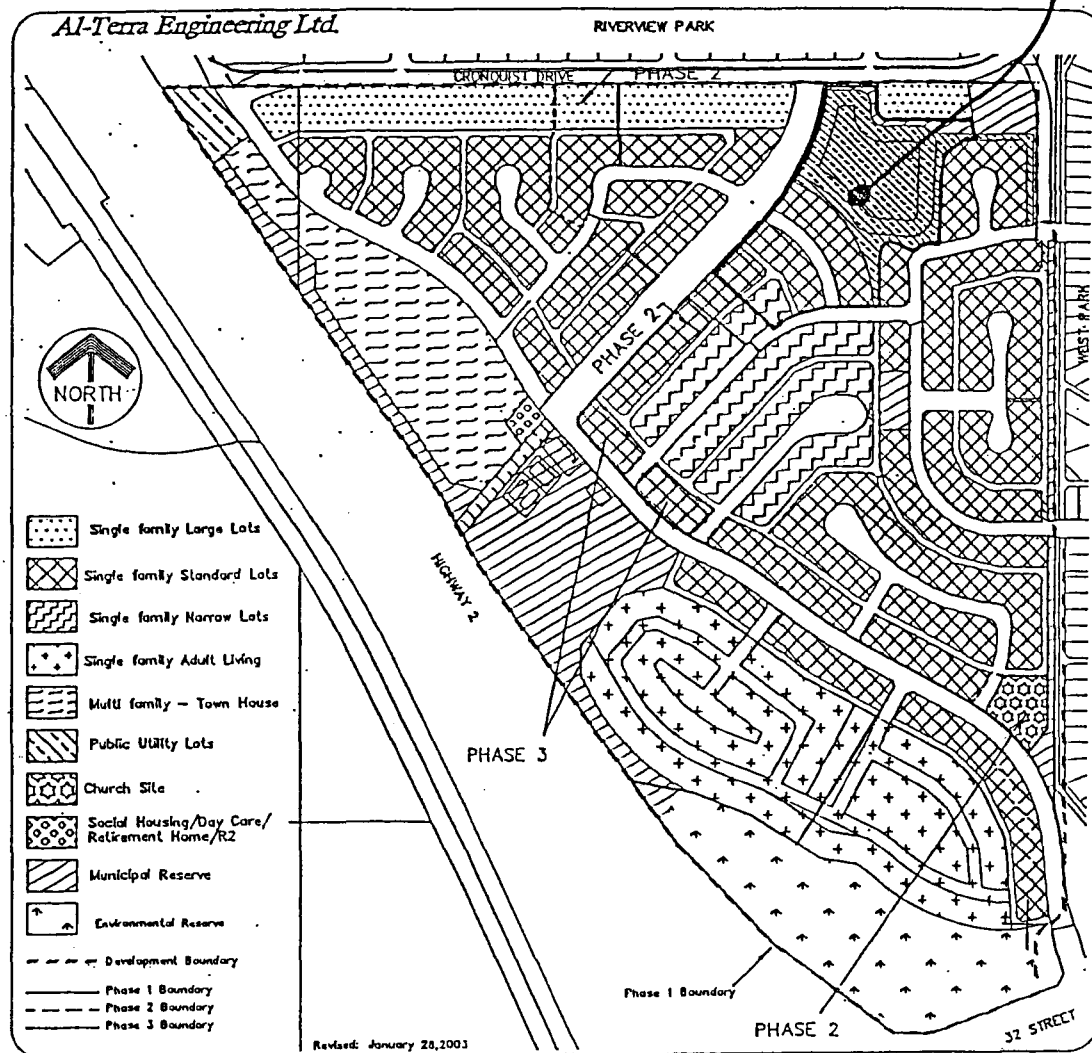




PREVIOUS LOTTING ARRANGEMENT
AND POND LAYOUT FOR
WESTPARK SUBDIVISION



CURRENT LOTTING ARRANGEMENT
AND POND LAYOUT FOR
WESTPARK SUBDIVISION



Proposed WESTPARK EXTENSION
NEIGHBORHOOD AREA STRUCTURE PLAN

family housing as well as a medium density townhouse site are also proposed in the neighbourhood. The various lot types and the townhouse site are provided as either a response to a particular residential market niche or a specific land use or site issue.

The concept plan also provides opportunities for walkout basements. The potential locations are identified in *Figure 4*.

The proposed land use allocation is illustrated in *Table 1*.

TABLE 1 LAND USE ALLOCATION

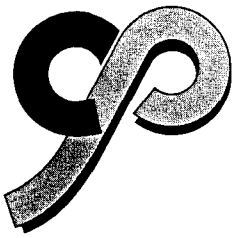
	Acres ± (Ha±)		Percentage
Total Neighbourhood Area	156.26	(63.24)	-
Environmental Reserve	11.19	(4.53)	-
Developable Area	145.07	(58.71)	100.00
Land Use			
Single Family - Large Lots	8.08	(3.27)	5.57
Single Family - Standard Lots	46.67	(18.89)	32.17
Single Family - Adult Living	19.84	(8.03)	13.68
Multi - Family - Townhouse	9.69	(3.92)	6.68
Single Family - Narrow Lot	8.18	(3.31)	5.64
Municipal Reserve	14.51	(5.87)	10.00
Streets and Lanes	29.50	(11.94)	20.34
Public Utility Lots	7.30	(2.96)	5.02
Church Site	1.00	(0.40)	0.69
Social Care Site*	0.30	(0.12)	0.21

Existing NASP

- +0.03 ha
- +0.09 ha
- -0.22 ha
- +0.30 ha

* Social Housing/Day Care/Retirement Home/R2

Traffic will move efficiently and safely through the neighbourhood on a curvilinear road network that emphasizes cul-de-sac access to single family residences. The road network is supported by a complete rear lane system. Connections to the existing West Park and its local road network are strategically located to optimize efficiency of movement and safety, and to minimize through traffic.



**PARKLAND
COMMUNITY
PLANNING
SERVICES**

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Suite 404, 4808 Ross Street
Red Deer, Alberta T4N 1X5
Phone: (403) 343-3394
FAX: (403) 346-1570
e-mail: pcps@pcps.ab.ca

Date: February 14, 2003

To: Kelly Kloss, City Clerk

Re: Land Use Bylaw Amendment 3156/H-2003
Portion of the NE ¼ Sec 7-38-27-4
West Park Extension – Phase 1 (revision)
Trademark West Park Inc.

**Previously Submitted
To The March 24, 2003
Council Meeting**

Trademark West Park Inc. is the process of amending the West Park Extension (Westlake) Neighbourhood Area Structure Plan. An amendment was required because the public utility lot located in the northeast portion of the Westlake subdivision needs to be enlarged to accommodate a larger stormwater detention pond as required by the City's Engineering Services Department. The expansion of the public utility lot southward results in the realignment of an adjacent local road as well as replotting of residential lots in the vicinity. The amendment will result in a net loss of 3 narrow single-family lots and 1 regular single-family lot.

In view of the above, an amendment to the Land Use Bylaw is required. The amendment will rezone land from R1 Residential Low Density to P1 Parks and Recreation and R1N Residential Narrow Lot, from P1 to R1, from R1N to R1 and from Road to R1 and R1N. Bylaw 3156/H-2003, Map No. 5/2003 incorporates the proposed changes and will supercede the underlying land use districts.

The proposed land uses comply with the proposed amendments to the West Park Extension (Westlake) Neighbourhood Area Structure Plan which appeared as an earlier item in this Council agenda.

Staff Recommendation

Subject to City Council giving first reading to the West Park Extension (Westlake) Neighbourhood Area Structure Plan bylaw amendment 3217/B-2003; Planning staff recommend that City Council proceed with first reading of Land Use Bylaw Amendment 3156/H-2003.

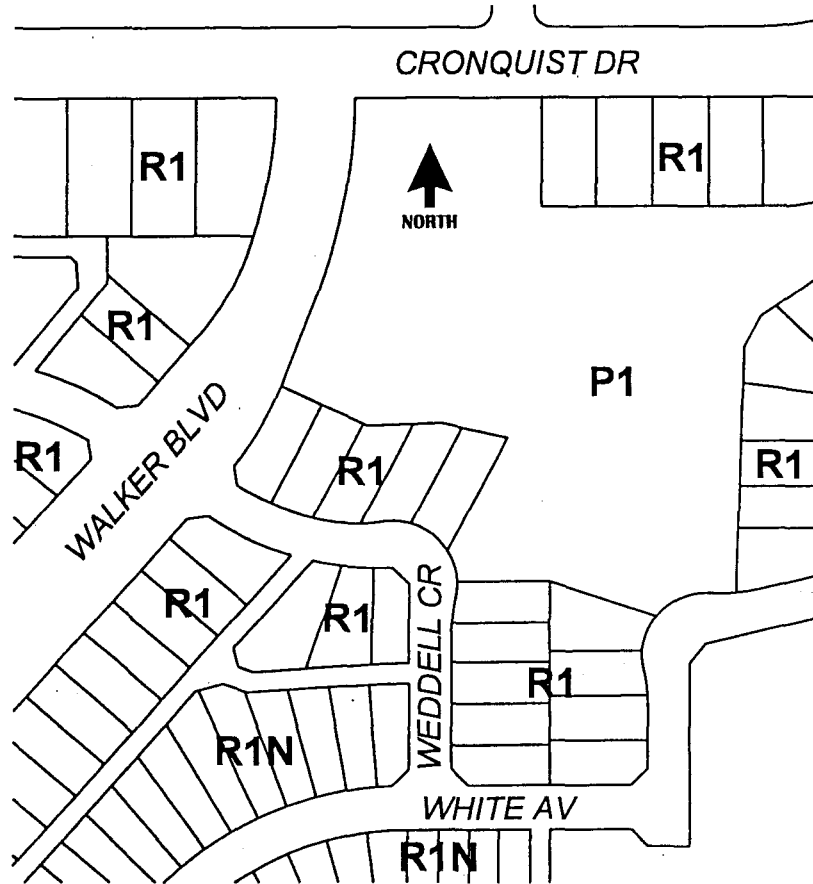
Sincerely,

Frank Wong,
Planning Assistant

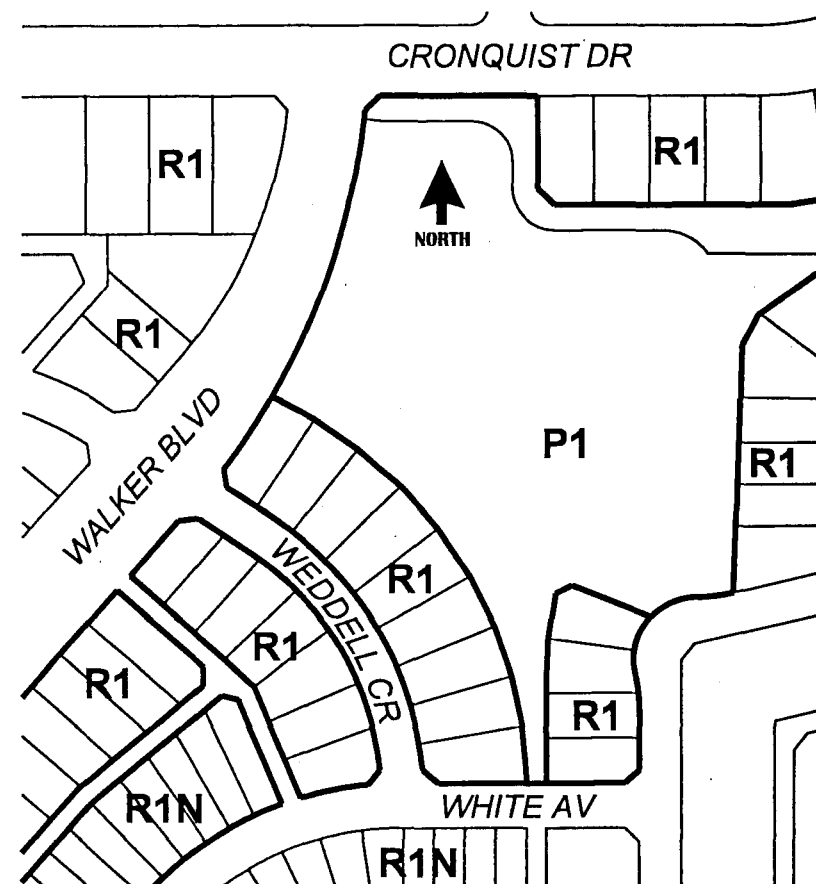
Attachment

The City of Red Deer

PROPOSED LAND USE BYLAW AMENDMENT



EXISTING



PROPOSED

AFFECTED DISTRICTS:

R1 - Residential (Low Density)

R1N - Residential Narrow Lot

P1 - Parks & Recreation

MAP No. 6 / 2003
BYLAW No. 3156 / H - 2003

CHAPMAN RIEBEEK

Barristers & Solicitors

NICK P. W. RIEBEEK*
T. KENT CHAPMAN*
LORNE E. GODDARD, Q.C.
GAYLENE D. BOBB
LESIA E. LUCIUK**

DONALD J. SIMPSON
GARY W. WANLESS*
NANCY A. BERGSTROM*
SUZANNE M. ALEXANDER-SMITH

208, 4808 Ross Street
Red Deer, Alberta
T4N 1X5

TELEPHONE (403) 346-6603
FAX (403) 340-1280
e-mail: info@chapmanriebeek.com

*Denotes Professional Corporation

**Denotes Student-at-Law

Your file:

Our file:

GEN 04/03 DJS

April 11, 2003

Johnston Ming Manning
3rd & 4th Floor
4943 - 50 Street
Red Deer, Alberta
T4N 1Y1

Fax: 346-5599

Dear Sir:

Re: Trademark West Park Inc.
Amendment to Plan and Land Use Bylaw - Westpark Extention

Please be advised that the City received a telephone call this morning from Alvin Schellenberg of Trademark West Park Inc. (Telephone: (604) 590-1155, ext. 31) indicating that they had no problem with the City proceeding to finalize the amendment to the Neighbourhood Area Structure Plan and to the Land Use Bylaw. In addition, Trademark West Park Inc. forwarded the enclosed letter to the City confirming this.

Accordingly, unless we hear from you or anyone else representing Trademark to the contrary, this matter will proceed at the next meeting of Council scheduled for April 22, 2003, based on the current design for the wider berm.

I trust this will be satisfactory.

Yours truly,


Donald J. Simpson
DJS/sjm

Enclosure

c.c. City Clerk's Department Attention: Christine Kenzie via fax: 346-6195

c.c. Parkland Community Planning Services Attention: Paul Meyette via fax: 346-1570



Apr. 11, 2003 10:30AM

CITY OF RED DEER

No. 7700

P. 21/01

**WESTLAKE**

at Heritage Ranch

TRADEMARK WEST PARK INC.

#200, 6245 - 136th Street, Surrey, BC V3X 1H3
Telephone (Surrey) 604 590-1155 ext. 31
Telephone: (Red Deer) 403 343-7503 ext. 31
Fax: 604 590-6766

FAX

Friday, April 11, 2003

Set by: _____

From: **Alvin Schellenberg**
Vice President - Operations

To: The City of Red Deer	Page 1
Attention: Office of the City Clerk	of /
Fax No. 1 403 346-6195	

Copy to:

Re: **Bylaw 3217/B-2003**
Bylaw 3156/G-2003
Bylaw 3156/H-2003

The above bylaws were tabled at the last Council Meeting at our request.

Further to my telephone call, this is to confirm that we now wish that all three bylaws proceed to 2nd and 3rd Reading at the next Council Meeting on April 22, 2003.

Thank you.

* * * Transmission Result Report (MemoryTX) (Apr.11. 2003 10:30AM) * * *

1) CITY OF RED DEER
2) City Clerks Dept

Date/Time: Apr.11. 2003 10:29AM

File No. Mode	Destination	Pg(s)	Result	Page Not Sent
7700 Memory TX	3401280	P. 2	OK	

Reason for error

E.1) Hang up or line fail
E.3) No answerE.2) Busy
E.4) No facsimile connectionP.O. Box 5008, Red Deer, Alberta T4N 3T4
Web Site: www.city.red-deer.ab.caCity Clerk's Department (403) 342-8192
Email: cityclerk@city.red-deer.ab.caDATE: APRIL 11, 2003

OUR FAX NO: (403) 346-6195

NUMBER OF PAGES INCLUDING THIS PAGE: 2

FAX TO: CHAPMAN RIEBEEK

ATTENTION: DON SIMPSON

THEIR FAX NO: 340-1280

FROM: CHRISTINE KENZIE

DEPARTMENT: CITY CLERK'S

PHONE #: (403) 342-8261

MESSAGE AREA (if required):

RE: WEST PARK EXTENSION - WEST LAKE
 → RE OUR PHONE CONVERSATION OF TODAY - ATTACHED
 IS THE FAX FROM TRANSARK WEST PARK INC. -
 SAYING OK TO GO AHEAD WITH 2ND + 3RD PHASES
 OF THE BYLAWS THAT WERE APPROVED ON APRIL 7, 2003

Confidentiality Notice

This communication is directed in confidence solely to the person named above and may not otherwise be distributed, copied or disclosed. It may contain information that is confidential or subject to legal privilege. Further disclosure or use of this communication in whole or in part, by any other person, in any manner, may be an offence under the Freedom of Information and Protection of Privacy Act. If you received this fax in error please telephone us immediately. Thank you for your assistance.

ORIGINAL TO FOLLOW: BY MAIL ☒ BY COURIER ☐
 NO ORIGINAL WILL BE FORWARDED: ☒

IF YOU DO NOT RECEIVE ALL OF THE PAGES, PLEASE CONTACT SENDER AT THE PHONE NUMBER SHOWN ABOVE. THANK YOU.

City Clerk's Department

DATE: April 23, 2003

TO: Frank Wong, Parkland Community Planning Services

FROM: Nona Housenga, Deputy City Clerk

SUBJECT: West Park Extension (Westlake):

- 1) Neighbourhood Area Structure Plan Bylaw Amendment 3217/B-2003
- 2) Land Use Bylaw Amendment 3156/G-2003
- 3) Land Use Bylaw Amendment 3156/H-2003

Reference Report:

City Clerk, dated April 14, 2003 and Parkland Community Planning Services, dated April 1, 2003

Resolutions:

Resolved that Council of the City of Red Deer, having considered the report from Parkland Community Planning Services, dated April 1, 2003, hereby agrees to amend West Park (Westlake) Neighbourhood Area Structure Plan amendment 3217/B-2003 by deleting pages 12, 14, 15, 16 and 19 and Figures 4, 7, 10, 16, 17, 20, 21 and 22 and substituting the following revised pages 9, 12, 13, 14, 15, 16, 17, 19, 24 and 25 and Figures 4, 7, 9, 10, 16, 17, 20, 21 and 22 as attached to the April 1, 2003 report from Parkland Community Planning Services.

Resolved that Council of the City of Red Deer, having considered the report from Parkland Community Planning Services, dated April 1, 2003, hereby agrees to amend Land Use Bylaw Amendment 3156/G-2003 by substituting revised Map No. 5/2003 as attached to the April 1, 2003 report from Parkland Community Planning Services.

Bylaw Readings:

Neighbourhood Area Structure Plan Bylaw Amendment 3217/B-2003 and Land Use Bylaw Amendment 3156/G-2003, as amended, were given second and third readings. Land Use Bylaw Amendment 3156/H-2003 was also given second and third readings. Copies of the bylaws are attached.

Report Back to Council: No

Comments/Further Action:

This office will amend the Land Use Bylaw and distribute copies in due course.

A handwritten signature in black ink, appearing to read 'N. Housenga', written over the printed name.

Nona Housenga
Deputy City Clerk

/chk
attchs.

- c Director of Development Services
 Inspections and Licensing Manager
 Land & Economic Development Manager
 City Assessor
 D. Kutinsky, Graphics Designer
 C. Adams, Administrative Assistant
 B. Greter, City Clerk's, Clerk Steno



FILE

CITY CLERK'S DEPARTMENT

April 23, 2003

Mr. Gary Grelish
Trademark Pacific Properties Ltd.
#200, 6245 – 136 Street
Surrey, BC V3X 1H3

Dear Mr. Grelish:

Re: West Park Extension (Westlake):
(a) Neighbourhood Area Structure Plan Bylaw Amendment 3217/B-2003
(b) Land Use Bylaw Amendment 3156/H-2003
&
Land Use Bylaw Amendment 3156/G-2003
Portion of Block X, Plan 1128 AM and Portion of the NE ¼ Sec. 7-38-27-4

At the City of Red Deer's Council Meeting held on April 22, 2003, Public Hearings were held with respect to *West Park Extension (Westlake) Neighbourhood Area Structure Plan Bylaw Amendment 3217/B-2003, Land Use Bylaw Amendment 3156/H-2003 and Land Use Bylaw Amendment 3156/G-2003*. Following the Public Hearings, *Neighbourhood Area Structure Plan Bylaw Amendment 3217/B-2003, as amended, Land Use Bylaw Amendment 3156/G-2003, as amended and Land Use Bylaw Amendment 3156/H-2003* were given second and third readings. Copies of the bylaws are attached.

Council passed the following resolutions:

Resolved that Council of the City of Red Deer, having considered the report from Parkland Community Planning Services, dated April 1, 2003, hereby agrees to amend West Park (Westlake) Neighbourhood Area Structure Plan amendment 3217/B-2003 by deleting pages 12, 14, 15, 16 and 19 and Figures 4, 7, 10, 16, 17, 20, 21 and 22 and substituting the following revised pages 9, 12, 13, 14, 15, 16, 17, 19, 24 and 25 and Figures 4, 7, 9, 10, 16, 17, 20, 21 and 22 as attached to the April 1, 2003 report from Parkland Community Planning Services.

..2/

Trademark Pacific Properties Ltd.

April 22, 2003

Page 2

Resolved that Council of the City of Red Deer, having considered the report from Parkland Community Planning Services, dated April 1, 2003, hereby agrees to amend Land Use Bylaw Amendment 3156/G-2003 by substituting revised Map No. 5/2003 as attached to the April 1, 2003 report from Parkland Community Planning Services.

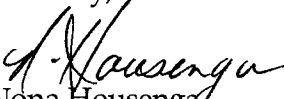
West Park Extension (Westlake) Neighbourhood Area Structure Plan Bylaw Amendment 3217/B-2003 changes the land use designations in the Northeast portion of the Plan Area including the enlargement of a public utility lot to accommodate a larger stormwater detention pond. The expansion of the public utility lot results in the realignment of an adjacent local road and replotting of residential lots. There will be a net loss of 3 narrow single-family lots and 1 regular single-family lot. Green space will be increased from 13.06 ha to 13.36 ha.

In conjunction with the above Neighbourhood Area Structure Plan Bylaw Amendment, *Land Use Bylaw Amendment 3156/H-2003* rezones land from R1 Residential Low Density to P1 Parks and Recreation and R1N Residential Narrow Lot, from P1 to R1, from R1N to R1 and from Road to R1 and R1A.

Land Use Bylaw Amendment 3156/G-2003 provides for the subdivision of approximately 5.737 ha (14.176 ac) of land to create a 4.048 ha (10.0 ac) future urban development lot, two public utility lots, one municipal reserve lot, and a portion of road right-of-way. The public utility lots and the municipal reserve lot are being rezoned from A1 Future Urban Development to P1 Parks and Recreation District, and the 4.049 ha (10.0 ac) lot will remain as A1 Future Urban Development District. This rezoning is to create the 4.048 ha (10.0 ac) lot to complete an internal land sale/exchange agreement. The 4.048 ha (10.0 ac) lot will be developed, in the future, as a medium density townhouse project as well as a small day/social/retirement home project in accordance with the Neighbourhood Area Structure Plan and will be rezoned to R2 Residential Medium Density at the time of development.

Please do not hesitate to contact me should you have any questions or require further clarification .

Sincerely,


Nona Housenga
Deputy City Clerk

NH/chk

/attach.

c S. Banack, Al-Terra Engineering Ltd.
Parkland Community Planning Services
C. Adams, Administrative Assistant

* * * Transmission Result Report (MemoryTX) (Apr.11. 2003 10:31AM) * * *

1) CITY OF RED DEER
2) City Clerks Dept

Date/Time: Apr.11. 2003 10:29AM

File No. Mode	Destination	Pg (s)	Result	Page Not Sent
7701 Memory TX	3461570	P. 2	OK	

Reason for error
E.1) Hang up or line fail
E.3) No answerE.2) Busy
E.4) No facsimile connectionP.O. Box 5008, Red Deer, Alberta T4N 5T4
Web Site: www.city-red-deer.ab.caCity Clerk's Department (403) 342-6132
Email: cityclerk@city-red-deer.ab.caDATE: APRIL 11, 2003

OUR FAX NO: (403) 346-6195

NUMBER OF PAGES INCLUDING THIS PAGE: 2

FAX TO: PARCLAND COMMUNITY PLANNING SERVICES
 ATTENTION: PAUL MEYETTE
 THEIR FAX NO: 346-1570
 FROM: CHRISTINE KENZIE
 DEPARTMENT: CITY CLERK'S
 PHONE #: (403) 342-6261

MESSAGE AREA (if required):

RE: WEST PARK EXTENSION - WESTLAKE
 - NASP # 32176-2003 + SUB AMENDMENTS, 3156-2003 +
 3156A-2003
 - ATTACHED FAX FROM TRADEMARK, WEST PARK INC. -
 SAYING OK TO GO AHEAD WITH 2nd + 3rd REVISIONS OF
 THE BYLAWS BY APRIL 22/03
 - I WILL FAX THIS TO DON SIMPSON AS WELL.

Confidentiality Notice

This communication is directed in confidence solely to the person named above and may not otherwise be distributed, copied or disclosed. It may contain information that is confidential or subject to legal privilege. Further disclosure or use of this communication in whole or in part, by any other person, in any manner, may be an offence under the Freedom of Information and Protection of Privacy Act. If you received this fax in error please telephone us immediately. Thank you for your assistance.

ORIGINAL TO FOLLOW: BY MAIL BY COURIER
 NO ORIGINAL WILL BE FORWARDED:

IF YOU DO NOT RECEIVE ALL OF THE PAGES, PLEASE CONTACT SENDER AT THE PHONE NUMBER SHOWN ABOVE. THANK YOU.

BYLAW NO. 3217/B-2003

Being a bylaw to amend Bylaw No. 3217/98, the bylaw adopting the West Park Extension (Westlake) Neighbourhood Area Structure Plan as a bylaw of the City of Red Deer.

COUNCIL OF THE CITY OF RED DEER, ALBERTA, ENACTS AS FOLLOWS:

That Bylaw No. 3217/98 is hereby amended:

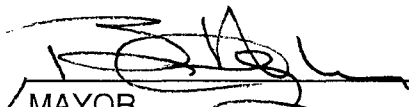
1. By substituting in the West Park Extension (Westlake) Neighbourhood Area Structure Plan the following; Pages 9, 12, 13, 14, 15, 16, 17, 19, 24 and 25 and Figures 4, 7, 9, 10, 16, 17, 20, 21, and 22.

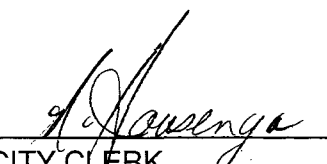
READ A FIRST TIME IN OPEN COUNCIL this 24th day of February 2003.

READ A SECOND TIME IN OPEN COUNCIL this 22nd day of April 2003.

READ A THIRD TIME IN OPEN COUNCIL this 22nd day of April 2003.

AND SIGNED BY THE MAYOR AND CITY CLERK this 22nd day of April 2003.


D/ MAYOR


Deputy CITY CLERK

addressing such design elements as street layout and street classification, the Guidelines identify the potential development of community facilities including:

- One site of approximately 0.12 hectares (0.3 acres) for the possible development of a social care residence or seniors residence site, preferably located on collector roads on a corner site where higher parking requirements can be satisfied. It is advised that the site be secured for a minimum of three months after advertising, but if it is not purchased for either of the specified uses then it may be used for conventional residential development.
- One 0.405 hectare (1 acre) church site, preferably located on collector roads on a corner site where higher parking requirements can be satisfied. Similarly, the site should be kept for a minimum of six months after advertising, but it may be used for conventional residential development if it is not purchased for a church.

3.5 Neighbourhood Area Structure Plan

The City of Red Deer requires a Neighbourhood Area Structure Plan (NASP) to provide planning and development strategies for large areas of land prior to development. The NASPs are governed by the *Municipal Government Act* and must reflect other guidelines and/or statutory documents established as a policy of Council such as the Municipal Development Plan. These Neighbourhood Area Structure Plans typically address land use, transportation, social facilities, servicing and staging as well as any significant site-specific matters.

4.0 DEVELOPMENT PROPOSAL

The West Park Extension neighbourhood development concept (**Figure 4**) is based upon the community and developer input, City policies, site characteristics, edge conditions and market indicators. The key components are neighbourhood structure, land use density and population, open space, transportation, servicing and phasing.

4.1 Development Concept

The vision for West Park Extension is a comprehensively planned residential community with an emphasis upon integrating land uses, open space connectivity, land use efficiency and innovation. The key urban design and land use planning principles guiding the Plan include:

family housing as well as a medium density townhouse site are also proposed in the neighbourhood. The various lot types and the townhouse site are provided as either a response to a particular residential market niche or a specific land use or site issue.

The concept plan also provides opportunities for walkout basements. The potential locations are identified in **Figure 4**.

The proposed land use allocation is illustrated in **Table 1**.

TABLE 1 LAND USE ALLOCATION

	Acres± (Ha±)	Percentage
Total Neighbourhood Area	156.26 (63.24)	-
Environmental Reserve	11.19 (4.53)	-
Developable Area	145.07 (58.71)	100.00
Land Use		
Single Family – Large Lots	8.08 (3.27)	5.57
Single Family – Standard Lots	46.31 (18.74)	31.92
Single Family – Adult Living	19.84 (8.03)	13.68
Multi - Family – Townhouse	8.21 (3.32)	5.66
Single Family – Narrow Lot	8.18 (3.31)	5.64
Municipal Reserve	16.56 (6.70)	11.42
Streets and Lanes	28.73 (11.63)	19.80
Public Utility Lots	7.86 (3.18)	5.42
Church Site	1.00 (0.40)	0.69
Social Care Site*	0.30 (0.12)	0.21

* Social Housing/Day Care/ Retirement Home/R2

Traffic will move efficiently and safely through the neighbourhood on a curvilinear road network that emphasizes cul-de-sac access to single family residences. The road network is supported by a complete rear lane system. Connections to the existing West Park and its local road network are strategically located to optimize efficiency of movement and safety, and to minimize through traffic.

A significant natural area along the western boundary is provided for recreation purposes and buffering of highway noise. Similarly, the existing natural wetland found at the southern end of the site is protected as habitat but is also upgraded for stormwater detention purposes.

It should be noted that the smaller wetland and associated park area located to the east of the 60th Avenue alignment is not within the site boundaries, even though each of these contribute to the neighbourhood. As such, they have not been included in the Neighbourhood Structure Plan area.

4.1.1 Single Family Detached

There are five single family detached lot types being proposed, all of which fall under the City of Red Deer's Residential Low Density District (R1) and Residential Narrow Lot District (R1N). Each of the lot types is described below.

Standard A: The typical and minimum widths of standard A lots are 15.2 metres \pm (49.9 feet \pm) and 12.8 metres \pm (42.0 feet \pm) respectively. Standard A lots account for 371 of the 692 (approximately 54 percent) dwelling units anticipated on the site, the highest proportion of any residential land use. They are found throughout the neighbourhood

Standard B: At 16.8 metres \pm (55 feet \pm) wide standard B lots are wider than standard A lots. They are found along the neighbourhood's eastern boundary where they back onto lots with similar dimensions in the adjoining established neighbourhood. They are intended to enhance compatibility and cohesiveness between existing and future residential development.

Large: Large lots are characterized by a 22.9 metre \pm (75 feet \pm) width, and lot depths of 48.8 metres \pm (160 feet \pm) and 40 metres \pm (132 feet \pm). Located along the south side of Cronquist Drive these lots are intended to enhance compatibility with larger suburban lots located on the north side of the road.

Narrow: Narrow lots are characterized by a minimum lot width of 10.4 metres (34.1 feet) and rear drive garages. They are located near the center of the

neighbourhood in close proximity to major neighbourhood roads and park and natural areas.

Adult Living: Adult living detached single family lots are typically 12.2 metres \pm (40 feet \pm) wide. They are found in an 8.03 hectare \pm (19.84 acre \pm) cluster located at the south end of the neighbourhood adjacent to the park and natural areas. As implied by their name, they are intended as detached seniors' housing characterized by smaller yards.

4.1.2 Townhouses

A single, 3.32 gross hectare \pm (8.21 acre \pm) medium density townhouse site is strategically located in close proximity to a park / natural area and the internal collector road network. Townhouse units will be a maximum two stories high. They are intended for a range of potential homebuyers.

4.2 Development Density

As noted in Section 3.1 maximum density for new residential areas in the City of Red Deer is 45 persons per gross hectare. Based upon the existing policy and given a total neighbourhood development area of 63.24 hectares \pm (156.26 acres \pm), a maximum population of 2846 persons could be accommodated in the West Park Extension area.

The proposed development concept, however, is well below the maximum, as the estimated population density is 36.78 persons per hectare. This is based upon an estimated build-out of 699 dwelling units, City of Red Deer occupancy factors and a population of 2326 persons.

The population density calculation is summarized in **Table 2**. Table 2 also shows the estimated number of dwelling units and associated population for each of the residential land uses when the neighbourhood is fully developed. Single family Standard A lots account for the majority of dwelling units (371) and population (1261) as compared to the other residential land uses.

TABLE 2 ESTIMATED POPULATION DENSITIES

Land Use	Lot Width (m±)	Number of Dwelling Units	Number of Persons/ Unit	Total Population (Maximum)	Density Persons/Ha
Single Family, Large Lot	22.9	30	3.4	102	-
Single Family, Standard A Lots	12.8	371	3.4	1261	-
Single Family, Standard B Lots	16.8	14	3.4	48	
Single Family, Narrow Lots	10.4	81	3.4	275	
Single Family, Adult Living Lot	12.2	130	3.4	442	-
Multiple Family, Townhouse	8.21 ac@8upa	66	3.0	198	-
Total (With church and social care site)		692	-	2326	36.78
Multiple Family, Townhouse (Additional- no social care site)*	0.30 ac@8upa	2	3.0	6	
Single Family, Standard Lot A (Additional- no church)	12.9	5	3.4	17	
Total (No church or social care site*)		699	-	2349	37.14

* Social Housing /Daycare /Retirement Home /R2

NOTE: The occupancy factor of 3.4 persons per dwelling unit used for the Adult Living single family is considered to be high. Applying a more realistic factor of 2.2 persons per dwelling unit to the Adult Living component the anticipated overall neighbourhood density would be 34.31 persons per hectare (with a church and social care site) and 34.68 persons per hectare (without the sites).

The relatively low estimated population density can be attributed to the amount of park and natural areas that are provided and the quantity of lower density single family detached development.

It should be noted that the calculations are based on the assumption that the church and community care sites would be developed for these intended purposes. Should the two sites be developed for residential purposes, the estimated population density for the entire neighbourhood would marginally increase to 37.14 persons per hectare (15.03 persons per acre). This is well within the 45 persons per hectare limit stipulated in the City of Red Deer *Municipal Development Plan*.

4.3 Parks and Open Space

The parks and open space system includes several different types of parks and an extensive pedestrian / cycling trail system connecting parks and neighbourhoods. The park and trail systems represent important community amenities and focal points for new West Park Extension residents as well as those from neighbouring communities. Approximately 10 per cent of the site is provided as municipal reserve, satisfying the *Municipal Government Act* and City of Red Deer requirements. It is comprised of a balance of natural areas, local play areas, buffer and linear parks. The percentage increases to 21 per cent when the environmental reserve areas and public utility lots such as the storm detention facility are included.

4.3.1 West Area Park

The neighbourhood's largest and most significant park is the linear park that runs the length of neighbourhood's western boundary. It includes a 3.58 hectare \pm (8.87 acre \pm) natural park located at approximately the midway point along the boundary (see **Figure 8**). A "play area", complete with a full range of playground facilities, a multi-use area and a small parking lot are integrated into the natural area park. The final location and layout of the play area will be determined in cooperation with the City of Red Deer Recreation Parks and Culture Department. The western linear park system connects the northern and southern detention

ponds to form a corridor of public use open space encompassing the entire western and southern boundaries of the neighbourhood.

The western boundary park serves several important purposes by offering excellent outdoor amenity and recreation opportunities to the community, protecting important tree stands and wildlife habitat, and acting as a noise and visual barrier to Highway 2. An approximately 30 metre (100 ft.) wide, landscaped berm complete with sound attenuation faculty, will be constructed adjacent to portions of the highway right-of-way for added noise and visual abatement. The design details of the berm are illustrated in **Figure 9**.

4.3.2 East Area Park

A second linear open space incorporating a 2.5 metre regional path will be created along the 60th Avenue alignment (see **Figure 6**). It connects the historical northeast feature park at the intersection of Cronquist Drive and 60th Avenue in the north to the combination wetland / storm detention pond found in the south. The school site monument is the focus of the northeast feature park. This park and monument site will be enhanced with paved walking areas and seating facilities as illustrated in **Figure 10**. The feature park is also connected to the storm detention facility located to the southwest and ultimately to the Grand Boulevard.

4.3.3 Grand Boulevard

The high-tension power line corridor has been integrated into the neighbourhood park and open space system by serving as a median for the main entry road (see **Figure 7**). Special design treatments, such as extensive landscaping are intended to improve its visual and aesthetic quality and establish the Grand Boulevard as a neighbourhood gateway.

4.3.4 Local Parks

A 0.22 hectare \pm (0.55 acre \pm) "tot lot" in the east central area (see **Figure 10**) is provided as a local play and amenity area.

4.7 Public Utilities

In addition to the environmental reserve wetland area within the Plan boundary and the one to the east of 60th Avenue, two storm detention facilities are provided to service the neighbourhood. A large, 2.12 hectares \pm (5.2 acres \pm) site, located in the northeast sector of the neighbourhood just east of the Grand Boulevard, will be supplemented by 0.30 hectares \pm (0.76 acres \pm) of municipal reserve along the east and north side. The combined area will be landscaped and developed as an amenity for the neighbourhood as well as a storm sewer facility (see **Figure 10** and *Section 6.3*).

A small 0.35 hectares \pm (0.87 acres \pm) wetland in the northwest corner will also be retained as part of the open space and storm water system.

5.0 TRANSPORTATION

A West Park Extension Traffic Impact Study was prepared by Finn Transportation Consultants in November 2001 and was submitted under separate cover. This study addresses both the external and internal transportation networks and concludes that both networks can adequately accommodate the anticipated traffic generated by the West Park Extension.

5.1 Internal Road Network

Road connections to the external road network are strategically located. An internal road hierarchy conveys traffic efficiently and safely within the neighbourhood, while cul-de-sacs provide access to many of the single family residences.

As outlined in Section 4.1, the proposed neighbourhood structure plan closes a portion of the existing 60th Avenue. This closure is intended to provide for more continuity between the existing community and the new neighbourhood and will eliminate the current shortcutting traffic on 60th Avenue. A small portion of 60th Avenue between 59th Avenue Crescent and Cronquist Drive will remain open to accommodate local traffic movement.

The intent of the proposed internal roadway network is to:

external areas draining into the site. It is to discharge via an existing culvert running beneath Highway 2 into the ditch located on the west side of Highway 2 along the Canadian Pacific Railway (CPR) tracks, discharging ultimately into the Red Deer River. A naturalized trapped low in the northwest corner of the site, also to be dedicated as public utility lot, is to service an area of approximately 8 hectares (19.8 acres). This depression will be equipped with a wet cell to provide water quality enhancement. It is also to discharge via an existing culvert running beneath Highway 2 into the CPR ditch. The balance of the site and some external area discharging as overland flow into the site from the east comprising a total area of approximately 35 hectares (86.5 acres), will be serviced by a constructed wetland/naturalized wet pond located in the northeast corner of the site. This facility will discharge into a storm sewer line at Cronquist Drive and 60th Avenue (see **Figure 19**). The storm sewer will run along Cronquist Drive and tie into the existing storm sewer trunk at Cronquist Drive and 57th Street, discharging ultimately into the Red Deer River.

The area taken up by the storm water management facilities amounts to about 7.0 hectares (17.3 acres) or 11.1 per cent of the overall area. With this percentage adequate water quality enhancement will be provided while safeguarding the long-term sustainability of the facilities. In addition, minimizing side slopes and fluctuations in water level during severe storm events will preserve public safety.

A Master Drainage Plan has been prepared and submitted under separate cover addressing the storm water conveyance system. The Plan deals with the location and type of storm water management facilities required; the location of outfalls to the Red Deer River; the presence of Best Management Practices to enhance the water quality of the runoff discharged to the Red Deer River; and erosion and sediment controls. Preliminary storage requirements and off-site discharge rates are included. This document was submitted to the City of Red Deer, County of Red Deer, Canadian Pacific Railway and Alberta Environment for approval. The storm water conveyance system, storm water management facilities and BMPs, and storm outfalls will be designed to City of Red Deer, Canadian Pacific Railway and Alberta Environment standards. Detailed drawings for servicing each development cell will be provided to the City as part of the approval process. Drawings will be supported by a detailed Serviceability Report that

details the operation of any facilities or BMPs, and verifies the operation of the drainage system versus City and provincial guidelines.

Figure 20 shows the proposed overland Drainage Pattern for this development, while **Figure 21** shows the proposed storm sewer routing for this project.

6.4 Shallow Utilities

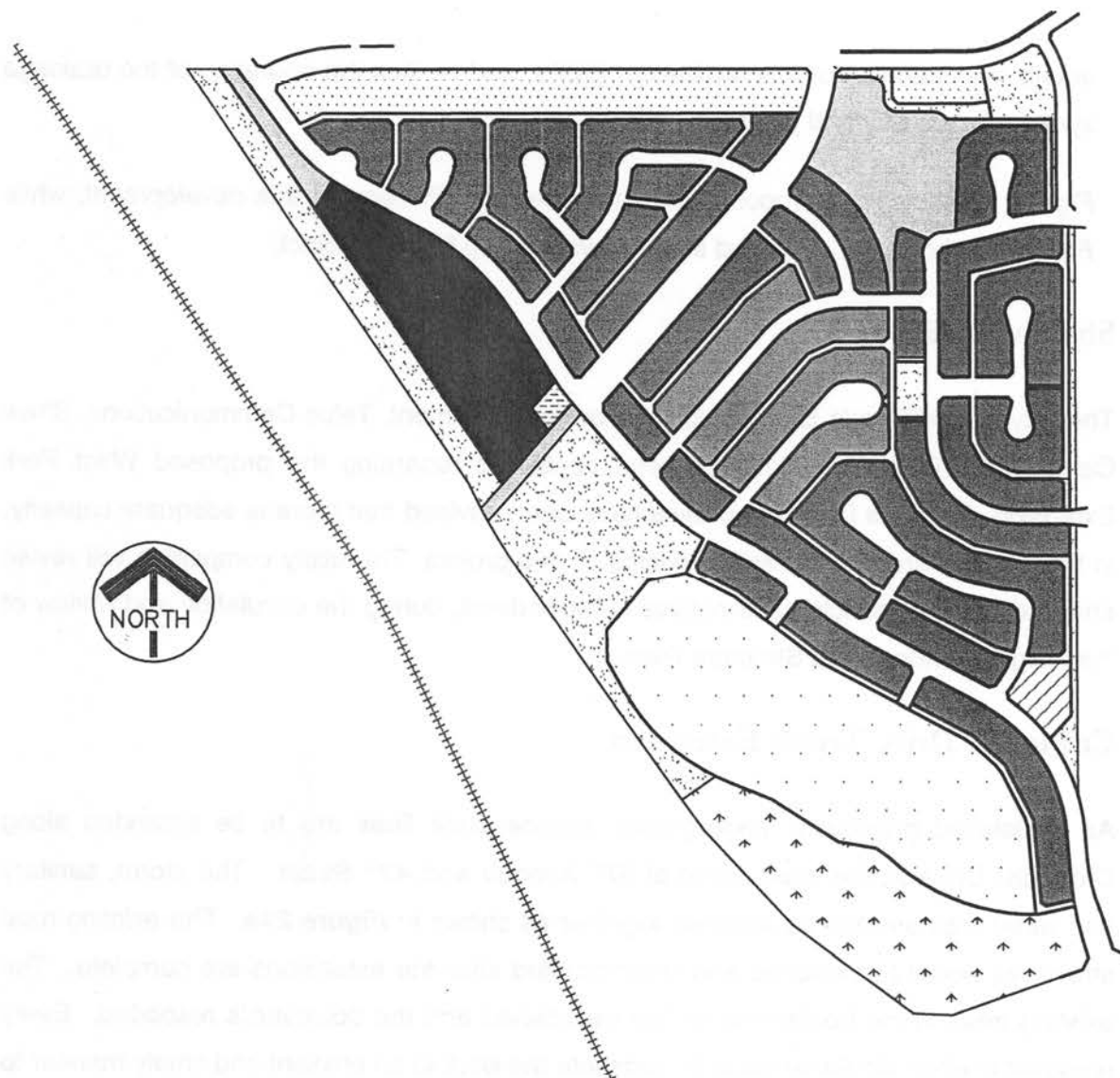
The City of Red Deer's Electric Light & Power Department, Telus Communications, Shaw Cable and ATCO Gas, have all been contacted regarding the proposed West Park Extension. All of the franchise utilities have been advised that there is adequate capacity, in the general area, to provide servicing to this project. The utility companies will revise and address the servicing alternatives in more detail, during the circulation and review of the Neighbourhood Area Structure Plan.

6.5 Cronquist Drive Trunk Extension

As is detailed previously, underground service trunk lines are to be extended along Cronquist Drive to the intersection at 57th Avenue and 43rd Street. The storm, sanitary and water mains would be installed together as shown in **Figure 21a**. The existing road structures would be removed and reconstructed after the extensions are complete. The existing trees in the boulevards will be maintained and the boulevards reseeded. Every reasonable effort would be made to complete the work in an efficient and timely manner to minimize disruption to the residents in the area.

7.0 PHASING

Figure 22 illustrates the preliminary concept for phasing. The present location of utilities dictates the initial few phases of development. Market conditions will influence the actual phasing of the development.



	Acres	Hectares	%
Single family Large Lots	8.08	3.27	5.57
Single family Standard Lots	46.31	18.74	31.92
Single family Narrow Lots	8.18	3.31	5.64
Single family Adult Living	19.84	8.03	13.68
Multi family - Town House	8.21	3.32	5.66
Street and Lanes	29.73	11.63	19.80
Public Utility Lots	7.86	3.18	5.42
Church Site	1.0	0.40	0.69
Social Care Site (Social Housing/Day Care/ Retirement Home/R2)	0.30	0.12	0.21
Municipal Reserve *	16.56	6.70	11.42

Prepared for: Trademark Western Properties.

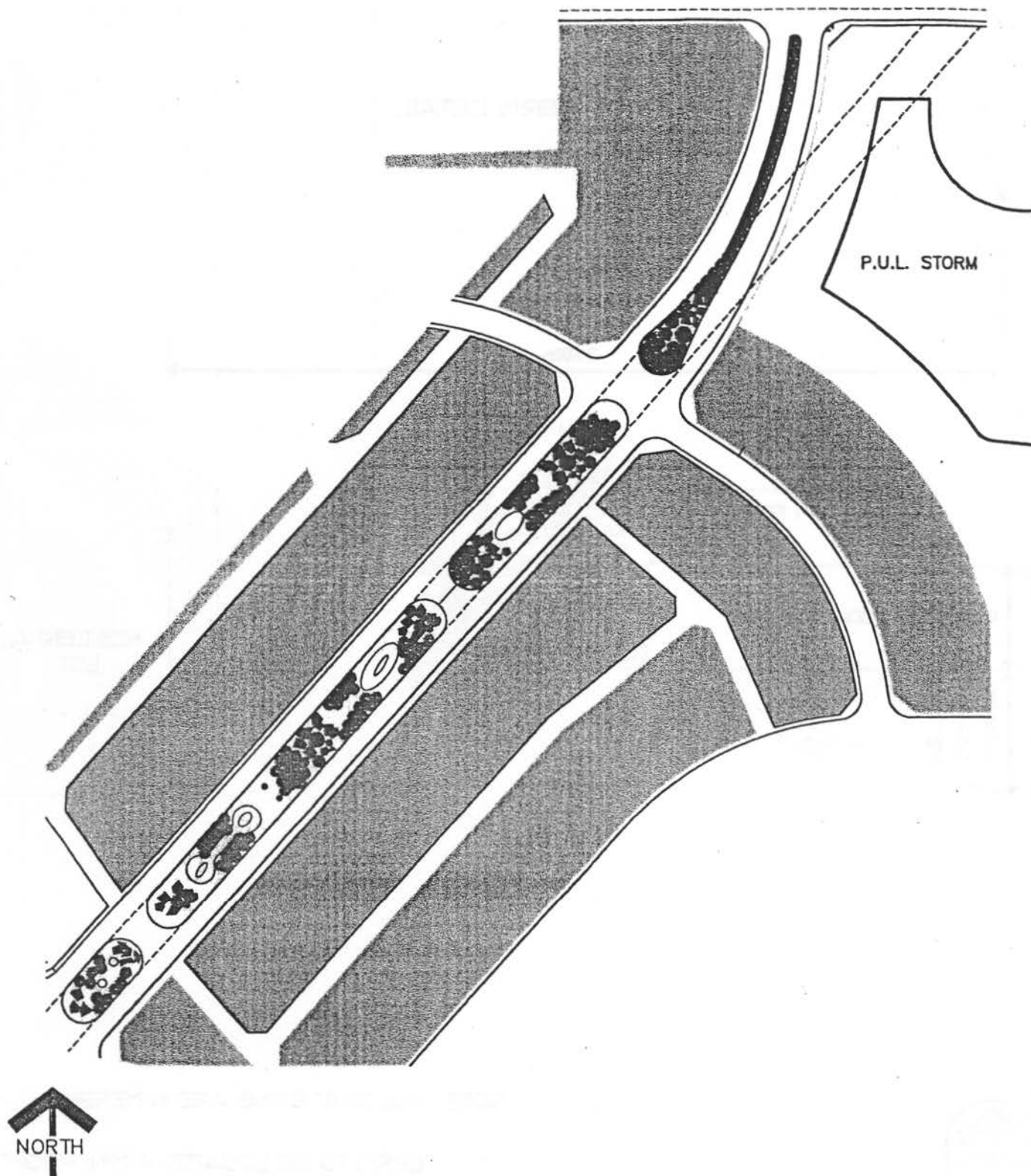
Plan Statistics	Acres ±	Hectares ±	%
Total Area	156.26	63.24	
Environmental Reserve	11.19	4.53	
Total Developable	145.07	58.71	
Net Developable Area	145.07	58.71	100.0

* Municipal Reserve Summary

	Acres ±	Hectares ±
Central Park	8.87	3.58
Highway 2 Buffer	4.19	1.70
Buffer - Existing Community	1.18	0.47
Tot Lot	0.55	0.22
Feature Park	1.03	0.42
N.E. Storm Pond	0.76	0.31
Total Area for Municipal Reserve	16.56	6.70

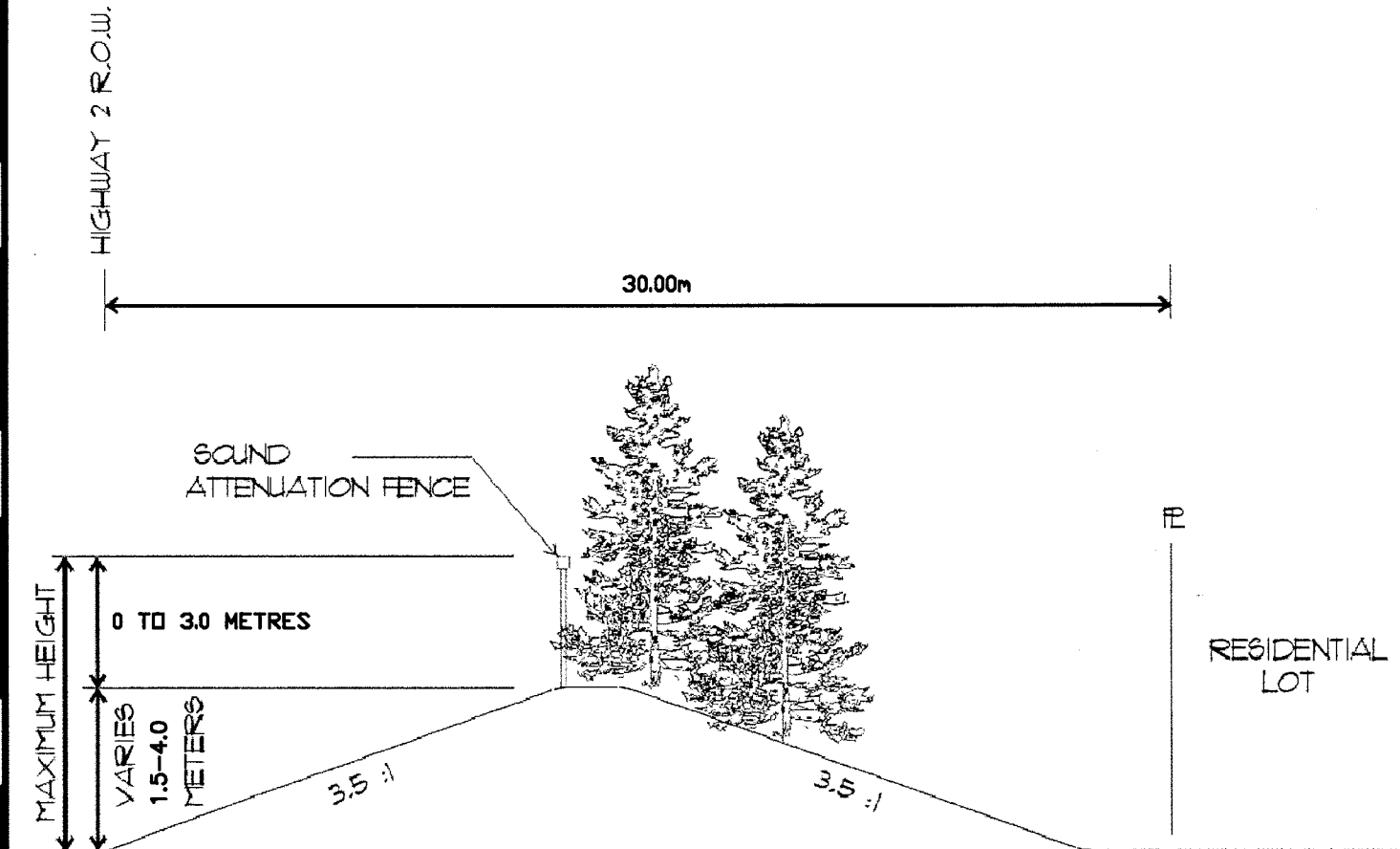
West Park Extension in Red Deer Neighbourhood Structure Plan Within:

Section 7, Township 38, Range 27, W of 4



West Park Extension
Grand Boulevard Concept Plan

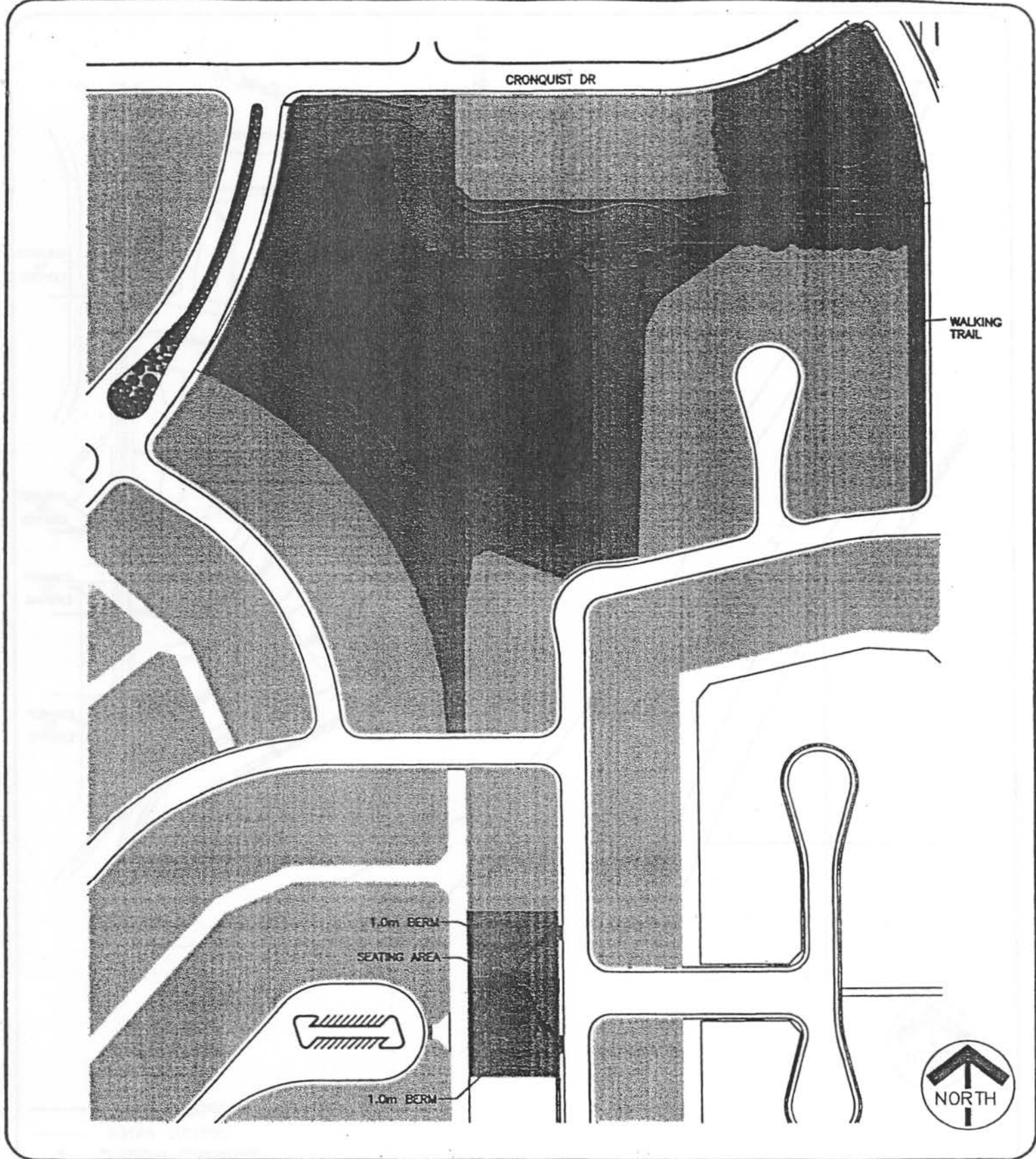
HIGHWAY BERM DETAIL



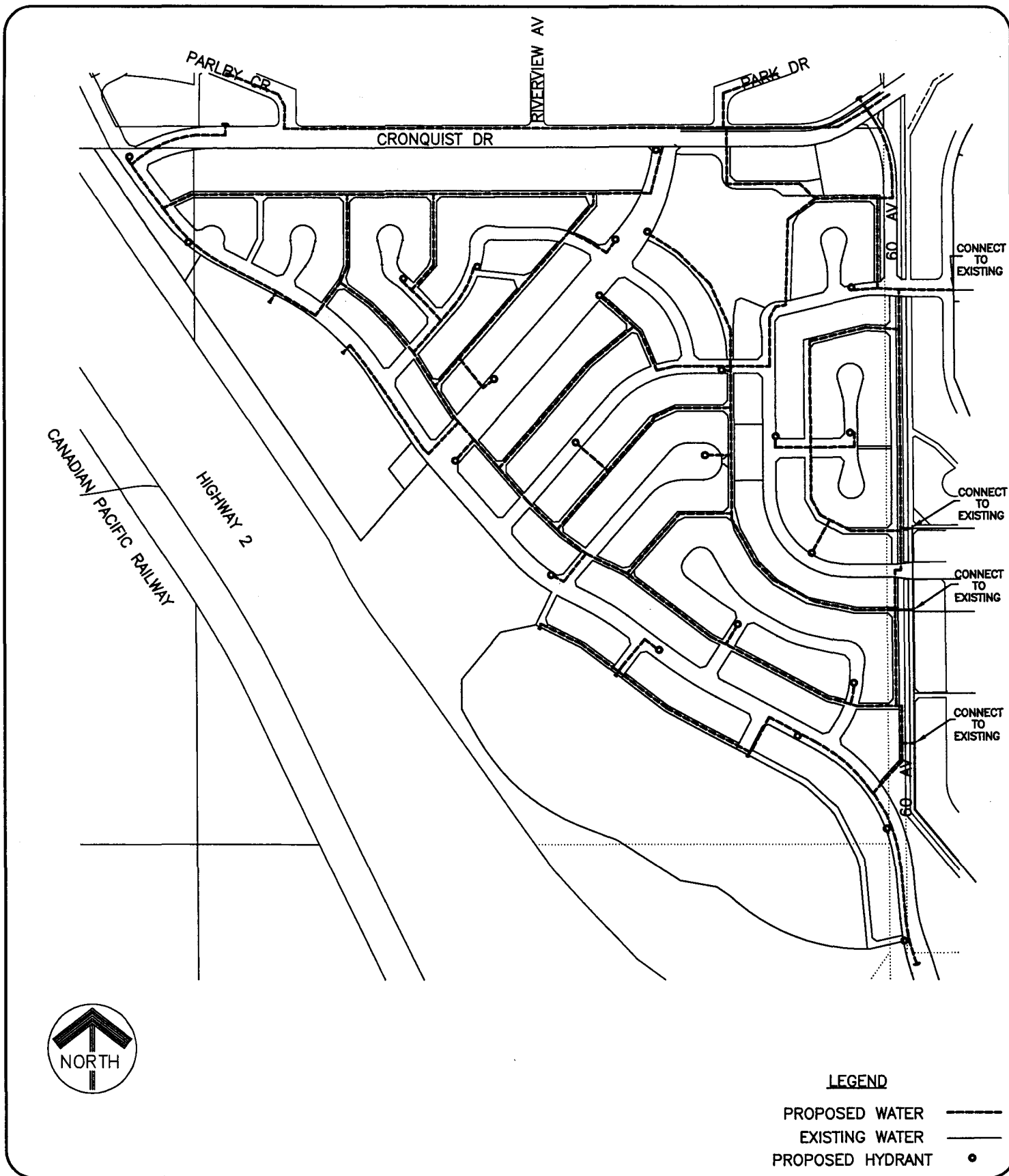
NOTE: ALL DIMENSIONS ARE IN METERS

BERM TO BE LOCATED A MIN. HEIGHT
OF 2.5m ABOVE HIGHWAY ELEVATION

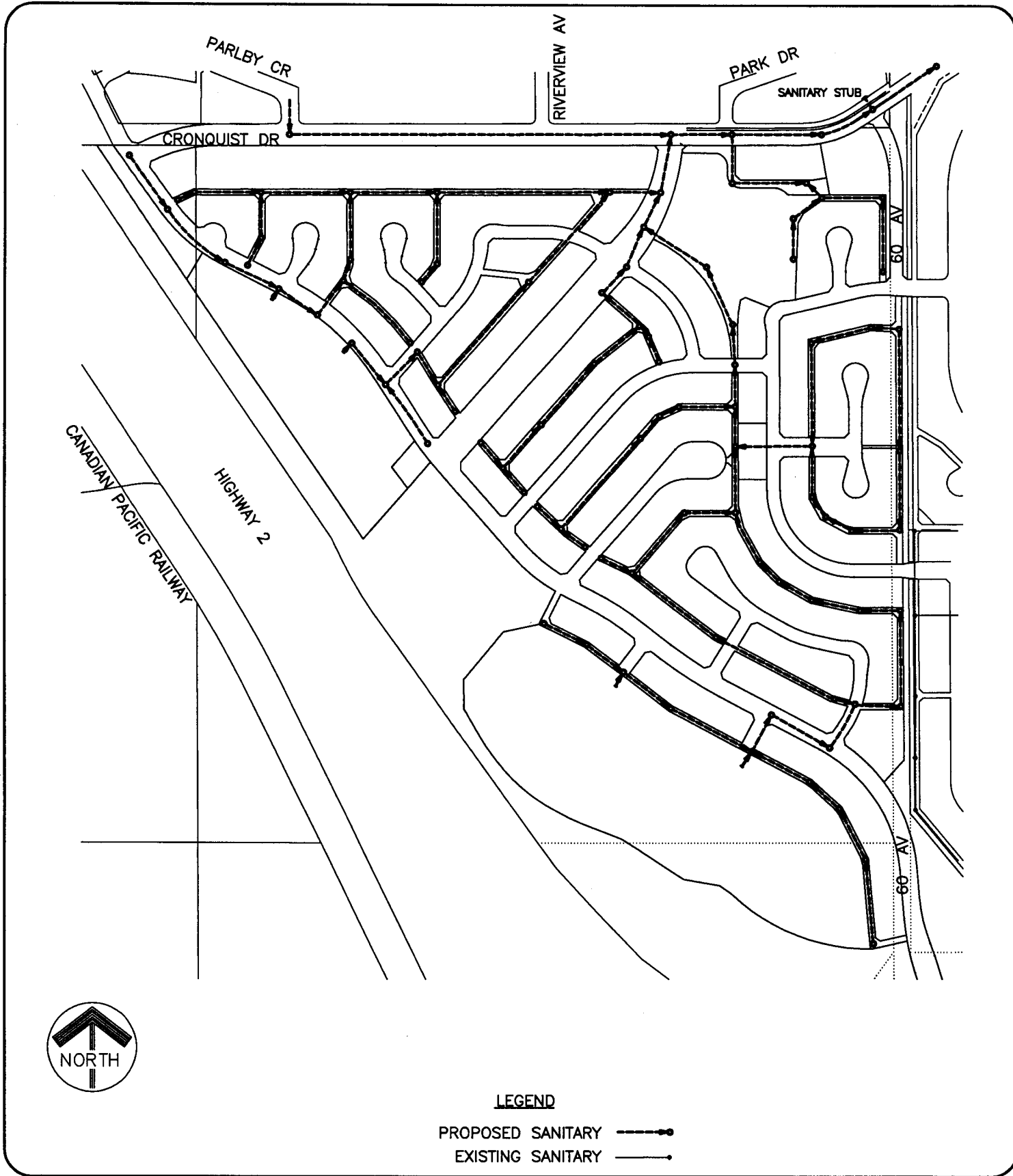
West Park Extension Highway Berm Detail



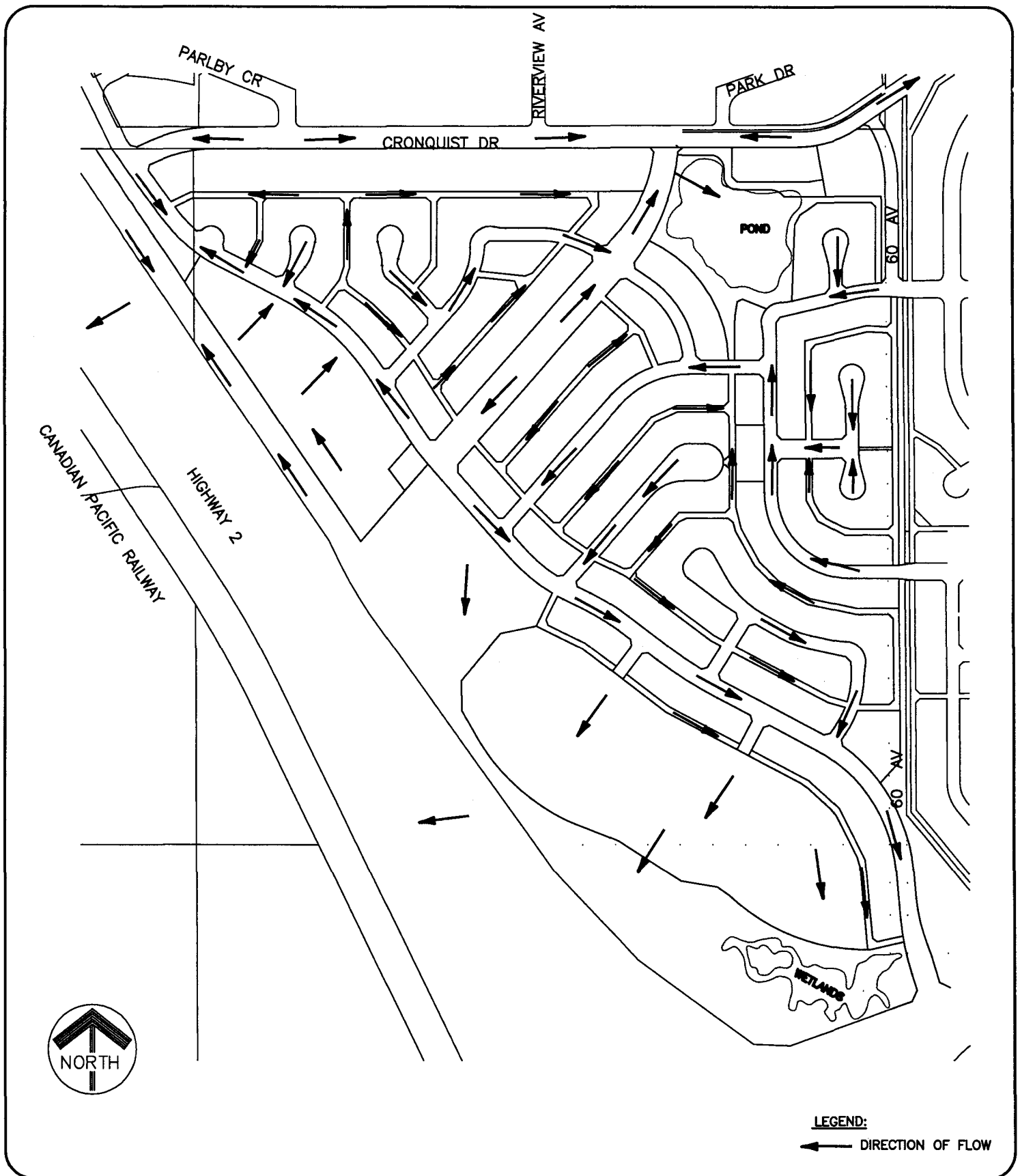
West Park Extension
Northeast Wetland
Park Concept Plan



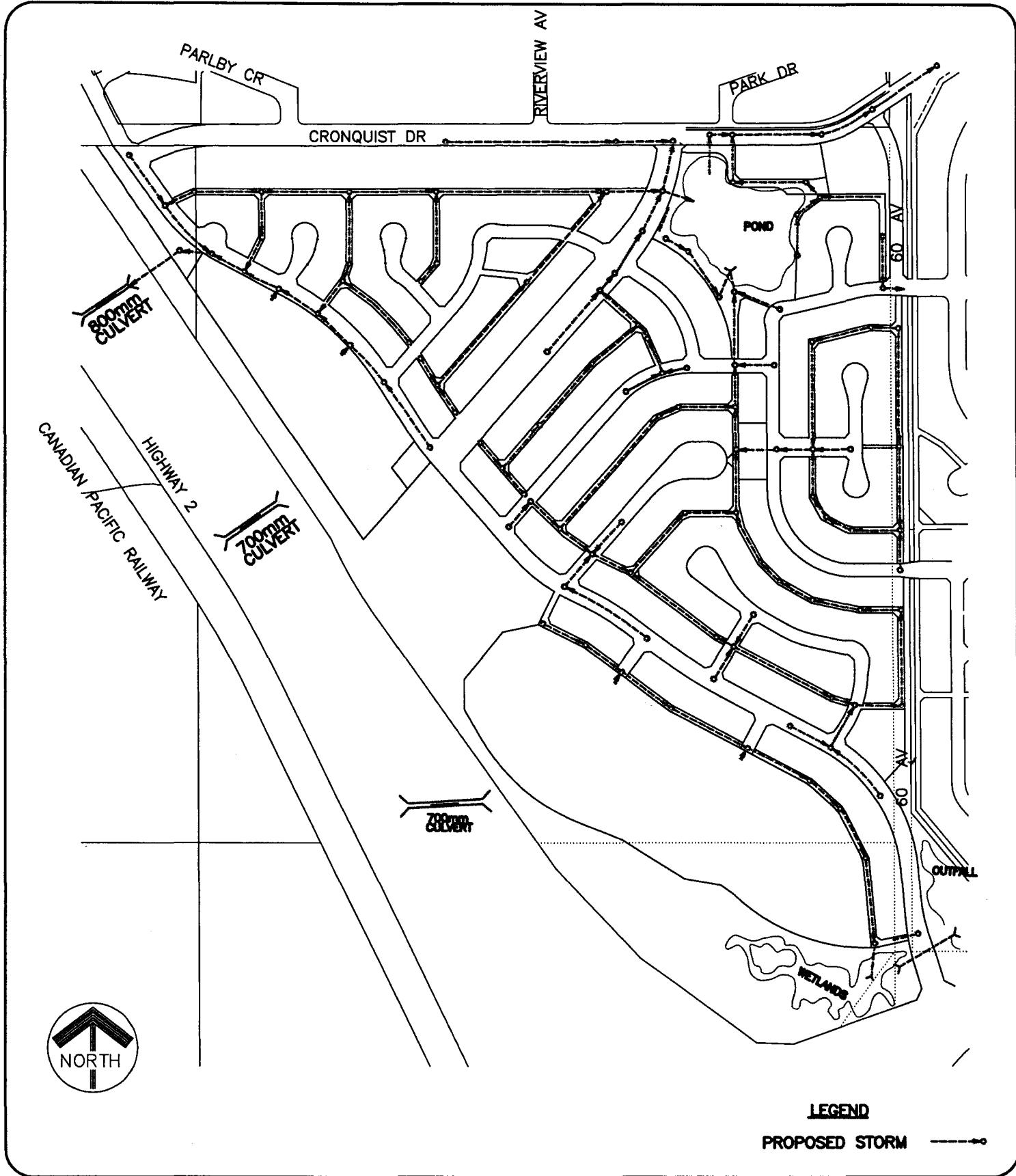
West Park Extension
Proposed Water Main



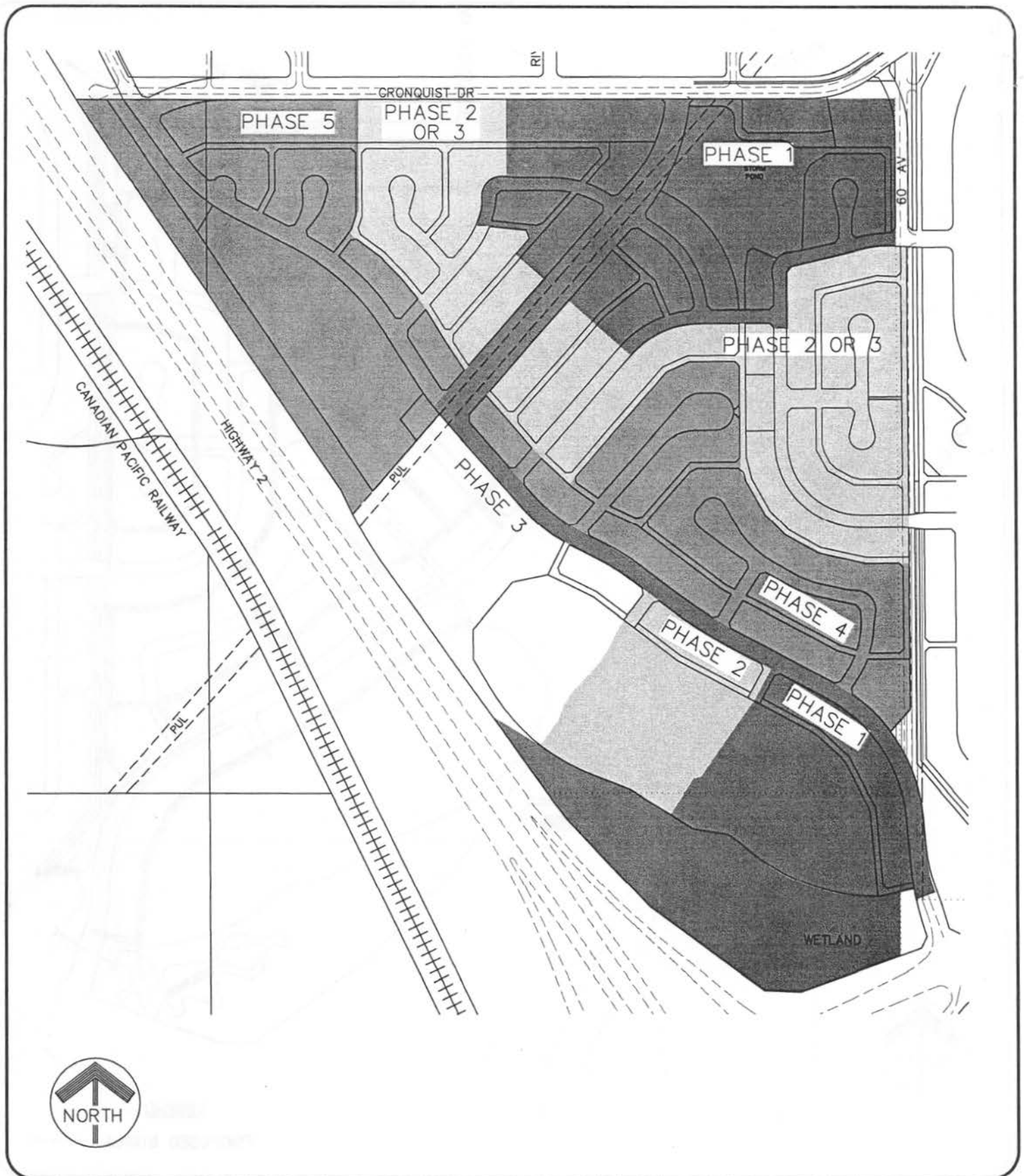
West Park Extension Proposed Sanitary Sewer



West Park Extension Proposed Overland Drainage



West Park Extension Proposed Storm Sewer



West Park Extension Phasing

BYLAW NO. 3156/G-2003

Being a bylaw to amend Bylaw No. 3156/96, the Land Use Bylaw of the City of Red Deer.

COUNCIL OF THE CITY OF RED DEER, ALBERTA, ENACTS AS FOLLOWS:

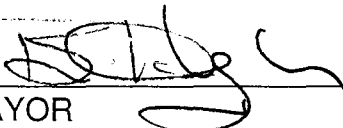
- 1 The "Use District Maps C7 and D7" contained in "Schedule B" of the Land Use Bylaw is hereby amended in accordance with the Land Use District Map No. 5/2003 attached hereto and forming part of the bylaw.

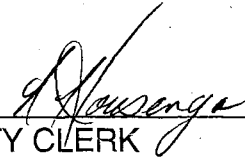
READ A FIRST TIME IN OPEN COUNCIL this 24th day of February 2003.

READ A SECOND TIME IN OPEN COUNCIL this 22nd day of April 2003.

READ A THIRD TIME IN OPEN COUNCIL this 22nd day of April 2003.

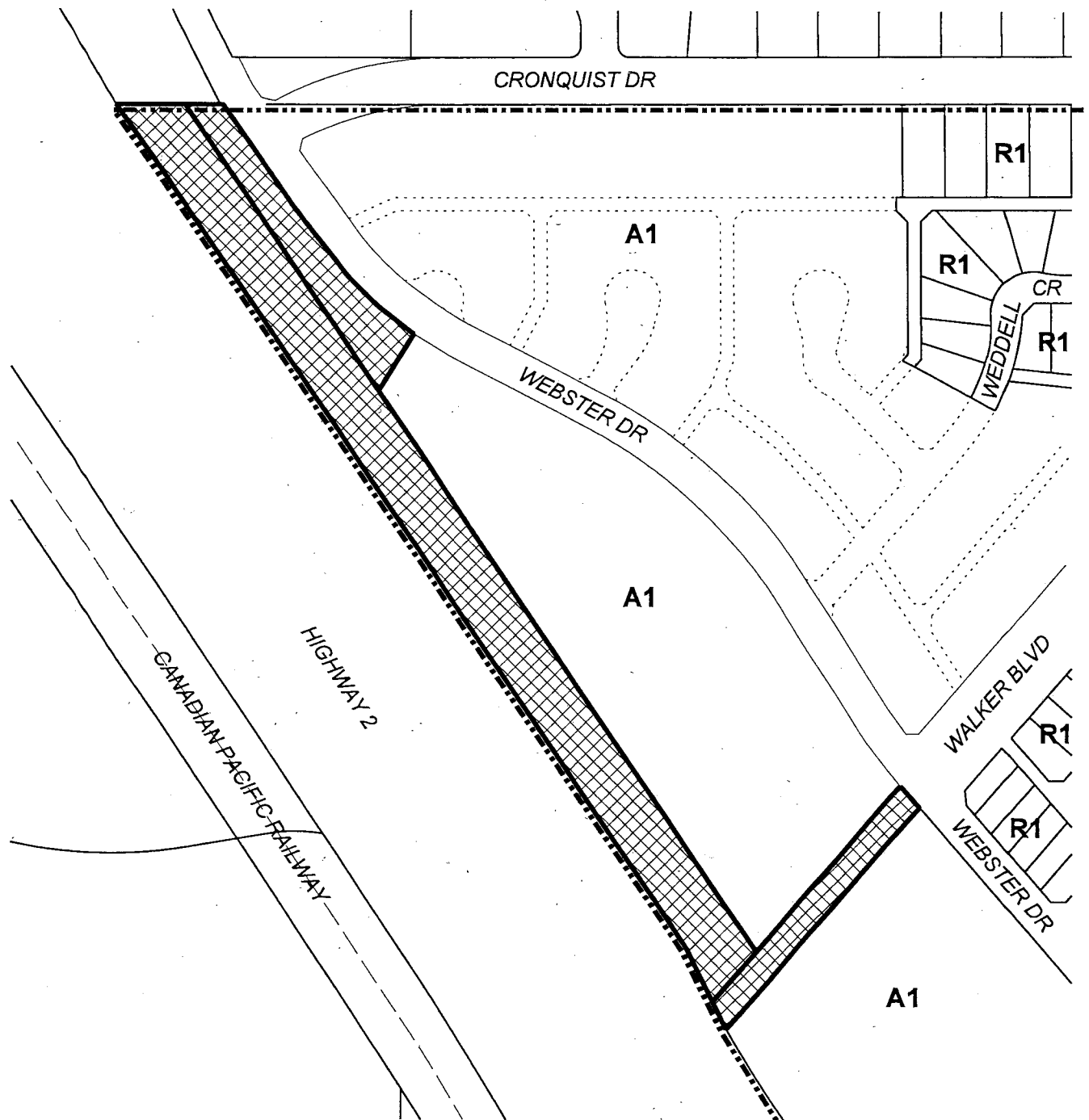
AND SIGNED BY THE MAYOR AND CITY CLERK this 22nd day of April 2003.

4 / 
MAYOR


Deputy CITY CLERK

The City of Red Deer

PROPOSED LAND USE BYLAW AMENDMENT



AFFECTED DISTRICTS:

- A1 - Future Urban Development
- P1 - Parks & Recreation

Change from :

A1 to P1 

MAP No. 5 / 2003

BYLAW No. 3156 / G - 2003

BYLAW NO. 3156/H-2003

Being a bylaw to amend Bylaw No. 3156/96, the Land Use Bylaw of the City of Red Deer.

COUNCIL OF THE CITY OF RED DEER, ALBERTA, ENACTS AS FOLLOWS:

- 1 The "Use District Map D7" contained in "Schedule B" of the Land Use Bylaw is hereby amended in accordance with the Land Use District Map No. 6/2003 attached hereto and forming part of the bylaw.

READ A FIRST TIME IN OPEN COUNCIL this 24th day of February 2003.

READ A SECOND TIME IN OPEN COUNCIL this 22nd day of April 2003.

READ A THIRD TIME IN OPEN COUNCIL this 22nd day of April 2003.

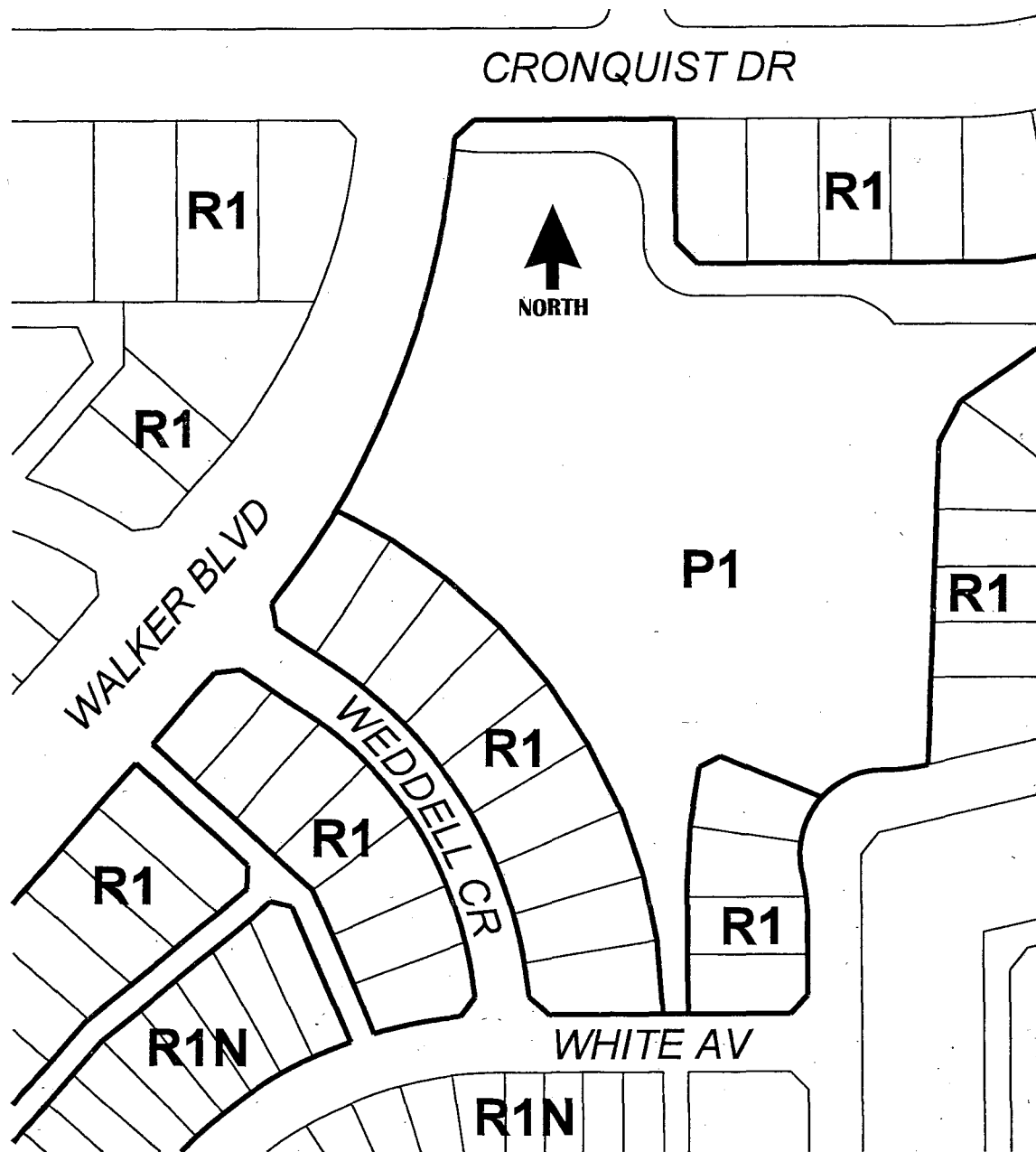
AND SIGNED BY THE MAYOR AND CITY CLERK this 22nd day of April 2003.


P/ MAYOR


Deputy CITY CLERK

The City of Red Deer

PROPOSED LAND USE BYLAW AMENDMENT



AFFECTED DISTRICTS:

R1 - Residential (Low Density)

R1N - Residential Narrow Lot

P1 - Parks & Recreation

MAP No. 6 / 2003

BYLAW No. 3156 / H - 2003



City Clerk's Department

DATE: April 14, 2003

TO: City Council

FROM: Kelly Kloss, City Clerk

SUBJECT: Aspen Ridge Neighbourhood:
(a) Neighbourhood Area Structure Plan Amendment 3217/D-2003
(b) Land Use Bylaw Amendment 3156/K-2003 – Phases 12 & 13

History

At the Monday, March 24, 2003 Council Meeting, Council gave first reading to Aspen Ridge Neighbourhood Area Structure Plan Amendment 3217/D-2003 and Land Use Bylaw Amendment 3156/K-2003.

Aspen Ridge Neighbourhood Area Structure Plan Amendment 3217/D-2003 provides for the following changes: rezoning of approximately 1.79 acres of land from R1A Residential (Semi-detached) development to R1 Residential (Single Family Detached), changing the proposed pedestrian boulevard/sidewalk configuration along Addington Drive, Averill Street and Adamson Avenue to a monolithic sidewalk/curb, deletion of a designated day care site at the south-west corner of Adamson Avenue/Addington Drive to permit development of this site at R1A Residential (Semi-detached) units, and the addition of a cul-de-sac and portion of lane on a previously designated church site to permit development of R1A Residential (Semi-detached) land use.

Land Use Bylaw Amendment 3156/K-2003 provides for the development of Phases 12 and 13 of the Aspen Ridge Neighbourhood. These phases will consist of 88 single family lots, 58 semi-detached lots and 1 future development lot that will be reserved for possible future emergency services site and/or other community facility. Approximately 10.0 ha (24.7 acres) of land will be rezoned from A1 Future Urban Development District to R1 Residential Low Density and R1A Residential (Semi-detached) Districts, including roadways, lanes and public utility lots. This office will now proceed with the advertising for a Public Hearing. Melcor Developments will be responsible for the advertising costs in this instance.

Public Consultation Process

Public Hearings have been advertised for Tuesday, April 22, 2003 at 7:00 p.m. in the Council Chambers during Council's regular meeting.


Memo to City Council
NASP Amendment 3217/D-2003 and
Land Use Bylaw Amendment 3156/K-2003
Page 2

Changes to Map 9/2003 of Land Use Bylaw Amendment 3156/K-2003 are required in order to ensure that the proposed R1 Residential zoning of two future residential lots located at the corner of Addington Drive and Ackerman Crescent conform with proposed R1 Residential amendments being made simultaneously to the Aspen Ridge Neighbourhood Area Structure Plan – Bylaw Amendment 3217/D-2003. The original Map 9/2003 had inadvertently missed the rezoning of these two lots which are currently designed for R1A (Semi-detached) residential development.

Recommendations

That following the Public Hearings, Council:

- (a) Proceed with second and third readings of Aspen Ridge Neighbourhood Area Structure Plan Amendment 3217/D-2003, and
- (b) Prior to second and third readings of Land Use Bylaw Amendment 3156/K-2003, the *revised* Map 9/2003 be substituted as presented to the April 22, 2003 Council Meeting,
- (c) Proceed with second and third readings of Land Use Bylaw Amendment 3156/K-2003.

for: 
Kelly Kloss
City Clerk

/chk



**PARKLAND
COMMUNITY
PLANNING
SERVICES**

Suite 404, 4808 Ross Street
Red Deer, Alberta T4N 1X5
Phone: (403) 343-3394
FAX: (403) 346-1570
e-mail: pcps@pcps.ab.ca

DATE: MARCH 18, 2003
TO: CITY CLERK
FROM: TONY LINDHOUT, PLANNER
RE: PROPOSED BYLAW 3217/D-2003
ASPEN RIDGE NEIGHBOURHOOD AREA STRUCTURE PLAN AMENDMENT

In accordance with Section 3.1.3.7 of the City's *Planning and Subdivision Guidelines*, Neighbourhood Area Structure Plan (NASP) amendments must be forwarded to City Council for their consideration of approval.

Background

Al-Terra Engineering Ltd. on behalf of the developer Melcor Developments Ltd. has requested several minor amendments to the existing Aspen Ridge NASP. Proposed changes to the existing Area Structure Plan are illustrated on the attached sketch and are summarised as follows:

1. Conversion of ± 1.79 acres of land currently designated for R1A Residential (semi-detached) development to R1 Residential (single family detached) development.
2. Change the proposed pedestrian boulevard/sidewalk configuration along Addington Drive, Averill Street and Adamson Avenue to a monolithic sidewalk/curb.
3. At the south-west corner of Adamson Avenue/Addington Drive, deletion of the designated day care site to permit development of this site with the approved alternative land use of R1A Residential (semi-detached) units. Another social care site east across the street will remain designated as the neighbourhood's day care facility, social care residence or retirement home site.
4. The addition of a cul-de-sac and portion of lane on a previously designated church site to permit development of the site with the approved alternative R1A Residential (semi-detached) land use.

Other than as noted above, the remainder of the existing Aspen Ridge Neighbourhood Area Structure Plan is unaffected.

This proposed Aspen Ridge NASP amendment has been processed in accordance with the City's *Planning and Subdivision Guidelines*. NASP's, when approved by City Council, form the basis for future zoning, subdivision and development decisions for the area. The proposed plan amendments are supported by all referral agencies/City Departments and fully conforms with the City's Municipal Development Plan, Intermunicipal Development Plan and the East Hill Major Area Structure Plan.

Neighbourhood Public Meeting

Pursuant to Section 3.1.3.4 of the City's *Planning and Subdivision Guidelines*, a neighbourhood public meeting, hosted by Parkland Community Planning Services, was held February 3, 2003. Only one area resident came to the meeting. No written comments or, any objections to the proposed Aspen Ridge NASP amendments were received from the neighbourhood.

Planning Analysis

Proposed neighbourhood density is 45 persons per hectare, being the maximum density permitted under the City's Planning and Subdivision Guidelines. The original Aspen Ridge NASP approved in 1998 showed that the proposed density of this neighbourhood would be in the range of 38-40 persons per hectare. Through three past NASP amendments, the neighbourhood density has increased to the current maximum of 45 persons per hectare. Also contributing to the high neighbourhood density are relaxations granted by the Municipal Planning Commission on some multiple family projects in this neighbourhood.

One consequence to the developer by being at the maximum allowable density is that the total number of future dwelling units permitted in this neighbourhood will be controlled by the amount of housing and types indicated on Table 2 in the NASP. This will be tracked and implemented through the subdivision approval process. The developer has already begun work on another NASP amendment that could be applied for shortly under the City's new "transitional" *Neighbourhood Planning and Design Guidelines & Standards*, whereby a developer can exceed 45 persons per hectare if, servicing infrastructure is available and if the developer meets certain other criteria (i.e. social impact assessment, CPTED – crime prevention through environment design concepts, etc.) required by these guidelines.

The proposed NASP amendments result in no change to the amount of open space being provided in this neighbourhood. Through the combination of municipal reserve dedication, provision of the storm water pond site and public utility lots, the total amount of open space provided in this neighbourhood remains at 18.49 acres (12.4% of developable area).

Notwithstanding that the Aspen Ridge neighbourhood has one of the highest densities of any neighbourhood in the City (Inglewood West is also very close to the maximum 45 persons per hectare limit), from a planning and land use perspective the proposed amendments are minor with the proposed land use changes (R1A housing converted to R1 housing) and the total number of housing units as shown in Table 2 ensure that this neighbourhood will not exceed City design standards.

Recommendation from the City's Municipal Planning Commission (MPC)

MPC reviewed the proposed Aspen Ridge NASP amendments at their meeting of March 17, 2003 and have recommended to Council the following:

- support of proposed Neighbourhood Area Structure Plan amendments #1, 3 and 4 as identified on the previous page, and
- denial of proposed amendment #2, being a proposal to change the designated boulevard and separate pedestrian sidewalk configuration along Addington Drive, Averill Street and Adamson Avenue to a monolithic sidewalk/curb combination having no boulevard.

The Municipal Planning Commission strongly expressed their desire to retain the proposed boulevard and separate sidewalk configuration as required by the current neighbourhood ASP along one side of Addington Drive, Averill Street and Adamson Avenue. These boulevards are proposed to contain a portion of the neighbourhood's major pedestrian walkway system. MPC indicated that the use of boulevards with a separate sidewalk along these collector roadways enhances the streetscape and aesthetics of the area and provides improved safety to pedestrians using a sidewalk that is physically separated from the road carriageway.

Parkland Community Planning Services has subsequently met with the developer and advised them of the position and reasons taken by MPC. The developer has indicated that the reason for wanting to eliminate the boulevard as detailed on Figure 4 in the current ASP is that there is insufficient space, according to City Engineering standards, to actually plant trees within these designated boulevard areas. The current road right of way of the collector roadways in Aspen Ridge would require an additional 2 m of width in order to properly accommodate planted boulevards with a separate sidewalk. All collector roadways are already registered in this neighbourhood. The developer will be present at the Council meeting to answer any questions.

Recommendation

That City Council proceed with first reading of Bylaw 3217/D-2003, being the Bylaw to adopt the amended Anders Southeast (Aspen Ridge) Neighbourhood Area Structure Plan as submitted by the developer.

Note to Council: Parkland Community Planning Services is currently in the process of preparing a report for Council which examines the advantage/disadvantages of planted boulevards adjacent to roadways, future use and potential location of planted boulevards in new City neighbourhoods and any City standards required in order to accommodate and implement the use of boulevards. This initiative rises out of the Red Deer Growing Smarter (Sustainable Community Growth) study approved by Council in December 2002.



Tony Lindhout, ACP, MCIP
PLANNER

Attachments

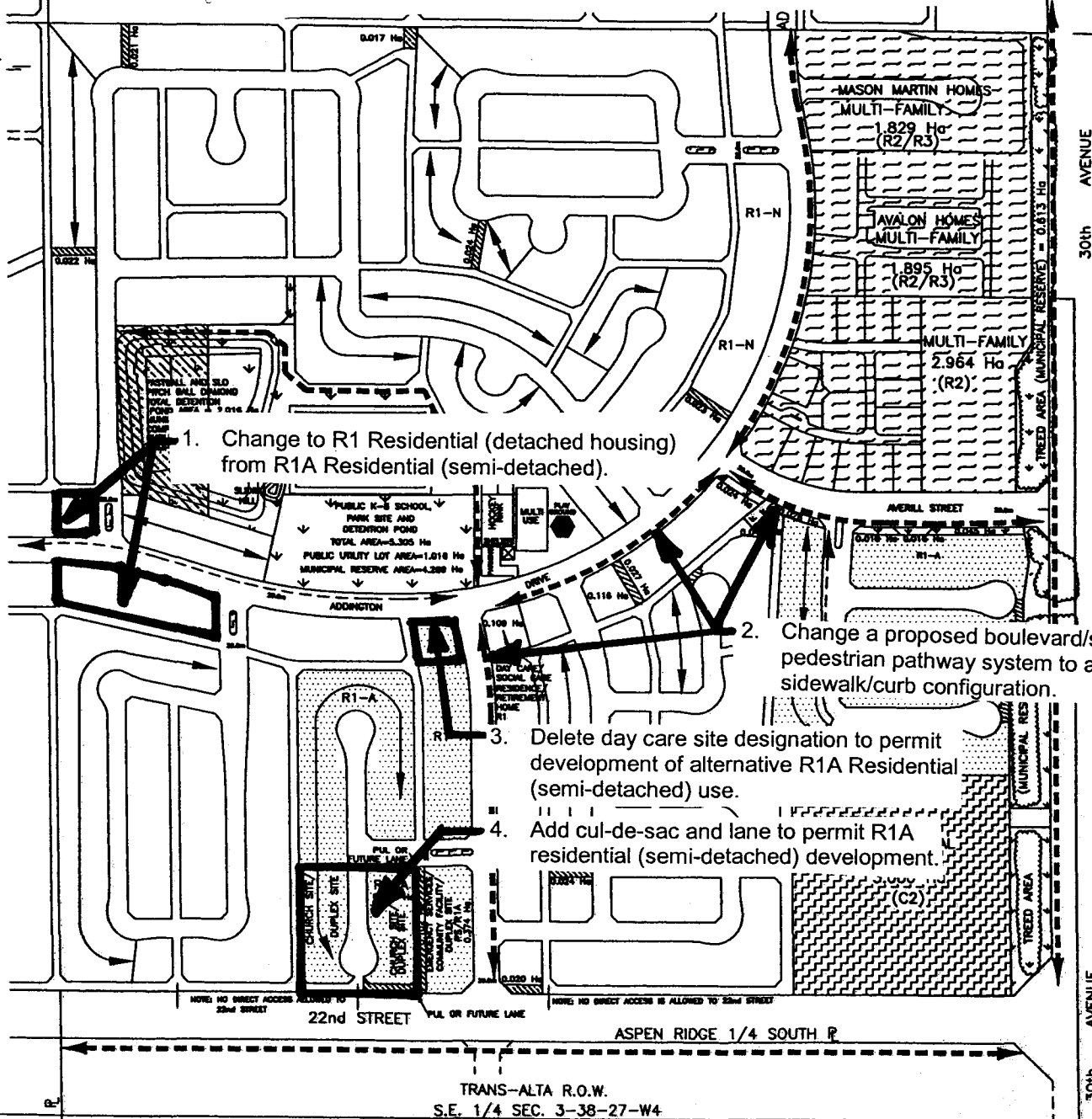
ASPEN RIDGE NEIGHBOURHOOD AREA STRUCTURE PLAN

43

Proposed Changes

N.W. 1/4 SEC. 3-38-27-W4

ANDERS ON THE LAKE DEVELOPMENT



LEGEND:

- TWO STOREY RESIDENTIAL WITH WALKOUT BASEMENTS PERMITTED
- SINGLE FAMILY
- MULTI-FAMILY
- DUPLEX
- COMMERCIAL
- PUBLIC UTILITY LOTS
- SCHOOL, PARKS, AND PUBLIC OPEN SPACE
- MINOR PEDESTRIAN WALKWAYS AND BIKE PATHS
- MAIN PEDESTRIAN WALKWAYS AND BIKE PATHS
- CHILDREN'S PLAYGROUND

TOTAL AREA OF ORIGINAL 1/4 SECTION	64.876 Ha	160.31 Ac	
22nd STREET AND 30th AVENUE WIDENING	4.627 Ha	11.43 Ac	
DEVELOPABLE AREA	60.249 Ha	148.88 Ac	100%
SINGLE FAMILY- DETACHED (R1)	23.115 Ha	57.12 Ac	38.4%
SINGLE FAMILY- NARROW (R1-N)	1.086 Ha	2.68 Ac	1.8%
DUPLEX LOTS (R1-A)	4.547 Ha	11.24 Ac	7.5%
MULTIPLE FAMILY (R2/R3)	3.724 Ha	9.20 Ac	6.2%
MULTIPLE FAMILY (R2)	2.964 Ha	7.32 Ac	4.9%
CHURCH SITE/DUPLEX SITE (R1-A)	0.664 Ha	1.64 Ac	1.1%
DAY CARE/ SOCIAL CARE RESIDENCE/ RETIREMENT HOME (R1)	0.109 Ha	0.27 Ac	0.2%
COMMERCIAL (C2)	3.000 Ha	7.41 Ac	5.0%
EMERGENCY SERVICES/COMMUNITY FACILITY/ DUPLEX SITE (PS/R1-A)	0.374 Ha	0.93 Ac	0.6%
PUBLIC K-8 SCHOOL, PARK AND WALKWAYS (PS)	4.505 Ha	11.13 Ac	7.5%
TREED AREA ALONG 30th AVENUE (P1)	1.596 Ha	3.92 Ac	2.6%
STORM DETENTION POND (PS)	1.016 Ha	2.51 Ac	1.7%
PUBLIC UTILITY LOTS	0.374 Ha	0.93 Ac	0.6%
ROADS	13.185 Ha	32.58 Ac	21.8%
COLLECTOR	3.211 Ha	7.93 Ac	
RESIDENTIAL	7.194 Ha	17.79 Ac	
LANES	2.780 Ha	6.87 Ac	

FIGURE 3 DEVELOPMENT CONCEPT

SCALE 1:5000

REVISED MAR 03/03

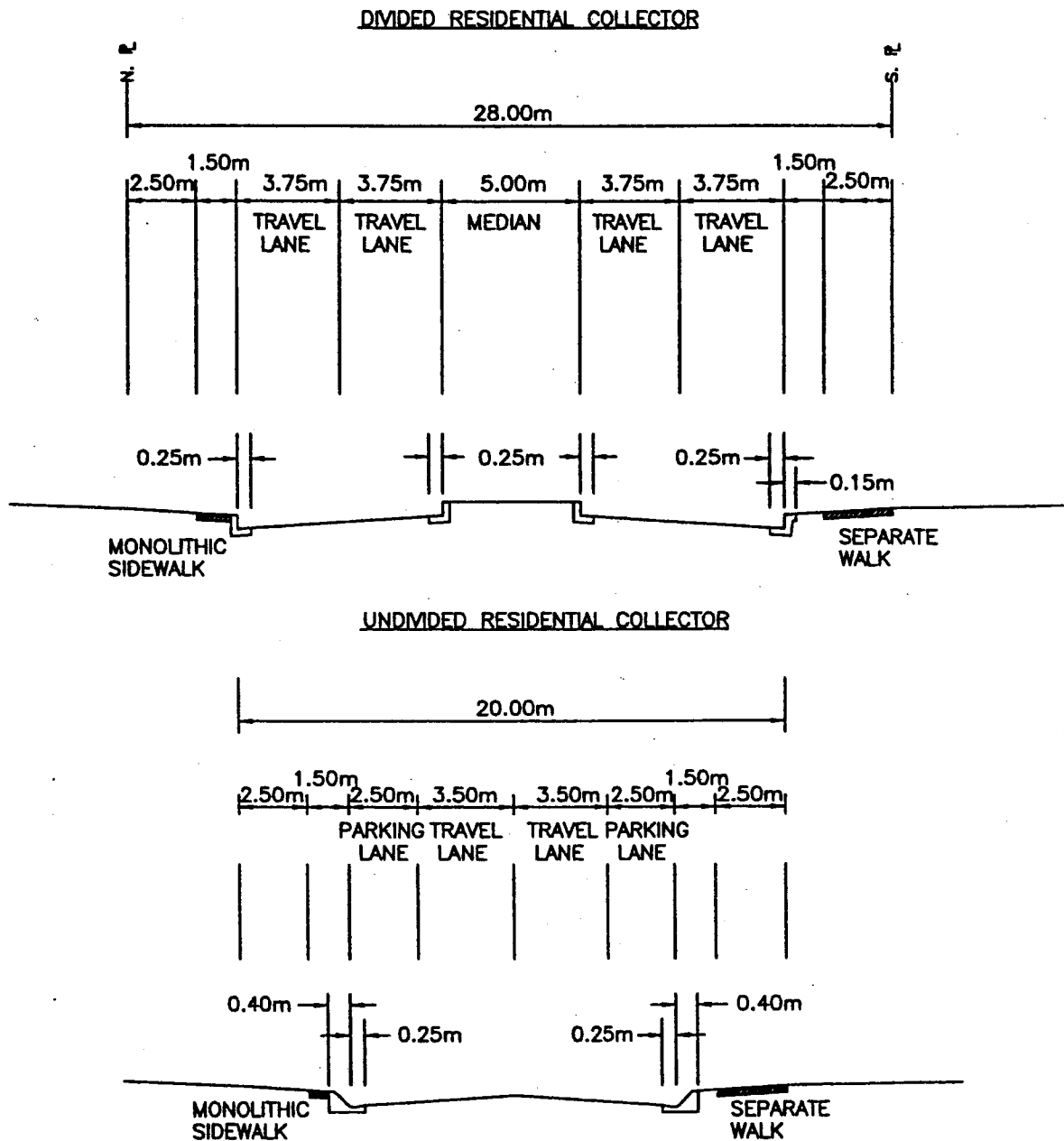
AL-TERRA
ENGINEERING LTD.

EDMONTON RED DEER

ASPEN RIDGE OUTLINE PLAN

(EXISTING)

44



NOTE: THE 2.5m SEPARATE SIDEWALK WILL BE LOCATED ALONG THE EAST AND SOUTH SIDES OF ADDINGTON DRIVE, ALONG THE SOUTH SIDE OF THE COLLECTOR ROAD TO 30th AVENUE, AND ALONG THE EAST SIDE OF THE COLLECTOR ROAD TO 22nd STREET.

FIGURE 4
DIVIDED AND UNDIVIDED RESIDENTIAL
COLLECTOR ROADWAY DETAIL

PREPARED BY:

AL-TERRA

ENGINEERING LTD.

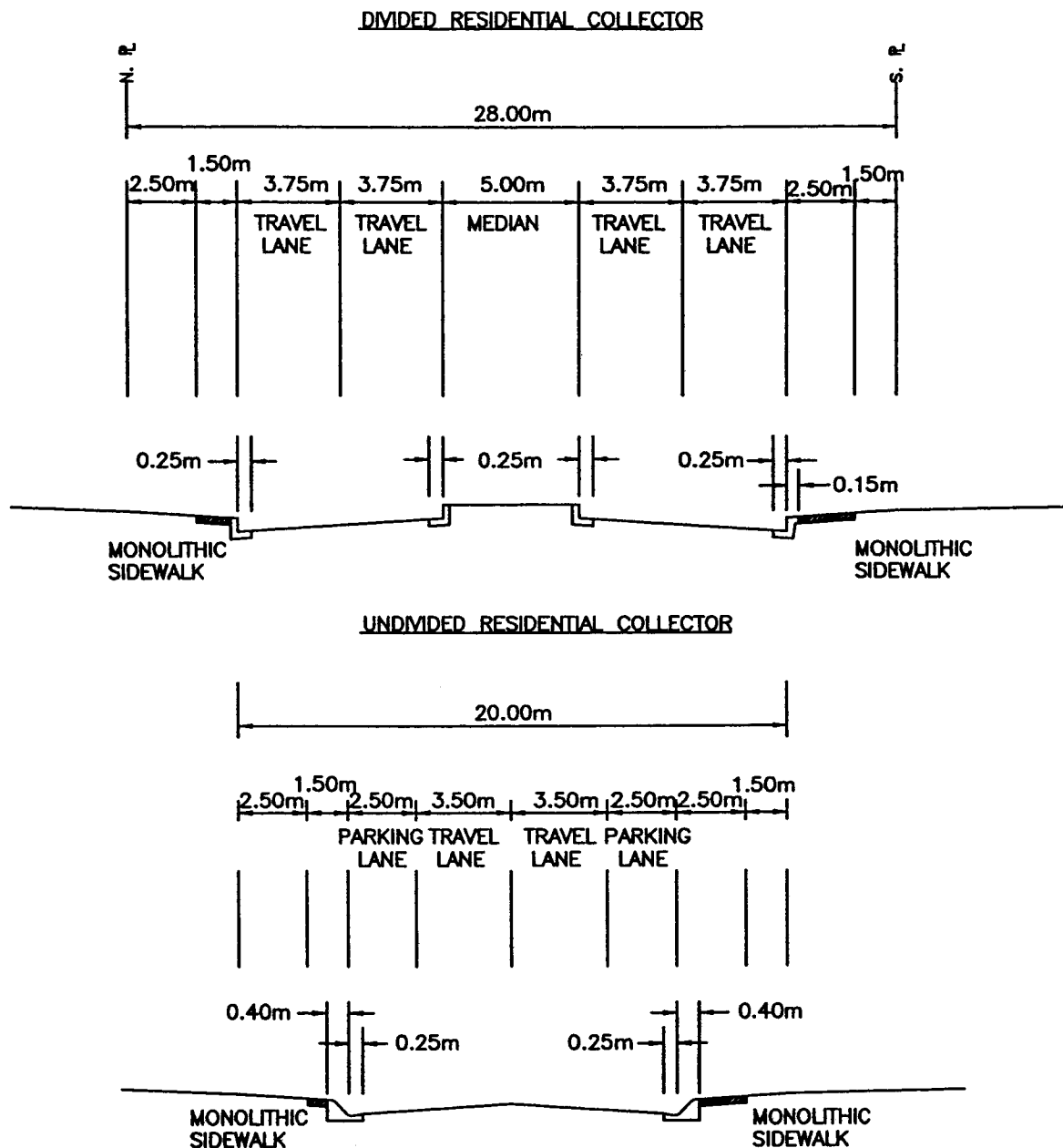
REVISED: MAR 13/2001

EDMONTON

RED DEER

ASPEN RIDGE OUTLINE PLAN

(PROPOSED)



NOTE: THE 2.5m MONOLITHIC SIDEWALK WILL BE LOCATED ALONG THE EAST AND NORTH SIDES OF ADDINGTON DRIVE, ALONG THE SOUTH SIDE OF THE COLLECTOR ROAD TO 30th AVENUE, AND ALONG THE EAST SIDE OF THE COLLECTOR ROAD TO 22nd STREET.

FIGURE 4
DIVIDED AND UNDIVIDED RESIDENTIAL
COLLECTOR ROADWAY DETAIL

PREPARED BY:


AL-TERRA
ENGINEERING LTD.

REVISED: SEPT 27/2002
REVISED: MAR 13/2001

REVISION

REVISED

The diagram illustrates the cross-section of a two-lane highway. The total width is 24.00m. The central travel lanes are 3.50m wide each, separated by a 0.25m centerline. The parking lanes are 2.25m wide each. The shoulders are 0.50m wide on the left and 1.50m wide on the right. The sidewalks are 1.00m wide on both sides. The diagram also shows a 6.00m width for the travel lanes and a 12.00m width for the parking lanes.

			THE CITY OF RED DEER			ENGINEERING DEPARTMENT		
			DRAWN BY:	DESIGN GUIDELINE DRAWINGS				APPROVED BY:
			D.W.K.	Roadway Design				
			DATE:	UNDIVIDED COLLECTOR ROADWAY				STREETS-UTILITIES ENGINEER
			JAN 10, 2001					
			SCALE:					DRAWING NO.
			N.T.S.					5.07
NO.	DATE	REVISION						

4.3 Land Use Distribution

Aspen Ridge is a comprehensively planned residential community consisting of residential and ancillary land uses. Table 1 below outlines the land use distribution.

Table 1 - Neighbourhood Area Structure Plan Statistics

Land Use	Acres	Hectares	Percentage
Single Family Detached (R1)	57.12	23.115	38.4%
Single Family Detached - Narrow (R1-N)	2.68	1.086	1.8%
Duplex Lots (R1-A)	11.24	4.547	7.5%
Residential - Multi-family (R2/R3)	9.20	3.724	6.2%
Residential - Multi-family (R2)	7.32	2.964	4.9%
Church Site/Duplex Site (R1-A)	1.64	0.664	1.1%
Day Care/Social Care Residence/Retirement Home (R1)	0.27	0.109	0.2%
Commercial Site (C2)	7.41	3.000	5.0%
Emergency Services / Community Facility/Duplex Site (PS/R1-A)	0.93	0.374	0.6%
School Site, Park & Walkways (PS)	11.13	4.505	7.5%
Storm Detention Pond	2.51	1.016	1.7%
Treed along 30th Avenue (P1)	3.92	1.586	2.6%
Public Utility Lots	0.93	0.374	0.6%
Streets and Lanes	32.58	13.185	21.9%
TOTAL DEVELOPABLE AREA	148.88	60.249	100.0%

Table 1 illustrates that 58.8 per cent of the Neighbourhood Area Structure Plan Area is for residential uses, 12.4 per cent for treed areas and open space including a storm detention pond, 21.9 per cent is dedicated for streets and lanes, 5.0 per cent for commercial development and the balance for other related uses.

4.4 Residential

The low density residential areas are proposed for predominately R1 single detached dwellings, a portion R1-A which may accommodate semi detached dwellings as well as detached dwellings, and a small number of R1-N single detached dwellings.

The residential (R2 and R2/R3) medium density area in the northeast portion of the Neighbourhood Area Structure Plan is proposed for a mix of product type. The R2 units consist of 64 fourplex units and 99 units in an apartment style senior's community. The R2/R3 units consist of 116 typical condominium units.

Multi-family units are often assumed to have two or more bedrooms. Under this scenario, the typical allowance for persons per unit would be 3.0. However, the senior's apartment complex, containing 99 units will not have a population density of 3.0 persons per unit. Instead, we have used a multi family/townhouse number of 2.2 persons per unit.

The resulting estimated population density calculation is summarized in Table 2 as follows:

Table 2 - Estimated Population Density

Land Use	Number of Dwelling Units	Number of Persons Per Unit	Total Population
Single Family - R1	359	3.4	1,221
Single Family - R1-N	25	3.4	85
Duplex - R1-A	156	3.3	515
Multi Family - R2/R3	180	3.0	540
Multi Family - R2	99	2.2	218.0
Totals:	819	-	2,579.0

Population density: $2579.0 \div 57.249\text{Ha} = 45.0$ persons per hectare

This density is within the allowable limit of 45 persons per hectare.

As illustrated in Table 2, the Neighbourhood Area Structure Plan, depending upon the actual lot size and land use, is anticipated to accommodate approximately 819 dwelling units and a population of approximately 2579 persons. Given this estimated unit count, the overall density for the Area Structure Plan Area is approximately 5.8 units per gross acre, and 45.0 Persons/Developable Hectare, with the commercial site area removed from the gross areas.

4.5 Open Space

The key components of the Open Space provisions in the Neighbourhood Area Structure Plan are discussed below, followed by a statement of municipal reserve calculations.

- Components

The components of the proposed Aspen Ridge open space which are cited below, include a neighbourhood school and park centre, east side linear park, and a dry storm retention facility.

a) **Neighbourhood School and Park Facility**

A 10.6 acre (4.29 ha) central neighbourhood school and park site is provided in the location indicated in the East Hills Area Structure Plan.



City Clerk's Department

DATE: March 17, 2003

TO: City Council

FROM: Gail Surkan, Chair
Municipal Planning Commission

**SUBJECT: ANDERS ASPEN RIDGE NEIGHBOURHOOD PROPOSED AREA STRUCTURE
PLAN AMENDMENTS**

At our Municipal Planning Commission Meeting of March 17, 2003, consideration was given to the proposed area structure plan amendments and hereunder was introduced and passed.

"RESOLVED that the Municipal Planning Commission approve the amendments to the existing Aspen Ridge North Area Structure Plan as outlined below:

1. Conversion of ± 1.79 acres of land currently designated for R1A Residential (semi-detached) development to R1 Residential (single family detached) development.
2. At the south-west corner of Adamson Avenue/Addington Drive, deletion of the designated day care site to permit development of this site with the approved alternative land use of R1A Residential (semi-detached) units. Another social care site east across the street will remain designated as the neighbourhood's day care facility, social care residence or retirement home site.
3. On lands currently designated for a 2.0 acre church site, the addition of a cul-de-sac roadway and portion of land to permit development of this site with the approved alternative land use for R1A Residential (semi-detached) units."

.../2

City Council
Page 2

Please note that the above motion does not include support for changing the proposed pedestrian boulevard/sidewalk configuration along Addington Drive, Averill Street and Adamson Avenue to a monolithic sidewalk/curb. Previously, this area was set out to have treed boulevards and MPC is waiting for a response from Parkland Community Planning Services as to why some of the sidewalks have already been poured as monolithic sidewalk/curbs.

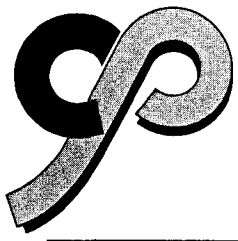
Recommendation

That Council consider and accept the above resolution for the above bylaw amendment.

Gail Surkan, Chair
Municipal Planning Commission

/eas

cc. Parkland Community Planning Services



DATE: March 14, 2003
TO: Kelly Kloss, City Clerk
RE: Land Use Bylaw Amendment 3156/K-2003
Aspen Ridge Neighbourhood
Phases 12 & 13

Background

Melcor Developments Ltd. is proposing to develop Phases 12 and 13 of their Aspen Ridge neighbourhood. Combined, these phases consist of 88 single family lots, 58 semi-detached lots and 1 future development lot that will be reserved for a possible future emergency services site and/or other community facility. This potential public use site will be left under the current A1 Future Urban Development zoning until such time as the specific use of this site is finalized. The alternative use for this site, as designated in the Aspen Ridge Neighbourhood Area Structure Plan, is for semi-detached housing.

The proposal rezones approximately 10.0 ha (24.7 acres) of land from A1 Future Urban Development District to R1 Residential Low Density and R1A Residential (semi-detached) Districts; this includes all required roadways, lanes and public utility lots.

This rezoning proposal is being processed simultaneously with amendments to the Aspen Ridge Neighbourhood Area Structure Plan (NASP) whereby the requested land uses (zoning) for phases 12 & 13 comply with proposed Aspen Ridge Area Structure Plan Amendment 3217/D-2003 as contained elsewhere in this Council agenda.

Recommendation

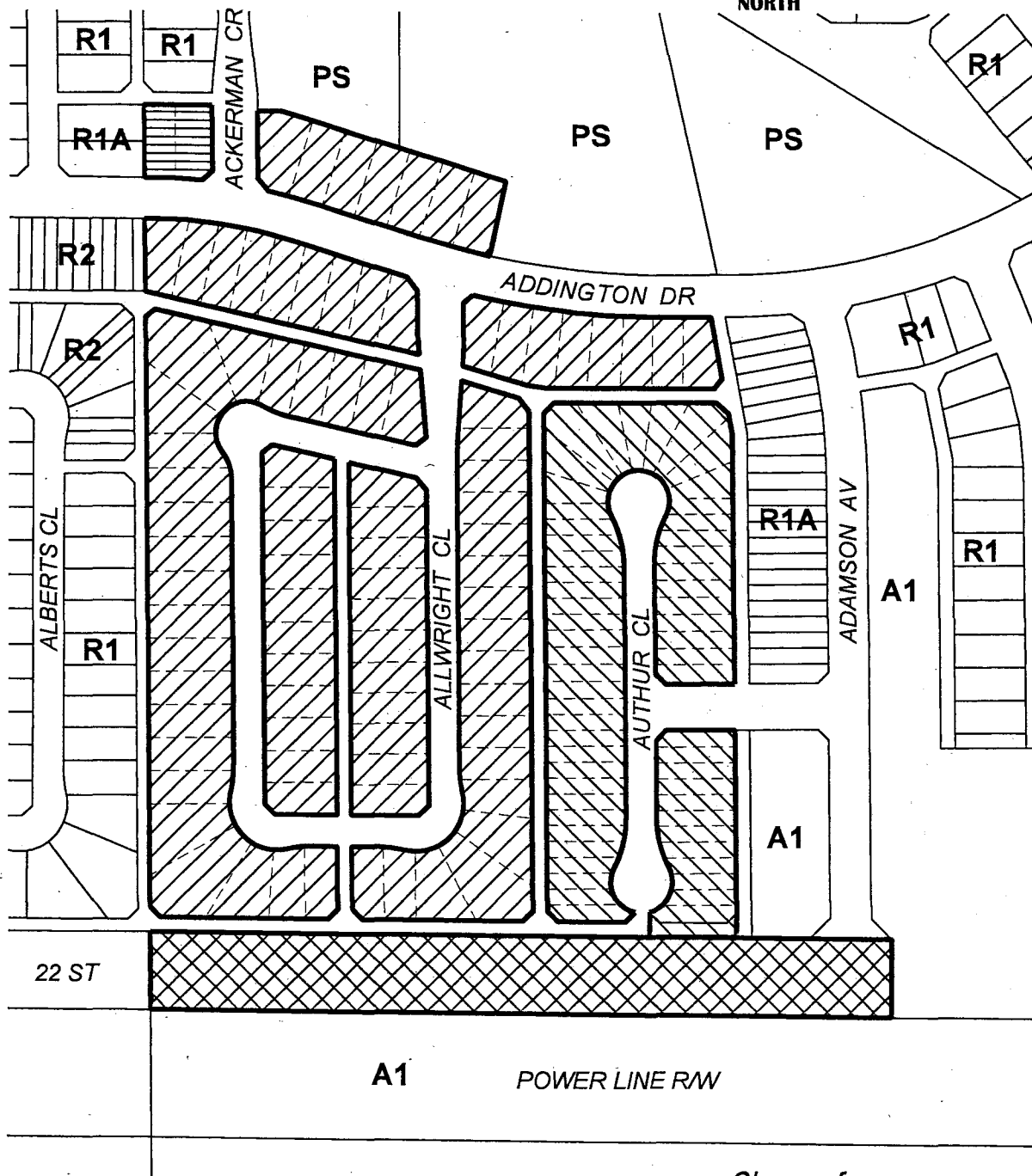
Subject to City Council giving first reading to Aspen Ridge Neighbourhood Area Structure Plan Amendment 3217/D-2003, planning staff recommend that City Council proceed with first reading of Land Use Bylaw Amendment 3156/K-2003.

Tony Lindhout, ACP, MCIP
PLANNER

Attachment

The City of Red Deer

PROPOSED LAND USE BYLAW AMENDMENT



AFFECTED DISTRICTS:

A1 - Future Urban Development

R1 - Residential (Low Density)

R1A - Residential (Semi-Detached Dwelling)

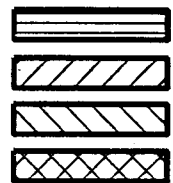
Change from :

R1A to R1

A1 to R1

A1 to R1A

A1 to Road



MAP No. 9 / 2003
BYLAW No. 3156 / K - 2003

**ASPEN RIDGE NASP 3217/D-2003 &
LUB AMENDMENT 3156/K-2003**

DESCRIPTION: Rezoning to provide for development of Phases 12 & 13 of Aspen Ridge (88 single family; 58 semi-detached; 1 future development lot – emergency services or other community facility).

FIRST READING: March 24, 2003

FIRST PUBLICATION: April 4, 2003

SECOND PUBLICATION: April 11, 2003

PUBLIC HEARING & SECOND READING: April 22, 2003

THIRD READING: April 22, 2003

LETTERS REQUIRED TO PROPERTY OWNERS: YES ☒ NO ☐

DEPOSIT? YES ☒ \$ 400. NO ☐ **BY:** Melcor

ACTUAL COST OF ADVERTISING:

\$ 347.98 X 2

TOTAL: \$ 695.96

MAP PREPARATION: \$ _____

TOTAL COST: \$ 695.96

LESS DEPOSIT RECEIVED: \$ -400.-

AMOUNT OWING/ (REFUND): \$ 295.96

INVOICE NO.: B566546 / I54424



Council Decision – April 22, 2003

City Clerk's Department

DATE: April 23, 2003
TO: Tony Lindhout, Parkland Community Planning Services
FROM: Nona Housenga, Deputy City Clerk
SUBJECT: Aspen Ridge Neighbourhood
1) Neighbourhood Area Structure Plan Bylaw Amendment 3217/D-2003
2) Land Use Bylaw Amendment 3156/K-2003

Reference Report:

City Clerk, dated April 14, 2003 and Parkland Community Planning Services, dated March 18, 2003

Resolutions:

Resolved that Council of the City of Red Deer, agrees to amend Land Use Bylaw Amendment 3156/K-2003 be deleting Map No. 9/2003 and substituting it with the *revised* May 9/2003 as submitted to Council on April 22, 2003.

Bylaw Readings:

Neighbourhood Area Structure Plan Bylaw Amendment 3217/D-2003 was given second and third readings. Land Use Bylaw Amendment 3156/K-2003, as amended, was also given second and third readings. Copies of the bylaws are attached.

Report Back to Council: No

Comments/Further Action:

This office will amend the Land Use Bylaw and distribute copies in due course.

A handwritten signature in black ink, appearing to read 'N. Housenga'.

Nona Housenga
Deputy City Clerk

/chk
attchs.

c Director of Development Services
 Inspections and Licensing Manager
 Land & Economic Development Manager
 City Assessor
 D. Kutinsky, Graphics Designer
 C. Adams, Administrative Assistant
 B. Greter, City Clerk's, Clerk Steno

BYLAW NO. 3217/D-2003

Being a Bylaw to amend Bylaw No. 3217/98, the Bylaw adopting The City of Red Deer Neighbourhood Area Structure Plans, as described herein.

COUNCIL OF THE CITY OF RED DEER, ALBERTA, ENACTS AS FOLLOWS:

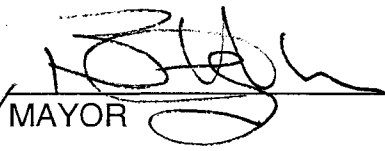
- 1 Bylaw 3217/98 with regard to the Anders Southeast (Aspen Ridge) Neighbourhood Area Structure Plan is amended by deleting therefrom the entire Anders Southeast (Aspen Ridge) Neighbourhood Area Structure Plan and substituting therefore, the attached amended Anders Southeast (Aspen Ridge) Neighbourhood Area Structure Plan, which forms part of this Bylaw.

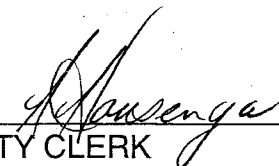
READ A FIRST TIME IN OPEN COUNCIL this 24th day of March 2003.

READ A SECOND TIME IN OPEN COUNCIL this 22nd day of April 2003.

READ A THIRD TIME IN OPEN COUNCIL this 22nd day of April 2003.

AND SIGNED BY THE MAYOR AND CITY CLERK this 22nd day of April 2003.


MAYOR


DEPUTY CITY CLERK

**NEIGHBOURHOOD AREA
STRUCTURE PLAN**

**ASPEN RIDGE
(ANDERS SOUTHEAST)**

NE 1/4 Section 3, Township 38
Range 27, West of 4

Prepared for:

Melcor Developments Ltd.

Prepared by:

Interplan Strategies Inc.

Al-Terra Engineering Ltd.

Revised February 12, 2003
March 3, 2003

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1.0 INTRODUCTION AND PURPOSE

The subject site, Aspen Ridge, is located in southeast quadrant of the City at the intersection of 30th Avenue and 22nd Street (See Figure 1). To the north is the Anders East Outline Plan Area which is presently under development. To the west is the proposed Anders on the Lake Outline Plan area. To the east is the future 30th Avenue arterial road right of way and to the south the future 22nd Street undivided arterial road right of way.

The site is situated within the East Hill Area Structure Plan adopted by Council on April 20, 1998. The site, containing 160 acres (64.9 ha) more or less, is legally described as the NE ¼ Section 3, Township 38, Range 27, West of the 4th Meridian.

Al-Terra Engineering is hereby submitting, on behalf of Melcor Developments Ltd., an application for Neighbourhood Area Structure Plan approval for primarily residential and associated land uses. The plan submitted acknowledges the known edge conditions on all four sides of the site.

The following sections of this report discuss policy framework, site characteristics, proposed land uses, development densities, municipal reserve, and open space requirements, transportation considerations, proposed site servicing and development phasing.

2.0 POLICY FRAMEWORK

On April 20, 1998 City of Red Deer Council adopted the revised East Hill Area Structure Plan (Bylaw 3207/98). The Area Structure Plan allows for the primary use of land for residential purposes.

Other land uses indicated in the Area Structure Plan include a public elementary/middle school site in conjunction with a neighbourhood centre, a commercial site, and a fire hall site along 22nd Street. The road network shows both 30th Avenue on the east and 22nd Street on the south as arterial roads. The network also shows a collector street loop through the site connecting from Anders East on the north to the future Anders on the Lake to the west. Collector links to 30th Avenue and the future 22nd Street are also shown. The City of Red Deer has established the precise location for the intersection of the collector link with 30th Avenue.

The East Hill Area Structure Plan is implemented by Outline Plans for each quarter section.

Other City documents such as the Planning and Subdivision Guidelines, the Community Services Master Plan, Ecological Profiles and the Land Use Bylaw govern the more detailed elements of the planning process.

3.0 SITE CHARACTERISTICS

3.1 Legal Description and Ownership

The subject site is legally described as the NE ¼ Section 3, Township 38, Range 27 West of the 4th Meridian. The quarter section is comprised of two titles:

ASPEN RIDGE NEIGHBOURHOOD AREA STRUCTURE PLAN

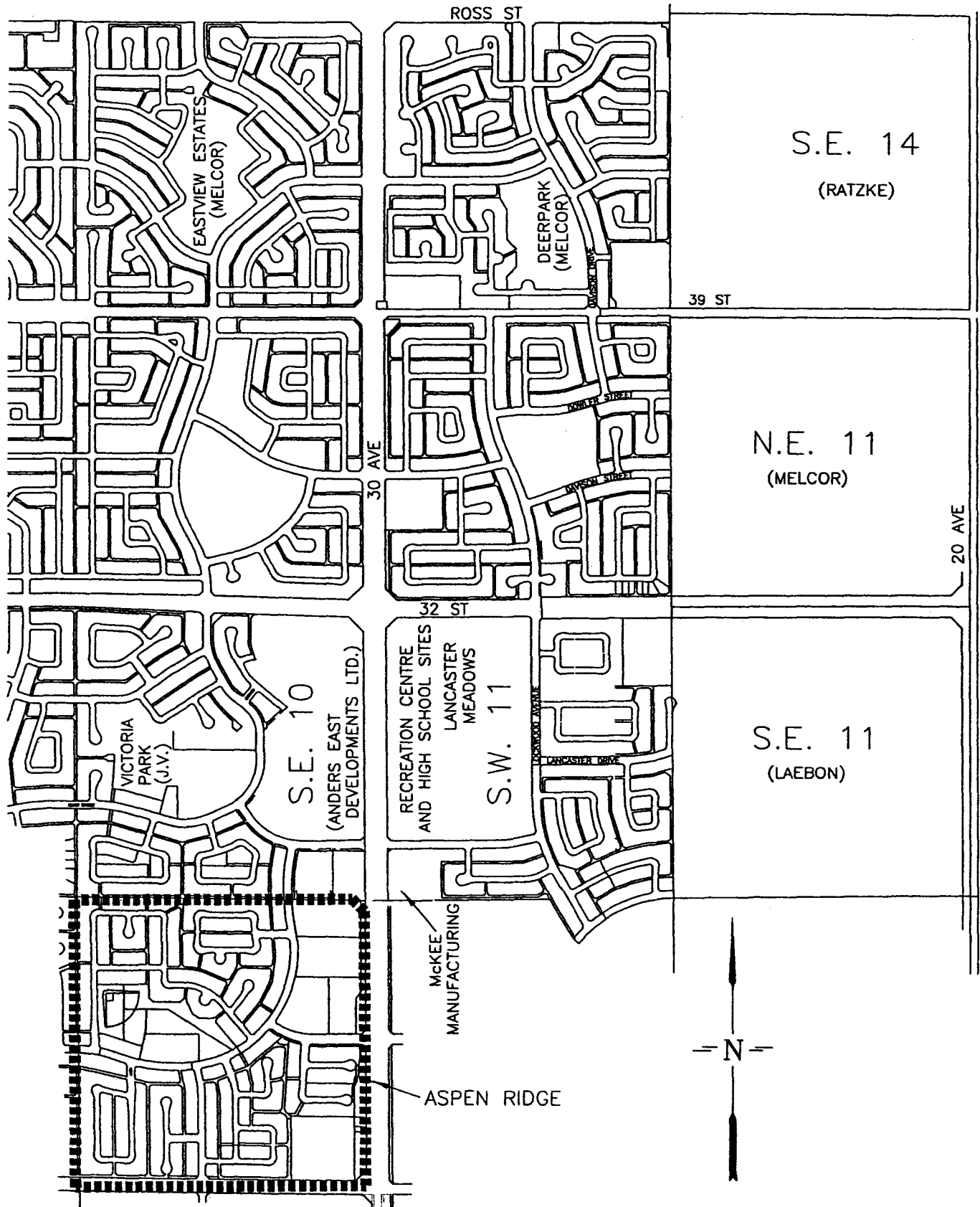


FIGURE 1
LOCATION

SCALE 1:15000
REVISED: MAR 03/03

CONCEPT BY:
INTERPLAN STRATEGIES INC.

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- A twenty-one acre parcel in the northeast corner, which was previously owned by five individuals, each with an undivided 1/5 interest. Melcor Developments Ltd. purchased this land parcel.
- The balance of the quarter section is owned by Melcor Developments Ltd.

The appropriate titles are included in Appendix 1.

3.2 Site Area

The site area is as follows:

Total Site	160.31 Ac (64.88 Ha)
Less – Major Road Widening	<u>(11.43 Ac) (4.63 Ha)</u>
Developable Area	148.88 Ac (60.25 Ha)

3.3 Existing Land Use

The subject site is presently under cultivation. There are two existing residences on the site. One is on the 21 acre parcel in the north east corner, the other is located further to the south.

The entire quarter section is presently designated A-1 Future Urban Development District by The City of Red Deer Land Use Bylaw No. 3156/96. The general purpose of this District is

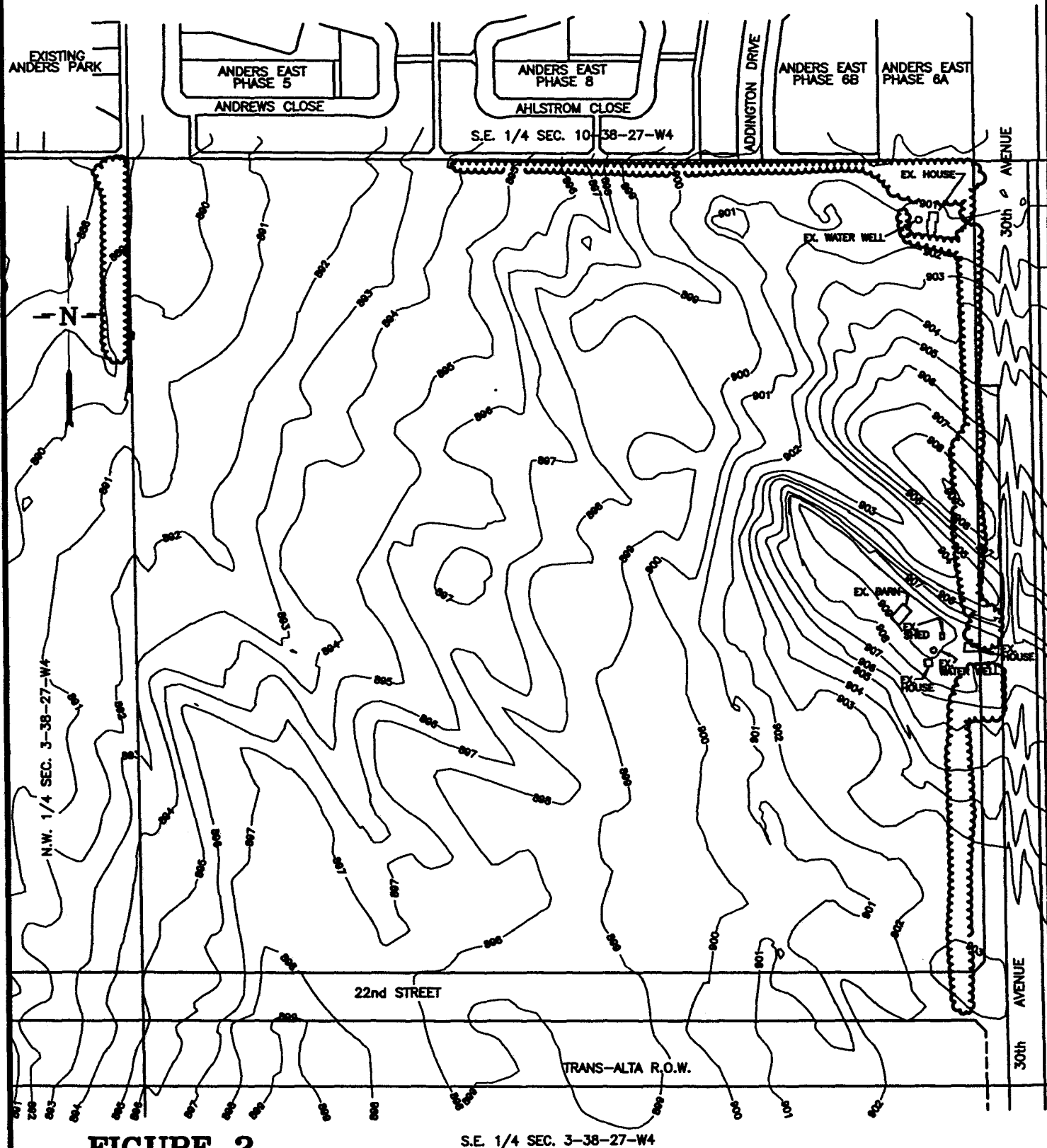
“to ensure that development on lands required for future urban development is restricted to ensure that future development may proceed in an orderly and well planned fashion, in keeping with the intent of the General Municipal Plan.”

A re-designation to appropriate urban land use districts is therefore required before any urban development can occur.

3.4 Land Form

The site generally slopes from east to northwest from an elevation of approximately 909.5m on the eastern edge to an elevation of 889.5m in the northwest corner (see Figure 2). A fairly prominent ridge is located in the east central portion of the site. There is also a significant row of trees along the eastern boundary of the site extending from section line at the north to the future 22nd Street right of way at the south. The recently completed Ecological Profile for the area identified the trees as a northwest poplar and caragana windbreak. Recommendation R5-a of the Profile states that all of the large poplar trees along the west side of 30th Avenue should be maintained.

ASPEN RIDGE NEIGHBOURHOOD AREA STRUCTURE PLAN



**FIGURE 2
SITE FEATURES**

LEGEND:

- 800 ——— ORIGINAL GROUND CONTOURS
- ~~~~~ ORIGINAL TREELINE

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The Profile also identifies a natural poplar windbreak along the north and west boundaries of the site. While recommendation R6-b recommends that the present natural stand of trees in the northeast corner be preserved, recommendation R6-a acknowledges that preservation of the windbreak trees along the west and north boundary is not possible due to servicing and development requirements.

Recommendation R7 also suggests that an attempt should be made to incorporate the landscaping and present trees around the existing two residences in a comprehensive housing development.

3.5 Access

Access to the site is presently available from 30th Avenue, and from the north/south collector stub from Avery Street. An ultimate access location to 30th Avenue has been established at approximately the midpoint along 30th Avenue.

3.6 Servicing

The site can be full-serviced with sewer, water and storm water utilities (assuming storm water management techniques are implemented) and shallow utilities from existing utilities immediately adjacent.

3.7 Environmental Considerations

A Phase 1 Environmental Site Assessment has been completed.

3.8 Existing Power Line

There is an existing TransAlta overhead power line right of way situated immediately to the south of subject parcel. This power line will remain in its present location.

3.9 Road Widening

A road widening of 20 metres is required along the eastern boundary of the subject site south of the 21 acre parcel (the 20m widening has already been provided adjacent the 21 acre parcel). This widening is required to provide the necessary right of way for the future arterial street.

A 37.5 metre right of way is required along the southern boundary of the site, adjacent to and north of the TransAlta right of way. The right of way is required for the future 22nd Street arterial. A reduction in right of way width from the typical 60 metres to 37.5 metres is possible because of the relationship to the power right of way, which can serve as the southerly buffer/berm.

4.0 DEVELOPMENT PROPOSAL

Based on the developer's intent, City policies, and site characteristics, a Neighbourhood Area

Structure Plan has been prepared for Aspen Ridge. The components of the Neighbourhood Area Structure Plan are development concept, density and population, open space, transportation, servicing and phasing.

4.1 Development Concept

The intent of the design of overall Aspen Ridge area is to provide a comprehensively planned residential community with an emphasis on integrating land uses, preserving existing trees and at the same time capitalizing on the potential of a good transportation infrastructure.

The Aspen Ridge Neighbourhood Area Structure Plan incorporates the policies contained in the East Hill Area Structure Plan and other City of Red Deer guideline and policy documents. The Plan, based to a large extent on the client's concept, is intended to provide the opportunity for a variety of residential product types. This is an especially important factor when considering the dynamics of the present day market.

The proposed Neighbourhood Area Structure Plan is contained in Figure 3.

4.2 Neighbourhood Structure

The plan places a possible emergency services/community facility, possible church site, and other possible public facilities such as the social care site at or near a future main entrance to the community. These neighbourhood amenities and the central neighbourhood park are intended to create the focus of the community and are therefore strategically located in terms of both vehicular and pedestrian networks.

Allowance is made in the plan for higher density housing in the northeast portion of the plan area adjacent to the amenity provided by the tree stand that is incorporated into the plan. It is anticipated that this residential cluster will be targeted toward the mature adult segment of the market with the intent to preserve most of the significant trees in the housing development.

A portion of the south east corner of the plan is set aside for a future commercial development at the intersection of 30th Avenue and the future 22nd Street.

Single family detached houses and possibly some semi-detached housing will be distributed throughout the remainder of the community. Although the vast majority of these units will be provided with rear lanes, a small percentage that back onto open space such as parks, storm retention facilities and the treed area will be laneless. As indicated in Figure 3, a portion of the lots is intended to accommodate 2 storey residences with walkout basement.

The lot size, which will be determined at the subdivision stage, is intended to vary in width, thus encouraging a variety of residential building product.

4.3 Land Use Distribution

Aspen Ridge is a comprehensively planned residential community consisting of residential and ancillary land uses. Table 1 below outlines the land use distribution.

Table 1 - Neighbourhood Area Structure Plan Statistics

Land Use	Acres	Hectares	Percentage
Single Family Detached (R1)	57.12	23.115	38.4%
Single Family Detached - Narrow (R1-N)	2.68	1.086	1.8%
Duplex Lots (R1-A)	11.24	4.547	7.5%
Residential – Multi-family (R2/R3)	9.20	3.724	6.2%
Residential – Multi-family (R2)	7.32	2.964	4.9%
Church Site/Duplex Site (R1-A)	1.64	0.664	1.1%
Day Care/Social Care Residence/Retirement Home (R1)	0.27	0.109	0.2%
Commercial Site (C2)	7.41	3.000	5.0%
Emergency Services / Community Facility/Duplex Site (PS/R1-A)	0.93	0.374	0.6%
School Site, Park & Walkways (PS)	11.13	4.505	7.5%
Storm Detention Pond	2.51	1.016	1.7%
Treed along 30th Avenue (P1)	3.92	1.586	2.6%
Public Utility Lots	0.93	0.374	0.6%
Streets and Lanes	32.58	13.185	21.9%
TOTAL DEVELOPABLE AREA	148.88	60.249	100.0%

Table 1 illustrates that 58.8 per cent of the Neighbourhood Area Structure Plan Area is for residential uses, 12.4 per cent for treed areas and open space including a storm detention pond, 21.9 per cent is dedicated for streets and lanes, 5.0 per cent for commercial development and the balance for other related uses.

4.4 Residential

The low density residential areas are proposed for predominately R1 single detached dwellings, a portion R1-A which may accommodate semi detached dwellings as well as detached dwellings, and a small number of R1-N single detached dwellings.

The residential (R2 and R2/R3) medium density area in the northeast portion of the Neighbourhood Area Structure Plan is proposed for a mix of product type. The R2 units consist of 64 fourplex units and 99 units in an apartment style senior's community. The R2/R3 units consist of 116 typical condominium units.

Multi-family units are often assumed to have two or more bedrooms. Under this scenario, the typical allowance for persons per unit would be 3.0. However, the senior's apartment complex, containing 99 units will not have a population density of 3.0 persons per unit. Instead, we have used a multi family/townhouse number of 2.2 persons per unit.

The resulting estimated population density calculation is summarized in Table 2 as follows:

Table 2 - Estimated Population Density

Land Use	Number of Dwelling Units	Number of Persons Per Unit	Total Population
Single Family - R1	359	3.4	1,221
Single Family - R1-N	25	3.4	85
Duplex - R1-A	156	3.3	515
Multi Family - R2/R3	180	3.0	540
Multi Family - R2	99	2.2	218.0
Totals:	819	-	2,579.0

Population density: $2579.0 \div 57.249\text{Ha} = 45.0$ persons per hectare

This density is within the allowable limit of 45 persons per hectare.

As illustrated in Table 2, the Neighbourhood Area Structure Plan, depending upon the actual lot size and land use, is anticipated to accommodate approximately 819 dwelling units and a population of approximately 2579 persons. Given this estimated unit count, the overall density for the Area Structure Plan Area is approximately 5.8 units per gross acre, and 45.0 Persons/Developable Hectare, with the commercial site area removed from the gross areas.

4.5 Open Space

The key components of the Open Space provisions in the Neighbourhood Area Structure Plan are discussed below, followed by a statement of municipal reserve calculations.

- Components

The components of the proposed Aspen Ridge open space which are cited below, include a neighbourhood school and park centre, east side linear park, and a dry storm retention facility.

a) Neighbourhood School and Park Facility

A 10.6 acre (4.29 ha) central neighbourhood school and park site is provided in the location indicated in the East Hills Area Structure Plan.

b) Linear Park

A 3.92 acre (1.59 ha) north south linear park, ranging from 13 to 30 metres in width, is proposed along the eastern edge of the quarter. The primary purpose for this park is to retain the existing tree stand.

A small 20 foot (6m) wide municipal reserve strip connects to the major linear park. In addition to providing this connection, this strip will serve to separate the rear of the residential lots and the collector roadway.

c) Storm Detention Facility

A storm detention facility is proposed to be part of the overall central park site. The total detention pond area is 4.99 acres (2.02 Hectares) of which 2.47 acres (1 Hectare) is municipal reserve.

- **Municipal Reserve**

In order to realize the open space network illustrated in the Plan, there will be a municipal reserve dedication of 15.05 acres (6.09 ha) which is 10.11 per cent of the developable area. This dedicated municipal reserve is comprised of the following elements:

	Acres (+/-)	Ha (+/-)
• Neighbourhood school and park	10.60	4.29
• Local Parks	0.53	0.22
• Linear Park (treed area)	3.92	1.59

4.6 Public Facilities

The Plan provides for a possible emergency services/community facility site, a church site, and a social care site.

4.7 Environmental Considerations

As indicated in Section 3.4 of this report and illustrated in Figure 2, the Ecological Profile Report for southeast Red Deer identifies the larger poplar trees along 30th Avenue and in the northeast corner as a Priority "A" for preservation. Most of the trees are included in the proposed municipal reserve strip. The remainder, where possible, will be incorporated in the development of the site. In addition, Recommendation R5-b of the Ecological Profile indicates that a 2.5 metre walking/biking trail be established along the west side of 30th Avenue. The Plan endeavours to accommodate these recommendations.

4.8 Commercial Site

The south east corner of the plan, as previously mentioned, shows a 7.41 acre (3.0 Ha) area set aside for commercial development (to be classified as C2). This area is a proposed location for a District Shopping Centre serving the surrounding community, and will be a major asset to the Aspen Ridge Plan. It will offer a close and convenient opportunity for residents in the area to do their grocery shopping. The proposed accesses for this development are full left-turn, right-turn from 22nd Street and a right-in, right-out entry from 30th Avenue (the City of Red Deer's Recreation, Parks and Culture Department has approved minimal tree removal for this purpose, providing that they are onsite during any tree removal. Adjacent natural vegetation will be preserved. The vegetation that is removed will be compensated by additional landscaping within the Commercial Site). With these entry points from the arterial roads, the traffic generated by the commercial development will have a minimum of impact on the residential areas. As well, the major walkway routes coupled with a short walk connection will allow pedestrian access to the shopping centre from within the neighbourhood.

5.0 TRANSPORTATION

5.1 Traffic Circulation Pattern

The traffic circulation pattern proposed in the Neighbourhood Area Structure Plan conforms to the East Hill Area Structure Plan. At some point in the future, there will be one arterial roadway, and one major collector roadway adjacent to the quarter section:

- 30th Avenue, along the east boundary of the quarter section will be an arterial roadway
- 22nd Street, along the south boundary of the quarter section will be a major collector roadway

Funds for construction of both roadways will come from the City of Red Deer off site levy fund.

Figure 3 illustrates the proposed roadway pattern for the subject quarter section. As illustrated, a looped collector road, Addington Drive, will extend from the Anders East quarter section, through the subject lands, and into the Anders On The Lake quarter section, which is located directly west of the subject quarter section. Collector roads will connect Addington Drive to 30th Avenue, and Addington Drive to 22nd Street.

30th Avenue currently exists as a four lane divided arterial cross section, to just past the mid point of Aspen Ridge quarter section, at Averill Street, tapering to a paved two lane rural cross section at the future 22nd Street intersection. 22nd Street is currently just a cultivated area.

Access to the subject lands for the first few phases of development will come from the Addington Drive collector road, located within Anders East, and from 30th Avenue. The primary access for the district shopping centre will come from 22nd Street.

For the P-loops, and long cul-de-sacs, accesses with medians are proposed to provide a divided access, in case of emergencies, where one side of the access is blocked by an obstruction.

5.2 Pedestrian Circulation Patterns

Figure 3 illustrates a continuous integrated pedestrian system throughout the quarter section, and along 30th Avenue and 22nd Street. Figure 4 illustrates the cross sectional details for the collector roadways. As illustrated on Figure 4:

- A 2.5 metre wide monolithic sidewalk will be installed along the east side of Addington Drive to where Addington Drive intersects with the collector roadway going south to 22nd Street. A 1.5 metre monolithic sidewalk will be installed along the west and north side of Addington Drive.
- A 2.5 metre wide monolithic sidewalk will be installed along the south side of the collector road extending from Addington Drive to 30th Avenue. A 1.5 metre monolithic sidewalk would be installed on the north side of this collector road.
- A 2.5 metre wide monolithic sidewalk will be installed along the east side of the collector roadway extending from Addington Drive to 22nd Street.
- As part of the arterial road construction for 30th Avenue, the pedestrian linkage will be continued along the west side of 30th Avenue. As part of the major collector road construction for 22nd Street, a 2.5m wide asphalt or concrete pedestrian linkage will be installed within the TransAlta right of way. The proposed locations are illustrated on Figure 3.

Two minor pedestrian linkages are illustrated on Figure 3. The first provides continuity along Addington Drive west to the collector road that connects Addington Drive to 22nd Street. The second provides a connection from Averill Street to the commercial site.

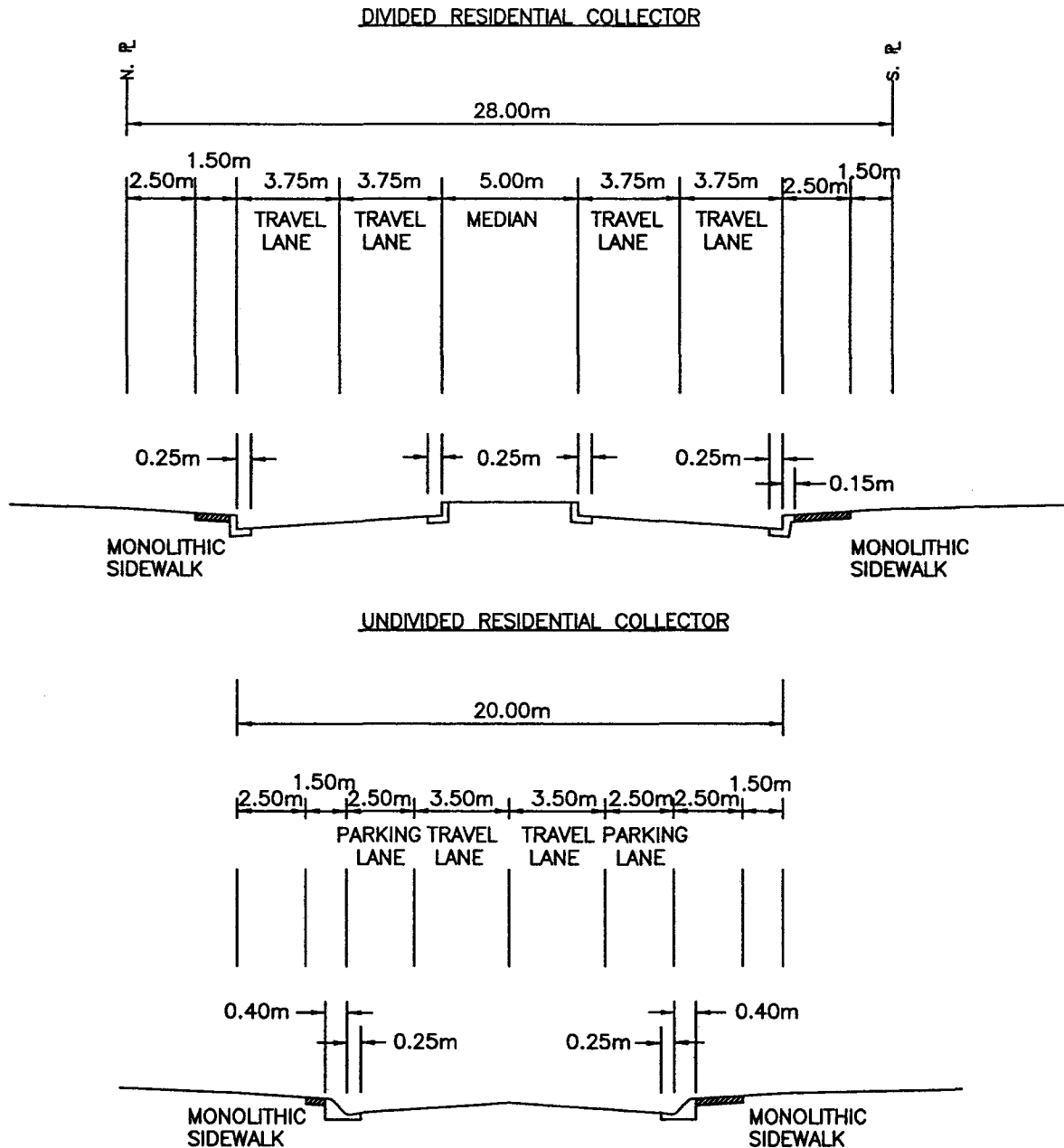
The pedestrian linkage system illustrated on the Neighbourhood Area Structure Plan connects key neighbour-hood elements and will enable residents to walk, run or ride bicycles through the community on a system of paths in open spaces or on boulevard walks that are separate from the roadways.

The pedestrian movement patterns are designed for both internal and external flows.

6.0 MUNICIPAL SERVICING

Most of the municipal services required to service this quarter section are existing. The exception is the storm trunk system. The remaining services are a direct extension of services located along the north boundary of the quarter section.

ASPEN RIDGE OUTLINE PLAN



NOTE: THE 2.5m MONOLITHIC SIDEWALK WILL BE LOCATED ALONG THE EAST AND NORTH SIDES OF ADDINGTON DRIVE, ALONG THE SOUTH SIDE OF THE COLLECTOR ROAD TO 30th AVENUE, AND ALONG THE EAST SIDE OF THE COLLECTOR ROAD TO 22nd STREET.

FIGURE 4
DIVIDED AND UNDIVIDED RESIDENTIAL
COLLECTOR ROADWAY DETAIL

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REVISED: MAR 13/2001

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6.1 Storm Sewer System

The existing storm trunk system, which is routed through the Anders East quarter section, has capacity for 17.0 hectares of the subject quarter section. The remaining storm drainage, from the remainder of the quarter section, and the adjacent arterial roadways, must be routed to the storm detention pond located north of Addington Drive, toward the west side of the quarter section. The storm detention pond is combined with the neighbourhood school and park. From this storm detention pond, the allowable discharge will be routed westward, through storm sewer mains, ultimately to Piper Creek. The allowable discharge is as follows:

- 0.0013 cu.m/sec/ha for the 1 in 5 year storm
- 0.0036 cu.m/sec/ha for the 1 in 100 year storm event.

Approximately 46 hectares of land will drain into this storm detention pond. The pond must be sized to accommodate the runoff from a one in 100 year storm. The storage volume required in the detention pond, to accommodate this runoff, is approximately 27,000 cubic metres.

6.1.1 Minor Drainage System

Figure 5 illustrates the conceptual layout for the storm sewer system. Runoff for storms up to a one in five year event will be handled via a gravity, piped system. Even for the one in five year storm event, some storm water storage is required in the Anders East storm detention pond, or in the detention pond located within the Aspen Ridge quarter section.

Consideration will be given to providing a weeping tile drainage system for all lots. The storm system design will be completed in accordance with the City of Red Deer Design Guidelines.

6.1.2 Major Overland Drainage System

The major overland drainage will exist regardless of whether or not it is designed for. When there is too much storm runoff for the piped system to handle, the runoff will flow overland along the easiest path available. This will occur when the storm is greater than a one in five year event.

To accommodate this situation, roads and lanes will be designed to route the overland flow to either the storm detention in the Anders East quarter section, or to the proposed storm detention pond in the Aspen Ridge quarter section. Some ponding will also occur within the roads, lanes and municipal reserve lots. The detailed design process will ensure that the major overland drainage system is designed in accordance with the City of Red Deer Design Guidelines.

The major overland drainage system is illustrated on Figure 6.

ASPEN RIDGE NEIGHBOURHOOD AREA STRUCTURE PLAN

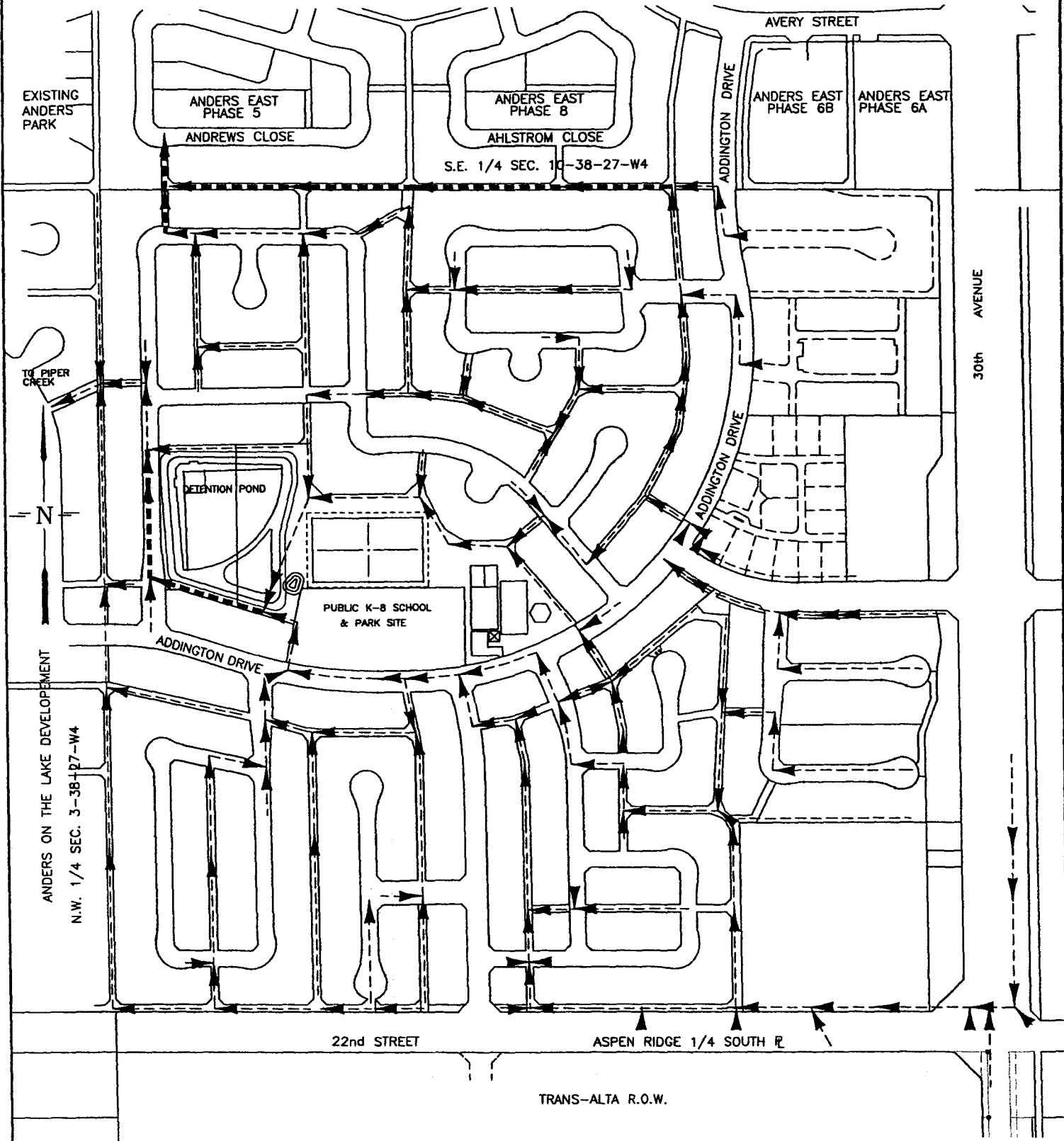


FIGURE 5
STORM SEWERS

SCALE 1:5000

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LEGEND:

STORM TRUNK ----->
STORM SEWER ----->

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6.1.3 Storm Detention Pond Cross Section

The City of Red Deer Recreation Parks and Culture Department requested that a cross section be provided to illustrate how the storm detention pond grades tie into the central park grades. Figure 6a illustrates this cross section and the location it is based on.

6.2 Sanitary Sewer System

The sanitary sewer system required to service the subject quarter section is a direct extension of the sanitary sewer system located within the Anders East quarter section, which is located directly to the north of the Aspen Ridge quarter section.

A 525 millimetre diameter sanitary sewer is stubbed into the northwest corner of the Aspen Ridge quarter section. The sanitary trunk system will be extended partially through the Aspen Ridge quarter section, and then will be routed westward, into the lane which abuts the west boundary of the Aspen Ridge quarter section. The sanitary sewer trunk will service this quarter section, and six additional quarter sections, located to the south, east and west of the Aspen Ridge quarter section. Figure 7 schematically illustrates the proposed layout for the sanitary sewer system. This drawing illustrates the proposed routing for the extension of the sanitary trunk system through the Aspen Ridge quarter section. It also illustrates the proposed location where the sanitary sewer force main will tie into the sanitary sewer trunk system. The sanitary sewer force main will extend from a sanitary lift station located on the NW ¼ Sec. 3-38-27-W4. This sanitary lift station will service four quarter sections of land located to the west and south of the Aspen Ridge quarter section.

All facilities required for the sanitary sewer system will be designed in accordance with City of Red Deer Design Guidelines.

6.3 Water Distribution System

The water distribution system required to service the Aspen Ridge quarter section is a direct extension of the water distribution system for the Anders East quarter section, located directly to the north. The largest water supply mains include:

- A 400 millimetre diameter water main stubbed off at the northwest corner of the quarter section. This water main will be extended along the west side of 30th Avenue.
- A 250 millimetre diameter water main which is existing or will be extended along the south property line of the Anders East quarter section.
- Water feeder mains will also be located along the north side of 22nd Street, and in the lane located adjacent to the west boundary of the Aspen Ridge quarter section.

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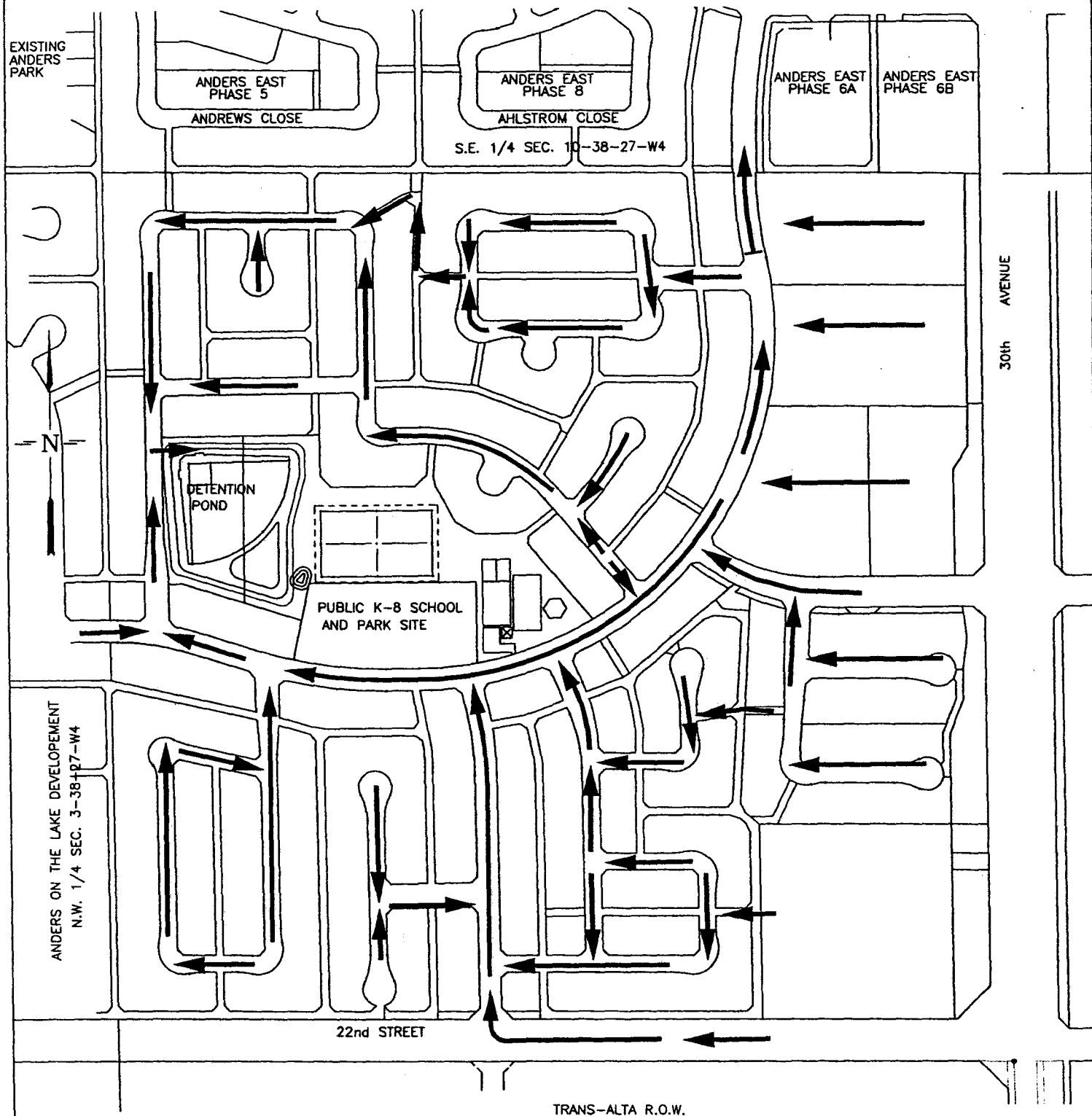


FIGURE 6
OVERLAND DRAINAGE
GREATER THAN 1:5
YEAR STORM EVENT

SCALE 1:5000

REVISED: APR 10, 2001
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S.E. 1/4 SEC. 3-38-27-W4

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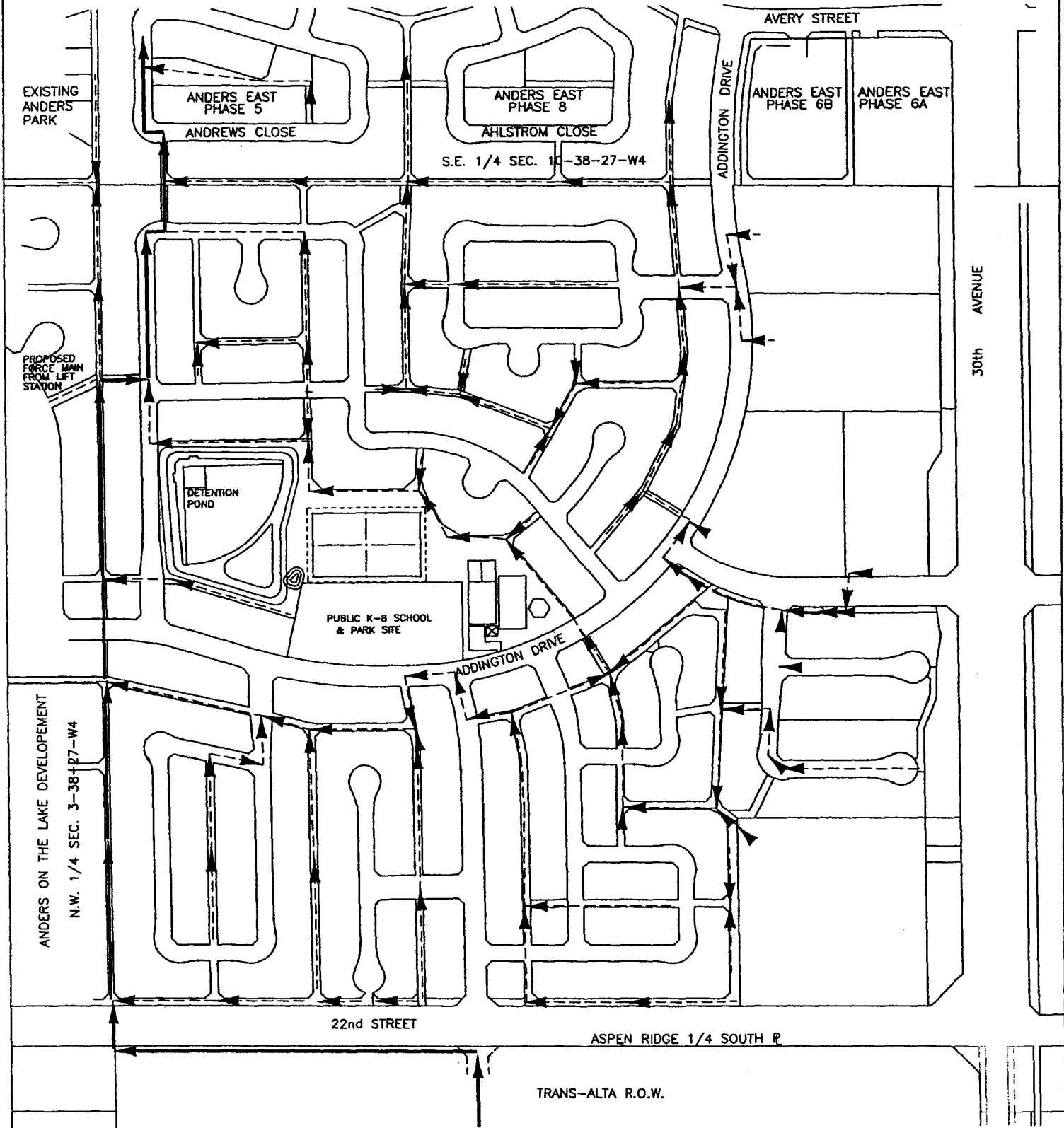
← DIRECTION OF FLOW

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ASPEN RIDGE NEIGHBOURHOOD AREA STRUCTURE PLAN



**FIGURE 7
SANITARY SEWERS**

SCALE 1:5000

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REVISED: MAR 03, 2003

LEGEND:

SANITARY TRUNK —————→
200mm SANITARY - - - - -→

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Figure 8 conceptually illustrates the water feeder main routing, and the water distribution system for the quarter section. Computer modelling will be utilized to evaluate actual water main sizes within the quarter section.

All facilities for the water distribution system will be designed in accordance with City of Red Deer Design Guidelines.

6.4 Shallow Utilities

The City of Red Deer Electric Light and Power Department, Telus Corporation, Shaw Cable and Northwestern Utilities have been contacted regarding the subject quarter section. All of the franchise utilities have advised that there is adequate capacity to provide servicing in the general area. The utility companies will review and address the servicing alternatives in more detail during the circulation and review of the Neighbourhood Area Structure Plan.

7.0 REPORTS FROM SPECIALIZED CONSULTANTS

7.1 Geotechnical Report

The geotechnical report, prepared by Agra Earth & Environmental Ltd., was submitted to the City of Red Deer Engineering Department on April 03, 1998.

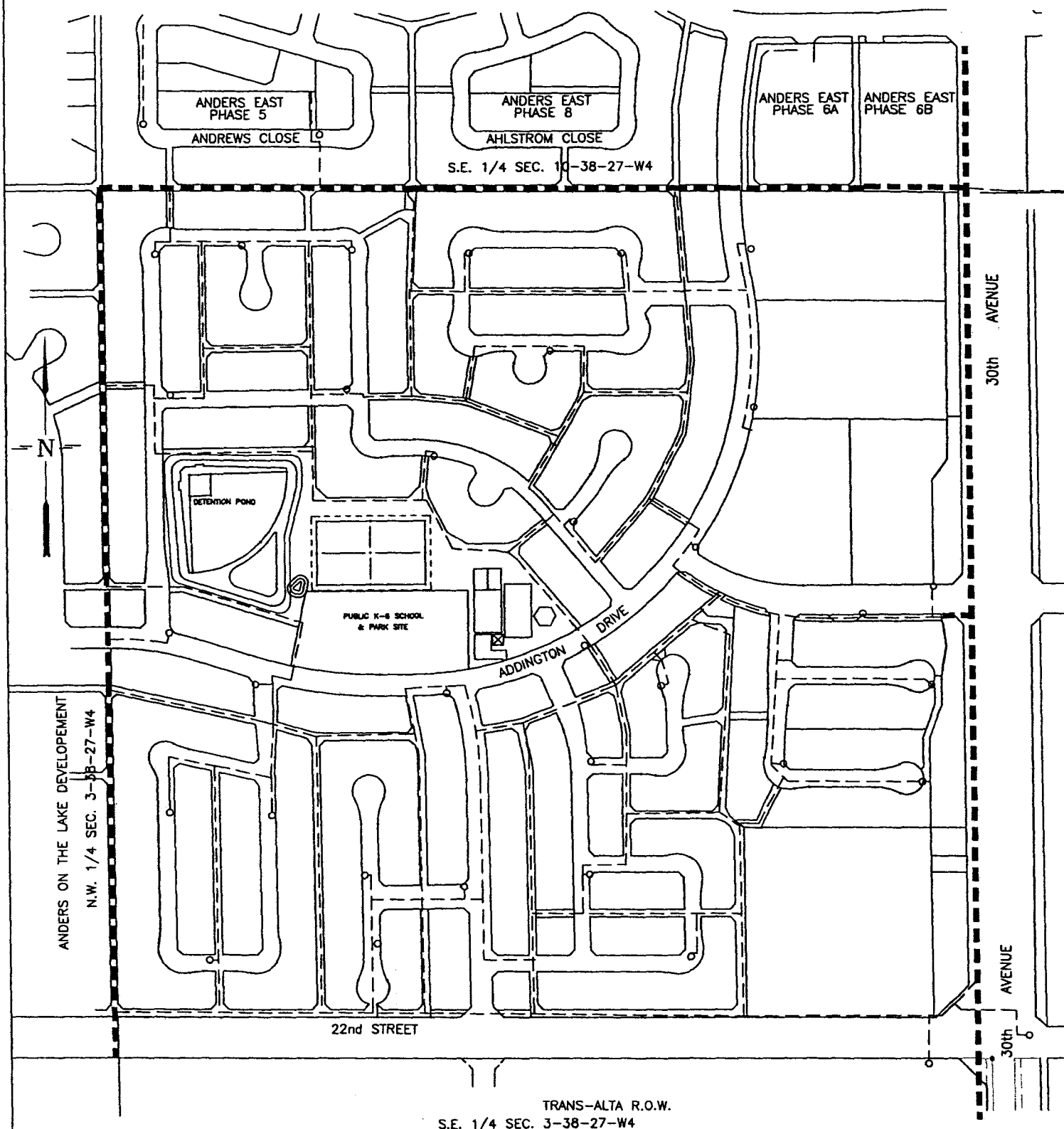
7.2 Phase 1 Environmental Site Assessment

The Phase 1 Environmental Assessment, prepared by Agra Earth & Environmental Ltd., was submitted to the City of Red Deer Engineering Department and Community Planning Services on April 07, 1998.

8.0 PHASING OF DEVELOPMENT

Figure 9 illustrates the proposed phasing for development. The present location of utilities dictates the first few phases of development. Market conditions will influence the actual phasing of later development.

ASPEN RIDGE NEIGHBOURHOOD AREA STRUCTURE PLAN



**FIGURE 8
WATER DISTRIBUTION**

SCALE 1:5000

REVISED APR 10, 2001
REVISED JAN 13, 2003
REVISED FEB 12, 2003
REVISED MAR 03, 2003

LEGEND

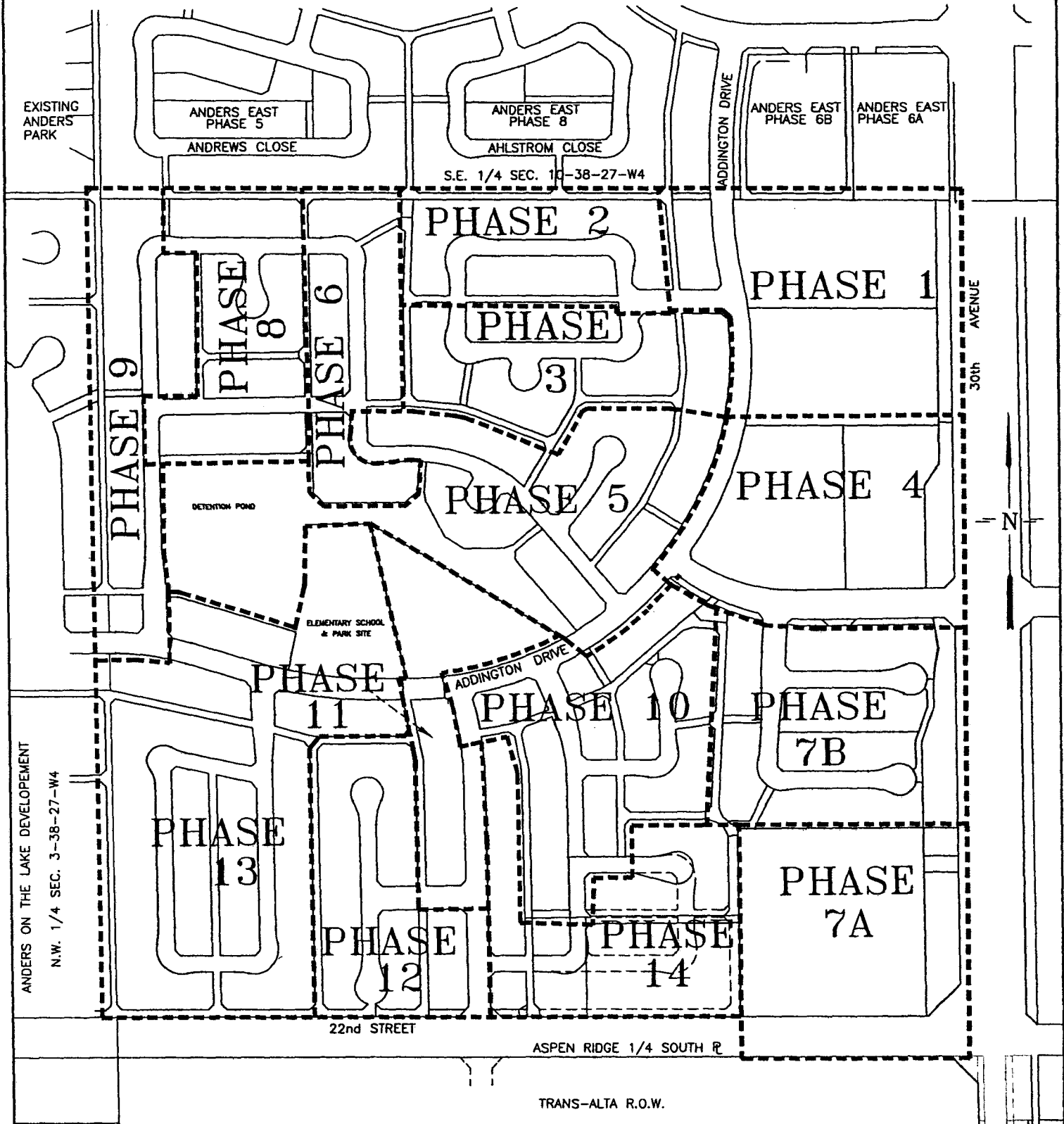
FEEDER WATER MAIN ————
WATER MAIN - - - - -
HYDRANT ○

AL-TERRA
ENGINEERING LTD.

EDMONTON

RED DEER

ASPEN RIDGE NEIGHBOURHOOD AREA STRUCTURE PLAN



**FIGURE 9
PHASING CONCEPT**

SCALE 1:5000

REVISED: MAR 03, 2003
REVISED: FEB 12, 2003
REVISED: JAN 13, 2003
REVISED: NOV 14, 2002
REVISED: JUNE 25, 2002
REVISED: MAY 31, 2002

LEGEND:

PHASE BOUNDARY - - - - -

AL-TERRA
ENGINEERING LTD.

EDMONTON

RED DEER

F:\Projects\Aspen Ridge\OUTLINE PLANS\REVISION 03-03-03\Fig 9 - Phasing Concept.dwg

BYLAW NO. 3156/K-2003

Being a Bylaw to amend Bylaw No. 3156/96, the Land Use Bylaw of The City of Red Deer as described herein.

COUNCIL OF THE CITY OF RED DEER, ALBERTA, ENACTS AS FOLLOWS:

- 1 The "Use District Map J5" contained in "Schedule B" of the Land Use Bylaw is hereby amended in accordance with the Land Use District Map No. 9/2003 attached hereto and forming part of the bylaw.

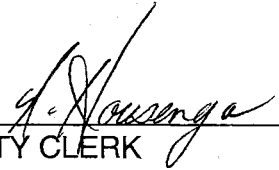
READ A FIRST TIME IN OPEN COUNCIL this 24th day of March 2003.

READ A SECOND TIME IN OPEN COUNCIL this 22nd day of April 2003.

READ A THIRD TIME IN OPEN COUNCIL this 22nd day of April 2003.

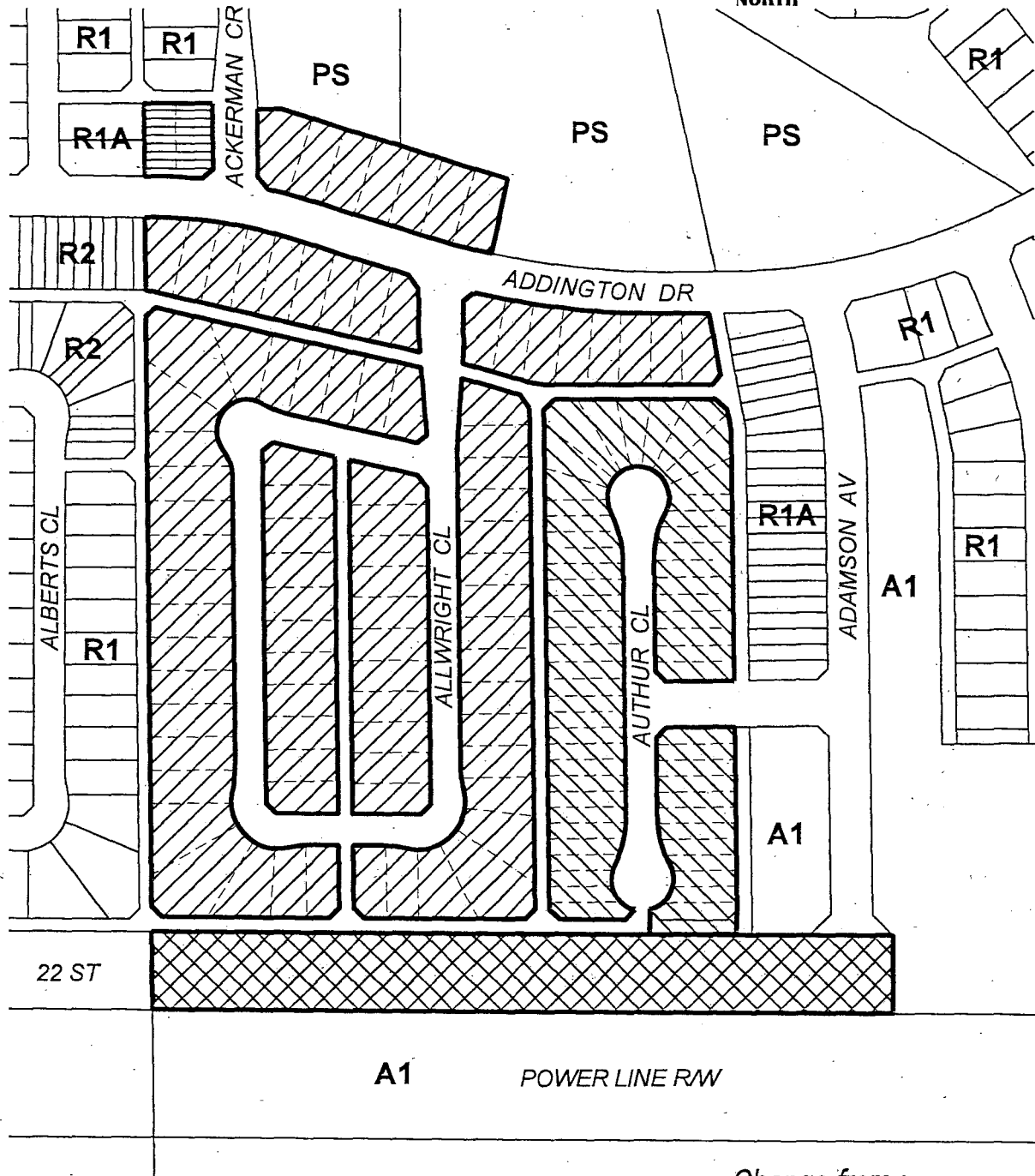
AND SIGNED BY THE MAYOR AND CITY CLERK this 22nd day of April 2003.


MAYOR


DEPUTY CITY CLERK

The City of Red Deer

PROPOSED LAND USE BYLAW AMENDMENT



AFFECTED DISTRICTS:

A1 - Future Urban Development

R1 - Residential (Low Density)

R1A - Residential (Semi-Detached Dwelling)

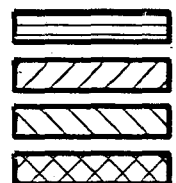
Change from :

R1A to R1

A1 to R1

A1 to R1A

A1 to Road



MAP No. 9 / 2003

BYLAW No. 3156 / K - 2003



CITY CLERK'S DEPARTMENT

April 23, 2003

Melcor Developments Ltd.
502, 4901 – 48 Street
Red Deer, AB T4N 6M4

Dear Sir:

Aspen Ridge Neighbourhood:

- (a) ***Neighbourhood Area Structure Plan Amendment 3217/D-2003***
- (b) ***Land Use Bylaw Amendment 3156/K-2003 – Phases 12 & 13***

At the City of Red Deer's Council Meeting held April 22, 2003, Public Hearings were held with respect to *Aspen Ridge Neighbourhood Area Structure Plan Amendment 3217/D-2003* and *Land Use Bylaw Amendment 3156/K-2003*. Following the Public Hearing, *Neighbourhood Area Structure Plan Amendment 3217/D-2003* and *Land Use Bylaw Amendment 3156/K-2003*, as amended, were given second and third readings. Copies of the bylaws are attached for your information.

Council passed the following resolution with respect to *Land Use Bylaw Amendment 3156/K-2003*:

Resolved that Council of the City of Red Deer, agrees to amend *Land Use Bylaw Amendment 3156/K-2003* be deleting Map No. 9/2003 and substituting it with the *revised* May 9/2003 as submitted to Council on April 22, 2003

Aspen Ridge Neighbourhood Area Structure Plan Amendment 3217/D-2003 provides for the following changes: rezoning of approximately 1.79 acres of land from R1A Residential (Semi-detached) development to R1 Residential (Single Family Detached), changing the proposed pedestrian boulevard/sidewalk configuration along Addington Drive, Averill Street and Adamson Avenue to a monolithic sidewalk/curb, deletion of a designated day care site at the south-west corner of Adamson Avenue/Addington Drive to permit development of this site at R1A Residential (Semi-detached) units, and the addition of a cul-de-sac and portion of lane on a previously designated church site to permit development of R1A Residential (Semi-detached) land use.

Land Use Bylaw Amendment 3156/K-2003 provides for the development of Phases 12 and 13 of the Aspen Ridge Neighbourhood. These phases will consist of 88 single family lots, 58 semi-detached lots and 1 future development lot that will be reserved for possible future emergency services site and/or other community facility. Approximately 10.0 ha (24.7 acres) of land will be rezoned from A1 Future Urban Development District to R1 Residential Low Density and R1A Residential (Semi-detached) Districts, including roadways, lanes and public utility lots.

..2/

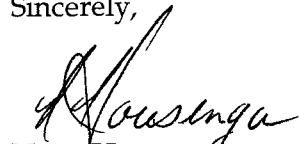
Melcor Developments

April 23, 2003

Page 2

Please do not hesitate to contact me should you have any questions or require further clarification.

Sincerely,

A handwritten signature in cursive script, appearing to read "N. Housenga".

Nona Housenga

Deputy City Clerk

c Parkland Community Planning Services
 C. Adams, Administrative Assistant



THE CITY OF RED DEER
City Clerk's Department Payment Receipt

03/04/03
Year Month Day

Name: MEKOR DEV Reference: 3156/K-2003

NOT VALID ULESS MACHINE PRINTED HERE

04/03/03 1:54PM 251W4956

ITEM	Account Number (Cost Centre.Object.Subeldiary)	Subledger	T	Asset ID No.	Amount
L.U.B. Advert	59.5901				400.00
D.A.B. Fee	54.5722				
D.A.B. Advert	54.5901				
TOTAL					400.00

GST. REGISTRATION # R119311785

SUMMARY
CHECK \$400.00

REMITTANCE ADVICE

DATE	PAYEE	AMOUNT	3E	1		
31 3 2003	CITY OF RED ER	400.00				
BANK	LD Canadian Imperial Bank of Commerce		NUMBER	108306		
DOCUMENT DATE	DOCUMENT NUMBER	DOCUMENT AMOUNT	BALANCE	GROSS AMOUNT	DISCOUNT	NET PAYMENT
31 3 2003	ASPEN 13	400.00		400.00	0.00	400.00
TIME 1:00 pm						
DATE Ap 3/03						
BY L12 SOLBY						
		400.00		400.00	0.00	400.00

DETACH THIS PORTION BEFORE DEPOSITING

April 02, 2003

«OwnerName»

«OwnerAdd1»

«OwnerAdd2»

«OwnerAdd3»

Dear Sir/Madam:

Re: Aspen Ridge Neighbourhood Area Structure Plan 3217/D-2003
Land Use Bylaw Amendment 3156/K-2003

Council of the City of Red Deer is considering a change to the Land Use Bylaw, which controls the use and development of land and buildings in the city. As a property owner in the Aspen Ridge area you have an opportunity to ask questions about the intended use and to let Council know your views.

Red Deer City Council proposes to pass **Bylaw 3217/D-2003**, an amendment to the Aspen Ridge Neighbourhood Area Structure Plan located in part of the Northeast quarter of Section 3-38-27-W4. The proposed amendment provides for the following:

- Rezoning of approximately 1.79 acres of land from R1A Residential (Semi-detached) development to R1 Residential (Single Family Detached)
- Changing the proposed pedestrian boulevard/sidewalk configuration along Addington Drive, Averill Street and Adamson Avenue to a monolithic sidewalk/curb
- Deletion of a designated day care site at the southwest corner of Adamson Avenue/Addington Drive to permit development of R1A Residential (Semi-detached) units
- Addition of a cul-de-sac and portion of lane on a previously designated church site to permit the development of R1A Residential (Semi-detached) use.

City Council also proposes to pass **Land Use Bylaw Amendment 3156/K-2003**, which provides for the development of Phases 12 and 13 of the Aspen Ridge Neighbourhood, consisting of 88 single family lots, 58 semi-detached lots and 1 future development lot to be reserved for possible future emergency services site and/or other community facility.

«OwnerName»

Page Two

The proposed bylaws may be inspected by the public at the City Clerk's Department, 2nd Floor of City Hall during regular office hours or for more details, contact the city planners at Parkland Community Planning Services 343-3394.

City Council will hear from any person claiming to be affected at a Public Hearing on **Tuesday, April 22, 2003** at 7:00 p.m. in Council Chambers, 2nd floor of City Hall. If you want your letter or petition included on the Council agenda you must submit it to the City Clerk by **Tuesday, April 15, 2003**. Otherwise, you may submit your letter or petition at the Council meeting or you can simply tell Council your views at the Public Hearing. Any submission will be public information. If you have any questions regarding the use of this information, please contact the City Clerk's Office at 342-8132.

Yours truly,

A handwritten signature in cursive script, appearing to read "Kelly Kloss".

Kelly Kloss
City Clerk

/encl.

Aspen Ridge Neighbourhood Area Structure Plan & Land Use Bylaw Amendment

Red Deer City Council proposes to pass **Bylaw 3217/D-2003**, an amendment to the Aspen Ridge Neighbourhood Area Structure Plan located in part of the Northeast quarter of Section 3-38-27-W4. The proposed amendment provides for the following:

- Rezoning of approximately 1.79 acres of land from R1A Residential (Semi-detached) development to R1 Residential (Single Family Detached)
- Changing the proposed pedestrian boulevard/sidewalk configuration along Addington Drive, Averill Street and Adamson Avenue to a monolithic sidewalk/curb
- Deletion of a designated day care site at the southwest corner of Adamson Avenue/Addington Drive to permit development of R1A Residential (Semi-detached) units
- Addition of a cul-de-sac and portion of lane on a previously designated church site to permit the development of R1A Residential (Semi-detached) use.

"Map"

City Council also proposes to pass **Land Use Bylaw Amendment 3156/K-2003**, which provides for the development of Phases 12 and 13 of the Aspen Ridge Neighbourhood, consisting of 88 single family lots, 58 semi-detached lots and 1 future development lot to be reserved for possible future emergency services site and/or other community facility.

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Kelly Kloss
City Clerk

(Publication Dates: April 4 & 11, 2003)

3156/K
 Data Source :
 264623 264043
 Main Doc: 264352

Ownername	Owneradd1	Owneradd2
Melcor Developments Ltd.	900 10310 Jasper Avenue	EDMONTON, AB T5J 1Y8
Seth Anders	P.O. Box 399	RED DEER, AB T4N 5E9
Inglewood Communities Inc.	900 10310 Jasper Avenue	EDMONTON, AB T5J 1Y8
Thorvald Nielsen	32 Parsons Close	RED DEER, AB T4P 2C8
Calgary Power Ltd.	Box 1900 Station M	CALGARY, AB T2P 2M1
Redbrook Group 2 Corp.	3 Archer Drive	RED DEER, AB T4R 2V1
Jason K. Walz	301 Addington Drive	RED DEER, AB T4R 3H7
Damon K. & Joelle R. Hrykiw	70 Alberts Close	RED DEER, AB T4R 3J7
Abbey Homes Ltd.	8 4608 62 Street	RED DEER, AB T4N 6T3
Edmond Michael Zajac	78 Alberts Close	RED DEER, AB T2T 2T2
David & Lorie Anderson	82 Alberts Close	RED DEER, AB T4R 3J7
Bruce Michael Reinhart	86 Alberts Close	RED DEER, AB T4R 3J7
Audrey Scott & Craig Miller	90 Alberts Close	RED DEER, AB T4R 3J7
Dwayne Alec & Sonya Louise McClelland	67 Mackenzie Crescent	RED DEER, AB T4R 1R6
William Bruce & Sandra Ann Handley	122 Ainsworth Crescent	RED DEER, AB T4R 3B1
Morry & Wendy Ronspies	126 Ainsworth Crescent	RED DEER, AB T4R 3B1
DMC Construction Ltd.	212 4836 50 Street	RED DEER, AB T4N 1X4

Date: March 28, 2003

To: Norma Lovell, Assessment

From: Cheryl Adams
City Clerk's Department

Re: LUB Amendment 3156/D - 2003 Aspen Ridge NASP 3217/D-2003 & LUB 3156/K-2003

Please provide **Bev Greter** with the names and addresses of the subject property owners and all contiguous/adjacent property owners as outlined on the attached map.

It would be helpful if the lists could be received at your earliest convenience in order to process the letters within the required time period. I have attached the map that appeared on the Council agenda for your reference.

Thanks Norma.

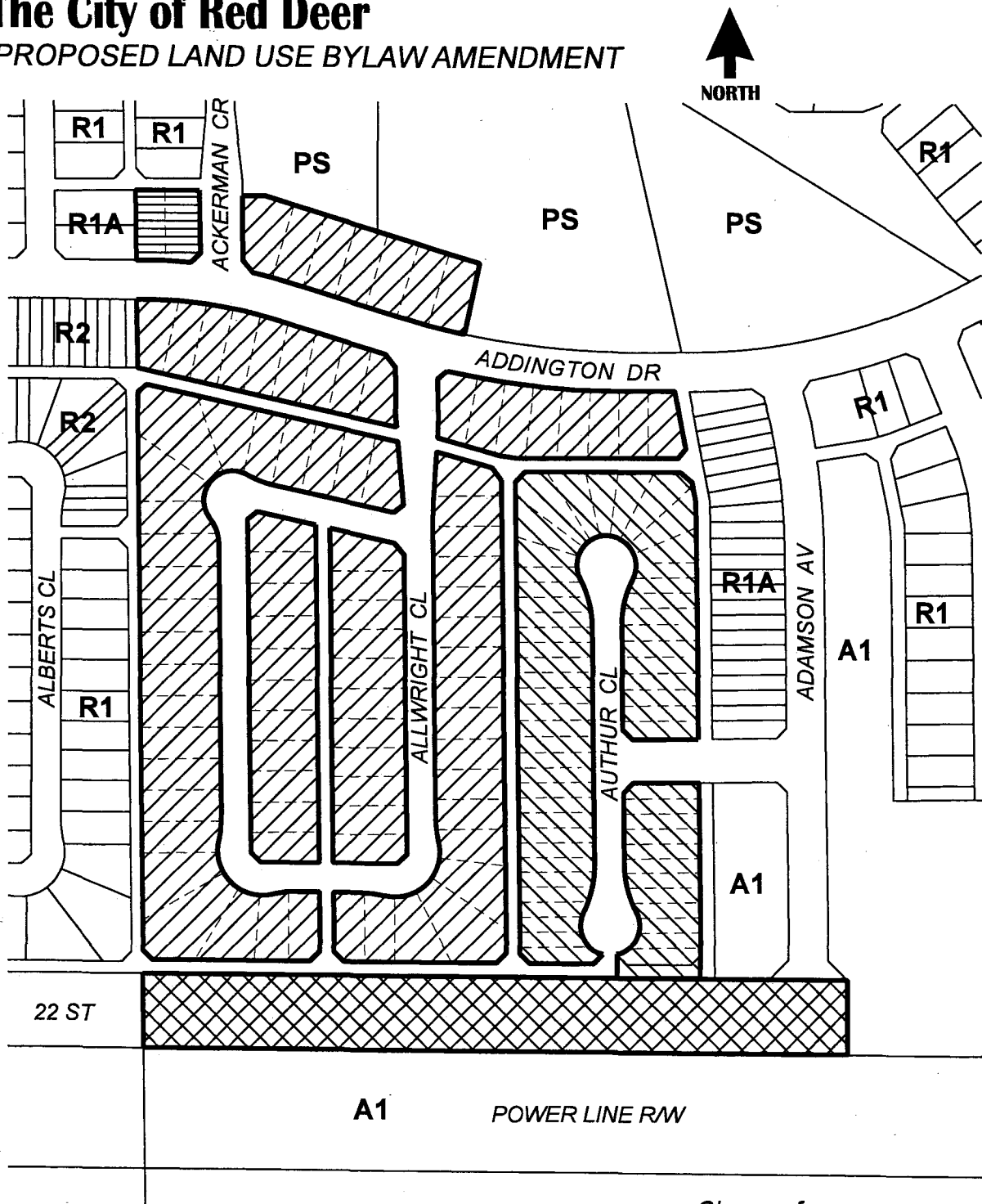


Cheryl Adams
City Clerks' Office

Attach.

The City of Red Deer

PROPOSED LAND USE BYLAW AMENDMENT



AFFECTED DISTRICTS:

A1 - Future Urban Development

R1 - Residential (Low Density)

R1A - Residential (Semi-Detached Dwelling)

Change from :

R1A to R1



A1 to R1



A1 to R1A



A1 to Road



MAP No. 9 / 2003

BYLAW No. 3156 / K - 2003



CITY CLERK'S DEPARTMENT

March 25, 2003

Fax: 343-7510

Melcor Developments Ltd.
502, 4901 – 48 Street
Red Deer, AB T4N 6M4

Dear Sir:

Aspen Ridge Neighbourhood:

- (a) Neighbourhood Area Structure Plan Amendment 3217/D-2003***
- (b) Land Use Bylaw Amendment 3156/K-2003 – Phases 12 & 13***

Red Deer City Council gave first reading to *Aspen Ridge Neighbourhood Area Structure Plan Amendment 3217/D-2003* and *Land Use Bylaw Amendment 3156/K-2003* at the City of Red Deer's Council Meeting held Monday, March 24, 2003. Copies of the bylaws are attached for your information.

Aspen Ridge Neighbourhood Area Structure Plan Amendment 3217/D-2003 provides for the following changes: rezoning of approximately 1.79 acres of land from R1A Residential (Semi-detached) development to R1 Residential (Single Family Detached), changing the proposed pedestrian boulevard/sidewalk configuration along Addington Drive, Averill Street and Adamson Avenue to a monolithic sidewalk/curb, deletion of a designated day care site at the south-west corner of Adamson Avenue/Addington Drive to permit development of this site at R1A Residential (Semi-detached) units, and the addition of a cul-de-sac and portion of lane on a previously designated church site to permit development of R1A Residential (Semi-detached) land use.

Land Use Bylaw Amendment 3156/K-2003 provides for the development of Phases 12 and 13 of the Aspen Ridge Neighbourhood. These phases will consist of 88 single family lots, 58 semi-detached lots and 1 future development lot that will be reserved for possible future emergency services site and/or other community facility. Approximately 10.0 ha (24.7 acres) of land will be rezoned from A1 Future Urban Development District to R1 Residential Low Density and R1A Residential (Semi-detached) Districts, including roadways, lanes and public utility lots.

Council must hold Public Hearings before giving second and third readings to the bylaws. This office will now advertise for Public Hearings to be held on Tuesday, April 22, 2003 at 7:00 p.m. in Council Chambers of City Hall during Council's regular meeting.

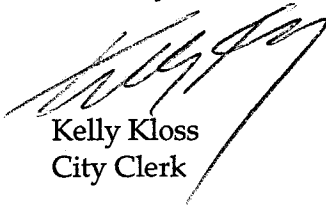
...2/

Melcor Developments
March 25, 2003
Page 2

According to the *Land Use Bylaw*, the City requires a deposit before public advertising. An amount equal to the estimate cost of advertising, which in this instance is \$400, is required by Wednesday, April 2, 2003. You will be invoiced for or refunded the difference once the actual cost of advertising is known.

Please call if you have any questions or require additional information.

Sincerely,

A handwritten signature in black ink, appearing to read 'Kelly Kloss', is written over the typed name and title.

Kelly Kloss
City Clerk

KK/chk
/attach.

c Parkland Community Planning Services
 C. Adams, Administrative Assistant

City Clerk's Department

DATE: March 25, 2003

TO: Tony Lindhout, Parkland Community Planning Services

FROM: Kelly Kloss, City Clerk

SUBJECT: Aspen Ridge Neighbourhood:
(a) Neighbourhood Area Structure Plan Amendment 3217/D-2003
(b) Land Use Bylaw Amendment 3156/K-2003 – Phases 12 & 13

Reference Report:

Parkland Community Planning Services, dated March 14 & March 18, 2003

Bylaw Readings:

Neighbourhood Area Structure Plan Amendment 3217/D-2003 and Land Use Bylaw Amendment 3156/K-2003 were given first readings. Copies of the bylaws are attached.

Report Back to Council: Yes

Public Hearings will be held on Tuesday, April 22, 2003 at 7:00 p.m. in Council Chambers during Council's regular meeting.

Comments/Further Action:

Aspen Ridge Neighbourhood Area Structure Plan Amendment 3217/D-2003 provides for the following changes: rezoning of approximately 1.79 acres of land from R1A Residential (Semi-detached) development to R1 Residential (Single Family Detached), changing the proposed pedestrian boulevard/sidewalk configuration along Addington Drive, Averill Street and Adamson Avenue to a monolithic sidewalk/curb, deletion of a designated day care site at the south-west corner of Adamson Avenue/Addington Drive to permit development of this site at R1A Residential (Semi-detached) units, and the addition of a cul-de-sac and portion of lane on a previously designated church site to permit development of R1A Residential (Semi-detached) land use.

Land Use Bylaw Amendment 3156/K-2003 provides for the development of Phases 12 and 13 of the Aspen Ridge Neighbourhood. These phases will consist of 88 single family lots, 58 semi-detached lots and 1 future development lot that will be reserved for possible future emergency services site and/or other community facility. Approximately 10.0 ha (24.7 acres) of land will be rezoned from A1 Future Urban Development District to R1 Residential Low Density and R1A Residential (Semi-detached) Districts, including roadways, lanes and public utility lots. This office will now proceed with the advertising for a Public Hearing. Melcor Developments will be responsible for the advertising costs in this instance.



Kelly Kloss
City Clerk

/chk

/attach.

c Director of Development Services
 Inspections & Licensing Manager
 Land & Economic Development Manager
 C. Adams, Administrative Assistant
 B. Greter, Clerk Steno, City Clerk's

BYLAW NO. 3217/D-2003

Being a Bylaw to amend Bylaw No. 3217/98, the Bylaw adopting The City of Red Deer Neighbourhood Area Structure Plans, as described herein.

COUNCIL OF THE CITY OF RED DEER, ALBERTA, ENACTS AS FOLLOWS:

- 1 Bylaw 3217/98 with regard to the Anders Southeast (Aspen Ridge) Neighbourhood Area Structure Plan is amended by deleting therefrom the entire Anders Southeast (Aspen Ridge) Neighbourhood Area Structure Plan and substituting therefore, the attached amended Anders Southeast (Aspen Ridge) Neighbourhood Area Structure Plan, which forms part of this Bylaw.

READ A FIRST TIME IN OPEN COUNCIL this 24th day of March 2003.

READ A SECOND TIME IN OPEN COUNCIL this day of 2003.

READ A THIRD TIME IN OPEN COUNCIL this day of 2003.

AND SIGNED BY THE MAYOR AND CITY CLERK this day of 2003.

MAYOR

CITY CLERK

**NEIGHBOURHOOD AREA
STRUCTURE PLAN**

**ASPEN RIDGE
(ANDERS SOUTHEAST)**

**NE 1/4 Section 3, Township 38
Range 27, West of 4**

Prepared for:

Melcor Developments Ltd.

Prepared by:

Interplan Strategies Inc.

Al-Terra Engineering Ltd.

**Revised February 12, 2003
March 3, 2003**

97108

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1.0 INTRODUCTION AND PURPOSE

The subject site, Aspen Ridge, is located in southeast quadrant of the City at the intersection of 30th Avenue and 22nd Street (See Figure 1). To the north is the Anders East Outline Plan Area which is presently under development. To the west is the proposed Anders on the Lake Outline Plan area. To the east is the future 30th Avenue arterial road right of way and to the south the future 22nd Street undivided arterial road right of way.

The site is situated within the East Hill Area Structure Plan adopted by Council on April 20, 1998. The site, containing 160 acres (64.9 ha) more or less, is legally described as the NE ¼ Section 3, Township 38, Range 27, West of the 4th Meridian.

Al-Terra Engineering is hereby submitting, on behalf of Melcor Developments Ltd., an application for Neighbourhood Area Structure Plan approval for primarily residential and associated land uses. The plan submitted acknowledges the known edge conditions on all four sides of the site.

The following sections of this report discuss policy framework, site characteristics, proposed land uses, development densities, municipal reserve, and open space requirements, transportation considerations, proposed site servicing and development phasing.

2.0 POLICY FRAMEWORK

On April 20, 1998 City of Red Deer Council adopted the revised East Hill Area Structure Plan (Bylaw 3207/98). The Area Structure Plan allows for the primary use of land for residential purposes.

Other land uses indicated in the Area Structure Plan include a public elementary/middle school site in conjunction with a neighbourhood centre, a commercial site, and a fire hall site along 22nd Street. The road network shows both 30th Avenue on the east and 22nd Street on the south as arterial roads. The network also shows a collector street loop through the site connecting from Anders East on the north to the future Anders on the Lake to the west. Collector links to 30th Avenue and the future 22nd Street are also shown. The City of Red Deer has established the precise location for the intersection of the collector link with 30th Avenue.

The East Hill Area Structure Plan is implemented by Outline Plans for each quarter section.

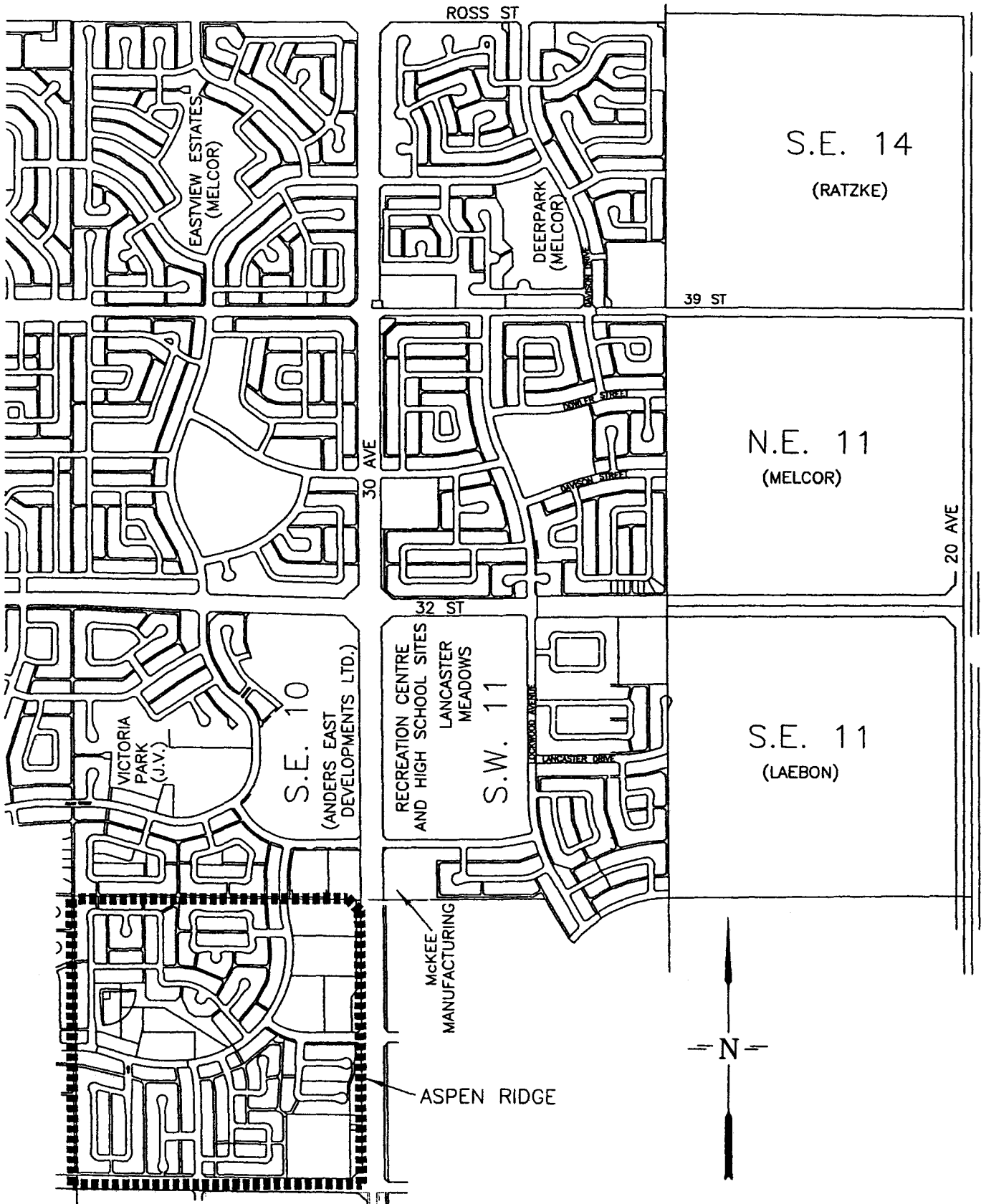
Other City documents such as the Planning and Subdivision Guidelines, the Community Services Master Plan, Ecological Profiles and the Land Use Bylaw govern the more detailed elements of the planning process.

3.0 SITE CHARACTERISTICS

3.1 Legal Description and Ownership

The subject site is legally described as the NE ¼ Section 3, Township 38, Range 27 West of the 4th Meridian. The quarter section is comprised of two titles:

ASPEN RIDGE NEIGHBOURHOOD AREA STRUCTURE PLAN



**FIGURE 1
LOCATION**

SCALE 1:15000
REVISED: MAR 03/03

CONCEPT BY:
INTERPLAN STRATEGIES INC.

PREPARED BY: **AL-TERRA**
ENGINEERING LTD.

EDMONTON

RED DEER

- A twenty-one acre parcel in the northeast corner, which was previously owned by five individuals, each with an undivided 1/5 interest. Melcor Developments Ltd. purchased this land parcel.
- The balance of the quarter section is owned by Melcor Developments Ltd.

The appropriate titles are included in Appendix 1.

3.2 Site Area

The site area is as follows:

Total Site	160.31 Ac (64.88 Ha)
Less – Major Road Widening	<u>(11.43 Ac) (4.63 Ha)</u>
Developable Area	148.88 Ac (60.25 Ha)

3.3 Existing Land Use

The subject site is presently under cultivation. There are two existing residences on the site. One is on the 21 acre parcel in the north east corner, the other is located further to the south.

The entire quarter section is presently designated A-1 Future Urban Development District by The City of Red Deer Land Use Bylaw No. 3156/96. The general purpose of this District is

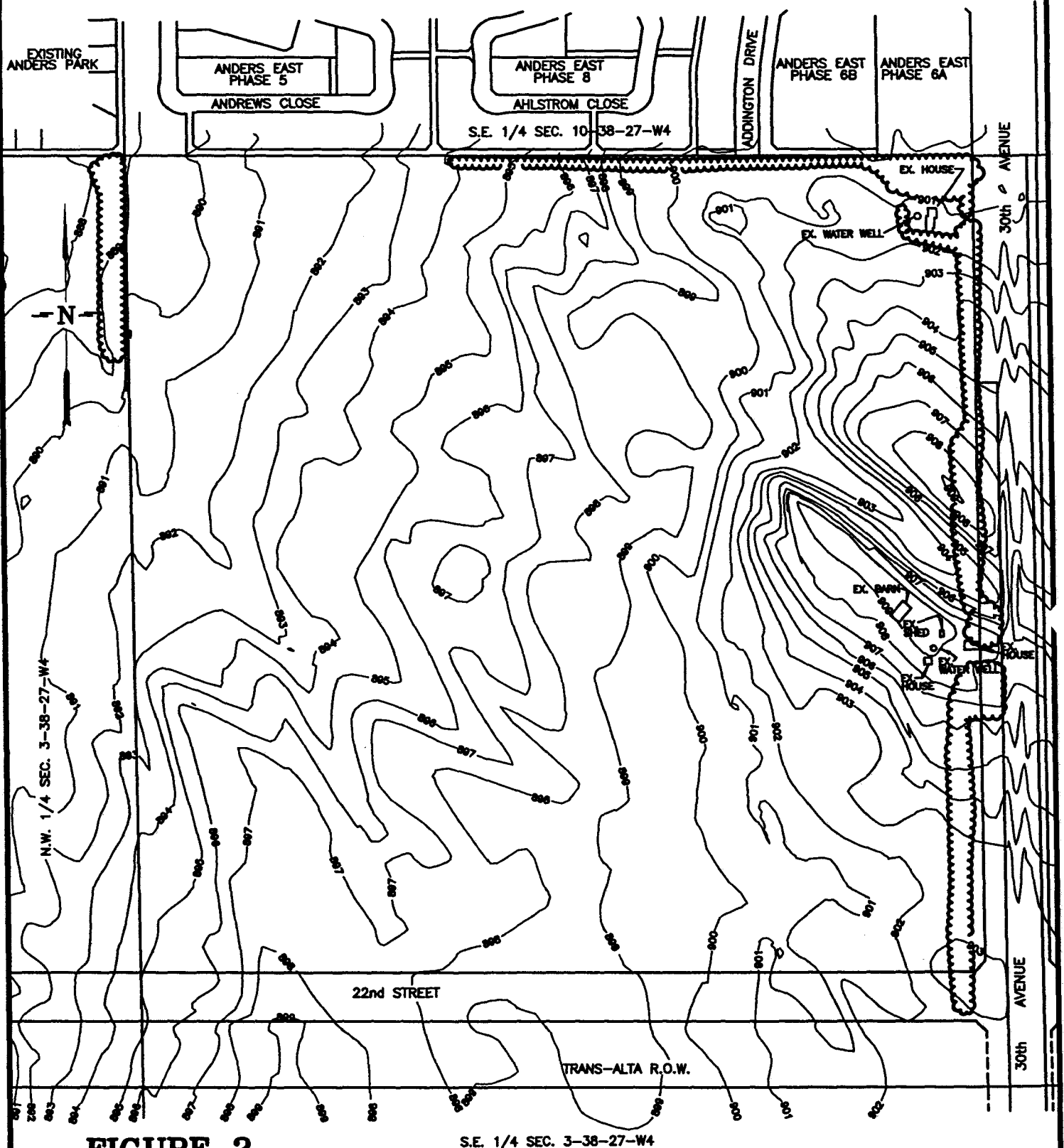
“to ensure that development on lands required for future urban development is restricted to ensure that future development may proceed in an orderly and well planned fashion, in keeping with the intent of the General Municipal Plan.”

A re-designation to appropriate urban land use districts is therefore required before any urban development can occur.

3.4 Land Form

The site generally slopes from east to northwest from an elevation of approximately 909.5m on the eastern edge to an elevation of 889.5m in the northwest corner (see Figure 2). A fairly prominent ridge is located in the east central portion of the site. There is also a significant row of trees along the eastern boundary of the site extending from section line at the north to the future 22nd Street right of way at the south. The recently completed Ecological Profile for the area identified the trees as a northwest poplar and caragana windbreak. Recommendation R5-a of the Profile states that all of the large poplar trees along the west side of 30th Avenue should be maintained.

ASPEN RIDGE NEIGHBOURHOOD AREA STRUCTURE PLAN



**FIGURE 2
SITE FEATURES**

LEGEND:

- 900 ——— ORIGINAL GROUND CONTOURS
- ORIGINAL TREELINE

SCALE 1:5000

REVISED APR 10/01

AL-TERRA
ENGINEERING LTD.

ENCLOSURE

RED LINE

The Profile also identifies a natural poplar windbreak along the north and west boundaries of the site. While recommendation R6-b recommends that the present natural stand of trees in the northeast corner be preserved, recommendation R6-a acknowledges that preservation of the windbreak trees along the west and north boundary is not possible due to servicing and development requirements.

Recommendation R7 also suggests that an attempt should be made to incorporate the landscaping and present trees around the existing two residences in a comprehensive housing development.

3.5 Access

Access to the site is presently available from 30th Avenue, and from the north/south collector stub from Avery Street. An ultimate access location to 30th Avenue has been established at approximately the midpoint along 30th Avenue.

3.6 Servicing

The site can be full-serviced with sewer, water and storm water utilities (assuming storm water management techniques are implemented) and shallow utilities from existing utilities immediately adjacent.

3.7 Environmental Considerations

A Phase 1 Environmental Site Assessment has been completed.

3.8 Existing Power Line

There is an existing TransAlta overhead power line right of way situated immediately to the south of subject parcel. This power line will remain in its present location.

3.9 Road Widening

A road widening of 20 metres is required along the eastern boundary of the subject site south of the 21 acre parcel (the 20m widening has already been provided adjacent the 21 acre parcel). This widening is required to provide the necessary right of way for the future arterial street.

A 37.5 metre right of way is required along the southern boundary of the site, adjacent to and north of the TransAlta right of way. The right of way is required for the future 22nd Street arterial. A reduction in right of way width from the typical 60 metres to 37.5 metres is possible because of the relationship to the power right of way, which can serve as the southerly buffer/berm.

4.0 DEVELOPMENT PROPOSAL

Based on the developer's intent, City policies, and site characteristics, a Neighbourhood Area

Structure Plan has been prepared for Aspen Ridge. The components of the Neighbourhood Area Structure Plan are development concept, density and population, open space, transportation, servicing and phasing.

4.1 Development Concept

The intent of the design of overall Aspen Ridge area is to provide a comprehensively planned residential community with an emphasis on integrating land uses, preserving existing trees and at the same time capitalizing on the potential of a good transportation infrastructure.

The Aspen Ridge Neighbourhood Area Structure Plan incorporates the policies contained in the East Hill Area Structure Plan and other City of Red Deer guideline and policy documents. The Plan, based to a large extent on the client's concept, is intended to provide the opportunity for a variety of residential product types. This is an especially important factor when considering the dynamics of the present day market.

The proposed Neighbourhood Area Structure Plan is contained in Figure 3.

4.2 Neighbourhood Structure

The plan places a possible emergency services/community facility, possible church site, and other possible public facilities such as the social care site at or near a future main entrance to the community. These neighbourhood amenities and the central neighbourhood park are intended to create the focus of the community and are therefore strategically located in terms of both vehicular and pedestrian networks.

Allowance is made in the plan for higher density housing in the northeast portion of the plan area adjacent to the amenity provided by the tree stand that is incorporated into the plan. It is anticipated that this residential cluster will be targeted toward the mature adult segment of the market with the intent to preserve most of the significant trees in the housing development.

A portion of the south east corner of the plan is set aside for a future commercial development at the intersection of 30th Avenue and the future 22nd Street.

Single family detached houses and possibly some semi-detached housing will be distributed throughout the remainder of the community. Although the vast majority of these units will be provided with rear lanes, a small percentage that back onto open space such as parks, storm retention facilities and the treed area will be laneless. As indicated in Figure 3, a portion of the lots is intended to accommodate 2 storey residences with walkout basement.

The lot size, which will be determined at the subdivision stage, is intended to vary in width, thus encouraging a variety of residential building product.

4.3 Land Use Distribution

Aspen Ridge is a comprehensively planned residential community consisting of residential and ancillary land uses. Table 1 below outlines the land use distribution.

Table 1 - Neighbourhood Area Structure Plan Statistics

Land Use	Acres	Hectares	Percentage
Single Family Detached (R1)	57.12	23.115	38.4%
Single Family Detached - Narrow (R1-N)	2.68	1.086	1.8%
Duplex Lots (R1-A)	11.24	4.547	7.5%
Residential – Multi-family (R2/R3)	9.20	3.724	6.2%
Residential – Multi-family (R2)	7.32	2.964	4.9%
Church Site/Duplex Site (R1-A)	1.64	0.664	1.1%
Day Care/Social Care Residence/Retirement Home (R1)	0.27	0.109	0.2%
Commercial Site (C2)	7.41	3.000	5.0%
Emergency Services / Community Facility/Duplex Site (PS/R1-A)	0.93	0.374	0.6%
School Site, Park & Walkways (PS)	11.13	4.505	7.5%
Storm Detention Pond	2.51	1.016	1.7%
Treed along 30th Avenue (P1)	3.92	1.586	2.6%
Public Utility Lots	0.93	0.374	0.6%
Streets and Lanes	32.58	13.185	21.9%
TOTAL DEVELOPABLE AREA	148.88	60.249	100.0%

Table 1 illustrates that 58.8 per cent of the Neighbourhood Area Structure Plan Area is for residential uses, 12.4 per cent for treed areas and open space including a storm detention pond, 21.9 per cent is dedicated for streets and lanes, 5.0 per cent for commercial development and the balance for other related uses.

4.4 Residential

The low density residential areas are proposed for predominately R1 single detached dwellings, a portion R1-A which may accommodate semi detached dwellings as well as detached dwellings, and a small number of R1-N single detached dwellings.

The residential (R2 and R2/R3) medium density area in the northeast portion of the Neighbourhood Area Structure Plan is proposed for a mix of product type. The R2 units consist of 64 fourplex units and 99 units in an apartment style senior's community. The R2/R3 units consist of 116 typical condominium units.

Multi-family units are often assumed to have two or more bedrooms. Under this scenario, the typical allowance for persons per unit would be 3.0. However, the senior's apartment complex, containing 99 units will not have a population density of 3.0 persons per unit. Instead, we have used a multi family/townhouse number of 2.2 persons per unit.

The resulting estimated population density calculation is summarized in Table 2 as follows:

Table 2 - Estimated Population Density

Land Use	Number of Dwelling Units	Number of Persons Per Unit	Total Population
Single Family - R1	359	3.4	1,221
Single Family - R1-N	25	3.4	85
Duplex - R1-A	156	3.3	515
Multi Family - R2/R3	180	3.0	540
Multi Family - R2	99	2.2	218.0
Totals:	819	-	2,579.0

Population density: $2579.0 \div 57.249\text{Ha} = 45.0$ persons per hectare

This density is within the allowable limit of 45 persons per hectare.

As illustrated in Table 2, the Neighbourhood Area Structure Plan, depending upon the actual lot size and land use, is anticipated to accommodate approximately 819 dwelling units and a population of approximately 2579 persons. Given this estimated unit count, the overall density for the Area Structure Plan Area is approximately 5.8 units per gross acre, and 45.0 Persons/Developable Hectare, with the commercial site area removed from the gross areas.

4.5 Open Space

The key components of the Open Space provisions in the Neighbourhood Area Structure Plan are discussed below, followed by a statement of municipal reserve calculations.

- Components

The components of the proposed Aspen Ridge open space which are cited below, include a neighbourhood school and park centre, east side linear park, and a dry storm retention facility.

a) Neighbourhood School and Park Facility

A 10.6 acre (4.29 ha) central neighbourhood school and park site is provided in the location indicated in the East Hills Area Structure Plan.

b) Linear Park

A 3.92 acre (1.59 ha) north south linear park, ranging from 13 to 30 metres in width, is proposed along the eastern edge of the quarter. The primary purpose for this park is to retain the existing tree stand.

A small 20 foot (6m) wide municipal reserve strip connects to the major linear park. In addition to providing this connection, this strip will serve to separate the rear of the residential lots and the collector roadway.

c) Storm Detention Facility

A storm detention facility is proposed to be part of the overall central park site. The total detention pond area is 4.99 acres (2.02 Hectares) of which 2.47 acres (1 Hectare) is municipal reserve.

- **Municipal Reserve**

In order to realize the open space network illustrated in the Plan, there will be a municipal reserve dedication of 15.05 acres (6.09 ha) which is 10.11 per cent of the developable area. This dedicated municipal reserve is comprised of the following elements:

	Acres (+/-)	Ha (+/-)
• Neighbourhood school and park	10.60	4.29
• Local Parks	0.53	0.22
• Linear Park (treed area)	3.92	1.59

4.6 Public Facilities

The Plan provides for a possible emergency services/community facility site, a church site, and a social care site.

4.7 Environmental Considerations

As indicated in Section 3.4 of this report and illustrated in Figure 2, the Ecological Profile Report for southeast Red Deer identifies the larger poplar trees along 30th Avenue and in the northeast corner as a Priority "A" for preservation. Most of the trees are included in the proposed municipal reserve strip. The remainder, where possible, will be incorporated in the development of the site. In addition, Recommendation R5-b of the Ecological Profile indicates that a 2.5 metre walking/biking trail be established along the west side of 30th Avenue. The Plan endeavours to accommodate these recommendations.

4.8 Commercial Site

The south east corner of the plan, as previously mentioned, shows a 7.41 acre (3.0 Ha) area set aside for commercial development (to be classified as C2). This area is a proposed location for a District Shopping Centre serving the surrounding community, and will be a major asset to the Aspen Ridge Plan. It will offer a close and convenient opportunity for residents in the area to do their grocery shopping. The proposed accesses for this development are full left-turn, right-turn from 22nd Street and a right-in, right-out entry from 30th Avenue (the City of Red Deer's Recreation, Parks and Culture Department has approved minimal tree removal for this purpose, providing that they are onsite during any tree removal. Adjacent natural vegetation will be preserved. The vegetation that is removed will be compensated by additional landscaping within the Commercial Site). With these entry points from the arterial roads, the traffic generated by the commercial development will have a minimum of impact on the residential areas. As well, the major walkway routes coupled with a short walk connection will allow pedestrian access to the shopping centre from within the neighbourhood.

5.0 TRANSPORTATION

5.1 Traffic Circulation Pattern

The traffic circulation pattern proposed in the Neighbourhood Area Structure Plan conforms to the East Hill Area Structure Plan. At some point in the future, there will be one arterial roadway, and one major collector roadway adjacent to the quarter section:

- 30th Avenue, along the east boundary of the quarter section will be an arterial roadway
- 22nd Street, along the south boundary of the quarter section will be a major collector roadway

Funds for construction of both roadways will come from the City of Red Deer off site levy fund.

Figure 3 illustrates the proposed roadway pattern for the subject quarter section. As illustrated, a looped collector road, Addington Drive, will extend from the Anders East quarter section, through the subject lands, and into the Anders On The Lake quarter section, which is located directly west of the subject quarter section. Collector roads will connect Addington Drive to 30th Avenue, and Addington Drive to 22nd Street.

30th Avenue currently exists as a four lane divided arterial cross section, to just past the mid point of Aspen Ridge quarter section, at Averill Street, tapering to a paved two lane rural cross section at the future 22nd Street intersection. 22nd Street is currently just a cultivated area.

Access to the subject lands for the first few phases of development will come from the Addington Drive collector road, located within Anders East, and from 30th Avenue. The primary access for the district shopping centre will come from 22nd Street.

For the P-loops, and long cul-de-sacs, accesses with medians are proposed to provide a divided access, in case of emergencies, where one side of the access is blocked by an obstruction.

5.2 Pedestrian Circulation Patterns

Figure 3 illustrates a continuous integrated pedestrian system throughout the quarter section, and along 30th Avenue and 22nd Street. Figure 4 illustrates the cross sectional details for the collector roadways. As illustrated on Figure 4:

- A 2.5 metre wide monolithic sidewalk will be installed along the east side of Addington Drive to where Addington Drive intersects with the collector roadway going south to 22nd Street. A 1.5 metre monolithic sidewalk will be installed along the west and north side of Addington Drive.
- A 2.5 metre wide monolithic sidewalk will be installed along the south side of the collector road extending from Addington Drive to 30th Avenue. A 1.5 metre monolithic sidewalk would be installed on the north side of this collector road.
- A 2.5 metre wide monolithic sidewalk will be installed along the east side of the collector roadway extending from Addington Drive to 22nd Street.
- As part of the arterial road construction for 30th Avenue, the pedestrian linkage will be continued along the west side of 30th Avenue. As part of the major collector road construction for 22nd Street, a 2.5m wide asphalt or concrete pedestrian linkage will be installed within the TransAlta right of way. The proposed locations are illustrated on Figure 3.

Two minor pedestrian linkages are illustrated on Figure 3. The first provides continuity along Addington Drive west to the collector road that connects Addington Drive to 22nd Street. The second provides a connection from Averill Street to the commercial site.

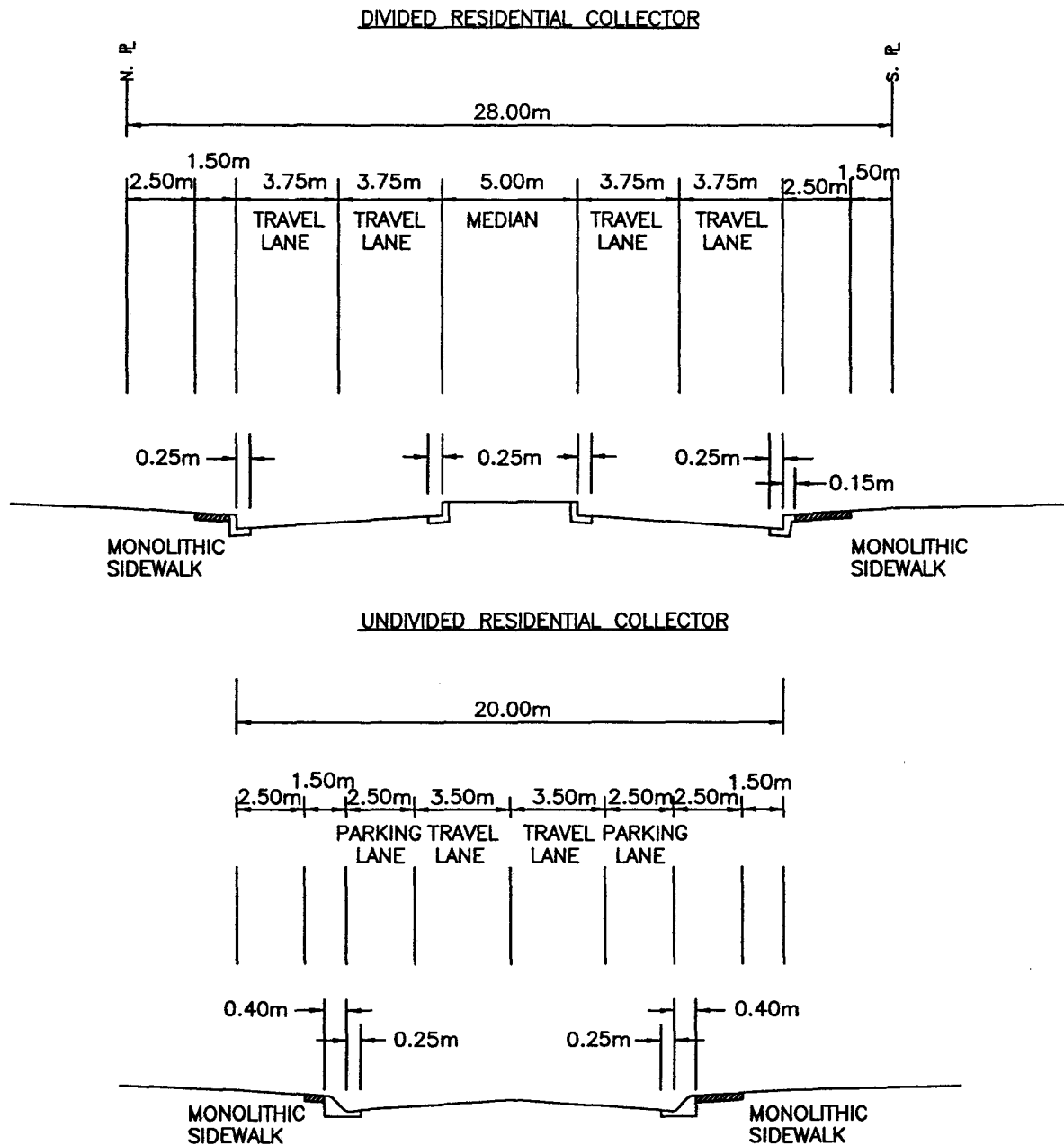
The pedestrian linkage system illustrated on the Neighbourhood Area Structure Plan connects key neighbourhood elements and will enable residents to walk, run or ride bicycles through the community on a system of paths in open spaces or on boulevard walks that are separate from the roadways.

The pedestrian movement patterns are designed for both internal and external flows.

6.0 MUNICIPAL SERVICING

Most of the municipal services required to service this quarter section are existing. The exception is the storm trunk system. The remaining services are a direct extension of services located along the north boundary of the quarter section.

ASPEN RIDGE OUTLINE PLAN



NOTE: THE 2.5m MONOLITHIC SIDEWALK WILL BE LOCATED ALONG THE EAST AND NORTH SIDES OF ADDINGTON DRIVE, ALONG THE SOUTH SIDE OF THE COLLECTOR ROAD TO 30th AVENUE, AND ALONG THE EAST SIDE OF THE COLLECTOR ROAD TO 22nd STREET.

FIGURE 4
DIVIDED AND UNDIVIDED RESIDENTIAL
COLLECTOR ROADWAY DETAIL

PREPARED BY:

AL-TERRA

ENGINEERING LTD.

REVISED: SEPT 27/2002
REVISED: MAR 13/2001

EDMONTON

RED DEER

6.1 Storm Sewer System

The existing storm trunk system, which is routed through the Anders East quarter section, has capacity for 17.0 hectares of the subject quarter section. The remaining storm drainage, from the remainder of the quarter section, and the adjacent arterial roadways, must be routed to the storm detention pond located north of Addington Drive, toward the west side of the quarter section. The storm detention pond is combined with the neighbourhood school and park. From this storm detention pond, the allowable discharge will be routed westward, through storm sewer mains, ultimately to Piper Creek. The allowable discharge is as follows:

- 0.0013 cu.m/sec/ha for the 1 in 5 year storm
- 0.0036 cu.m/sec/ha for the 1 in 100 year storm event.

Approximately 46 hectares of land will drain into this storm detention pond. The pond must be sized to accommodate the runoff from a one in 100 year storm. The storage volume required in the detention pond, to accommodate this runoff, is approximately 27,000 cubic metres.

6.1.1 Minor Drainage System

Figure 5 illustrates the conceptual layout for the storm sewer system. Runoff for storms up to a one in five year event will be handled via a gravity, piped system. Even for the one in five year storm event, some storm water storage is required in the Anders East storm detention pond, or in the detention pond located within the Aspen Ridge quarter section.

Consideration will be given to providing a weeping tile drainage system for all lots. The storm system design will be completed in accordance with the City of Red Deer Design Guidelines.

6.1.2 Major Overland Drainage System

The major overland drainage will exist regardless of whether or not it is designed for. When there is too much storm runoff for the piped system to handle, the runoff will flow overland along the easiest path available. This will occur when the storm is greater than a one in five year event.

To accommodate this situation, roads and lanes will be designed to route the overland flow to either the storm detention in the Anders East quarter section, or to the proposed storm detention pond in the Aspen Ridge quarter section. Some ponding will also occur within the roads, lanes and municipal reserve lots. The detailed design process will ensure that the major overland drainage system is designed in accordance with the City of Red Deer Design Guidelines.

The major overland drainage system is illustrated on Figure 6.

ASPEN RIDGE NEIGHBOURHOOD AREA STRUCTURE PLAN

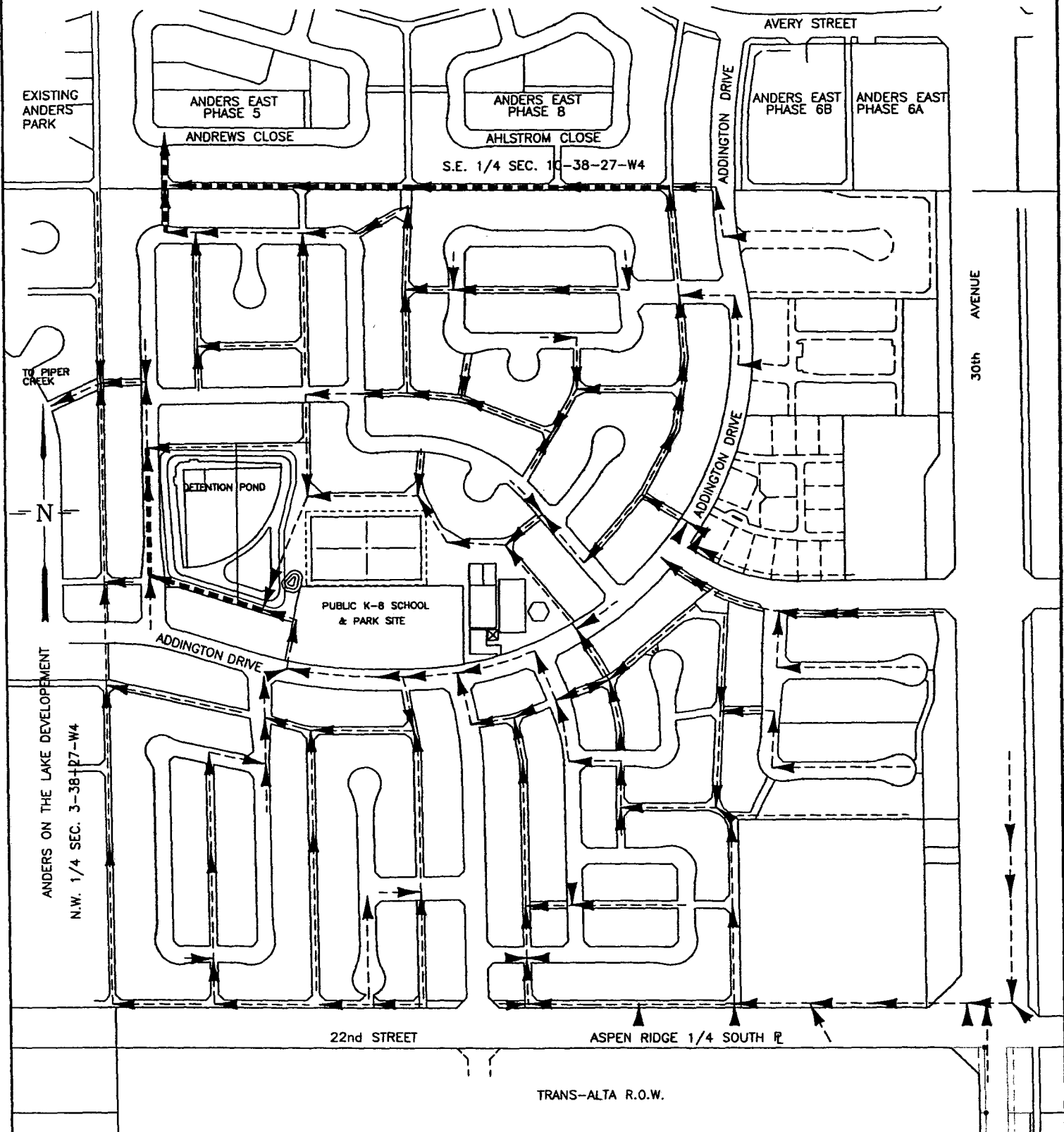


FIGURE 5 STORM SEWERS

SCALE 1:5000

REVISED: APR 10, 2001
REVISED: SEPT 13, 2002
REVISED: JAN 13, 2003
REVISED: FEB 12, 2003
REVISED: MAR 03, 2003

S.E. 1/4 SEC. 3-38-27-W4

LEGEND:

STORM TRUNK ————→
STORM SEWER - - - - -→

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RED DEER

6.1.3 Storm Detention Pond Cross Section

The City of Red Deer Recreation Parks and Culture Department requested that a cross section be provided to illustrate how the storm detention pond grades tie into the central park grades. Figure 6a illustrates this cross section and the location it is based on.

6.2 Sanitary Sewer System

The sanitary sewer system required to service the subject quarter section is a direct extension of the sanitary sewer system located within the Anders East quarter section, which is located directly to the north of the Aspen Ridge quarter section.

A 525 millimetre diameter sanitary sewer is stubbed into the northwest corner of the Aspen Ridge quarter section. The sanitary trunk system will be extended partially through the Aspen Ridge quarter section, and then will be routed westward, into the lane which abuts the west boundary of the Aspen Ridge quarter section. The sanitary sewer trunk will service this quarter section, and six additional quarter sections, located to the south, east and west of the Aspen Ridge quarter section. Figure 7 schematically illustrates the proposed layout for the sanitary sewer system. This drawing illustrates the proposed routing for the extension of the sanitary trunk system through the Aspen Ridge quarter section. It also illustrates the proposed location where the sanitary sewer force main will tie into the sanitary sewer trunk system. The sanitary sewer force main will extend from a sanitary lift station located on the NW ¼ Sec. 3-38-27-W4. This sanitary lift station will service four quarter sections of land located to the west and south of the Aspen Ridge quarter section.

All facilities required for the sanitary sewer system will be designed in accordance with City of Red Deer Design Guidelines.

6.3 Water Distribution System

The water distribution system required to service the Aspen Ridge quarter section is a direct extension of the water distribution system for the Anders East quarter section, located directly to the north. The largest water supply mains include:

- A 400 millimetre diameter water main stubbed off at the northwest corner of the quarter section. This water main will be extended along the west side of 30th Avenue.
- A 250 millimetre diameter water main which is existing or will be extended along the south property line of the Anders East quarter section.
- Water feeder mains will also be located along the north side of 22nd Street, and in the lane located adjacent to the west boundary of the Aspen Ridge quarter section.

ASPEN RIDGE NEIGHBOURHOOD AREA STRUCTURE PLAN

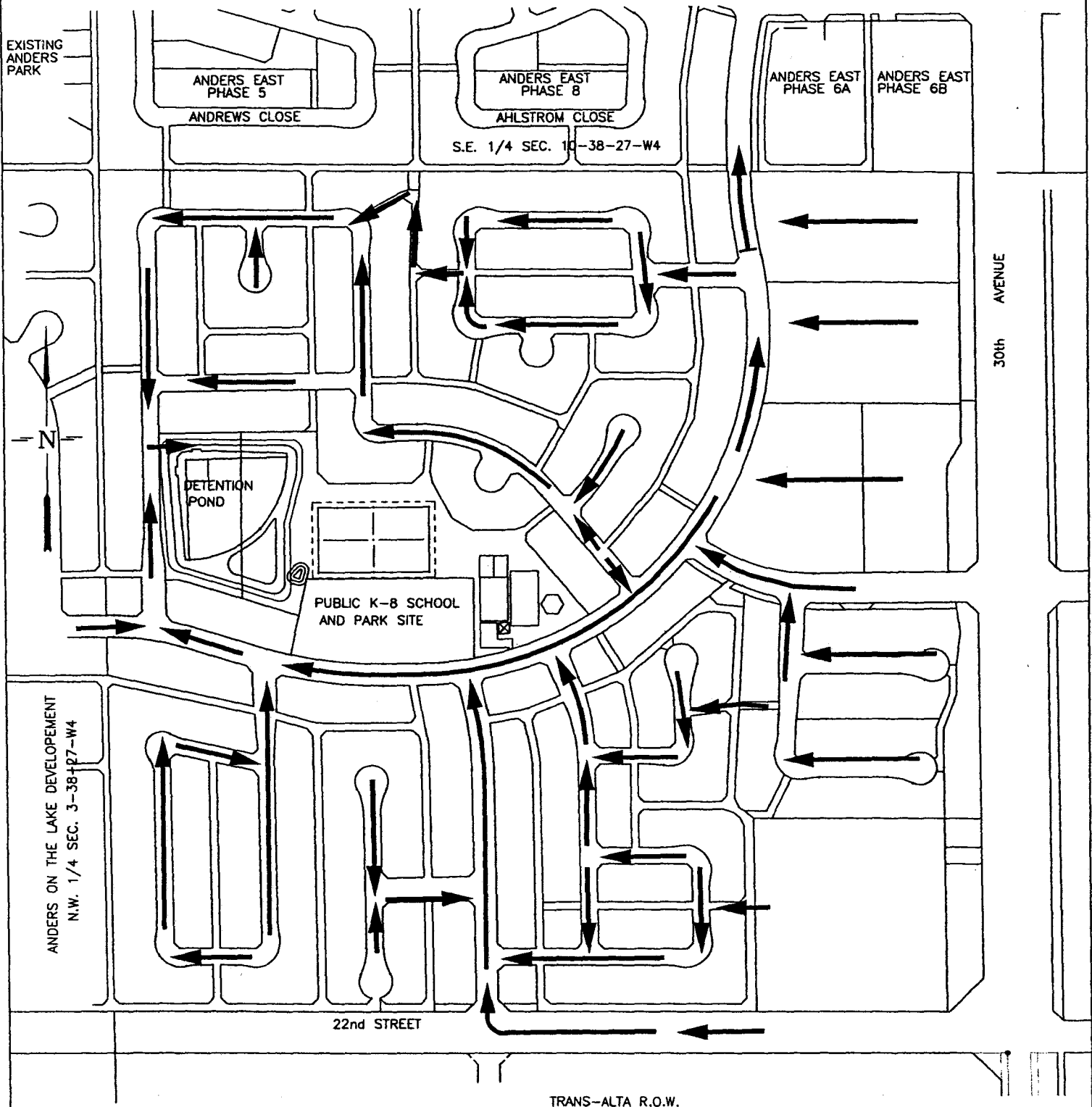


FIGURE 6
OVERLAND DRAINAGE
GREATER THAN 1:5
YEAR STORM EVENT

SCALE 1:5000

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 REVISED: SEPT 13, 2002
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 REVISED: FEB 12, 2003
 REVISED: MAR 03, 2003

S.E. 1/4 SEC. 3-38-27-W4

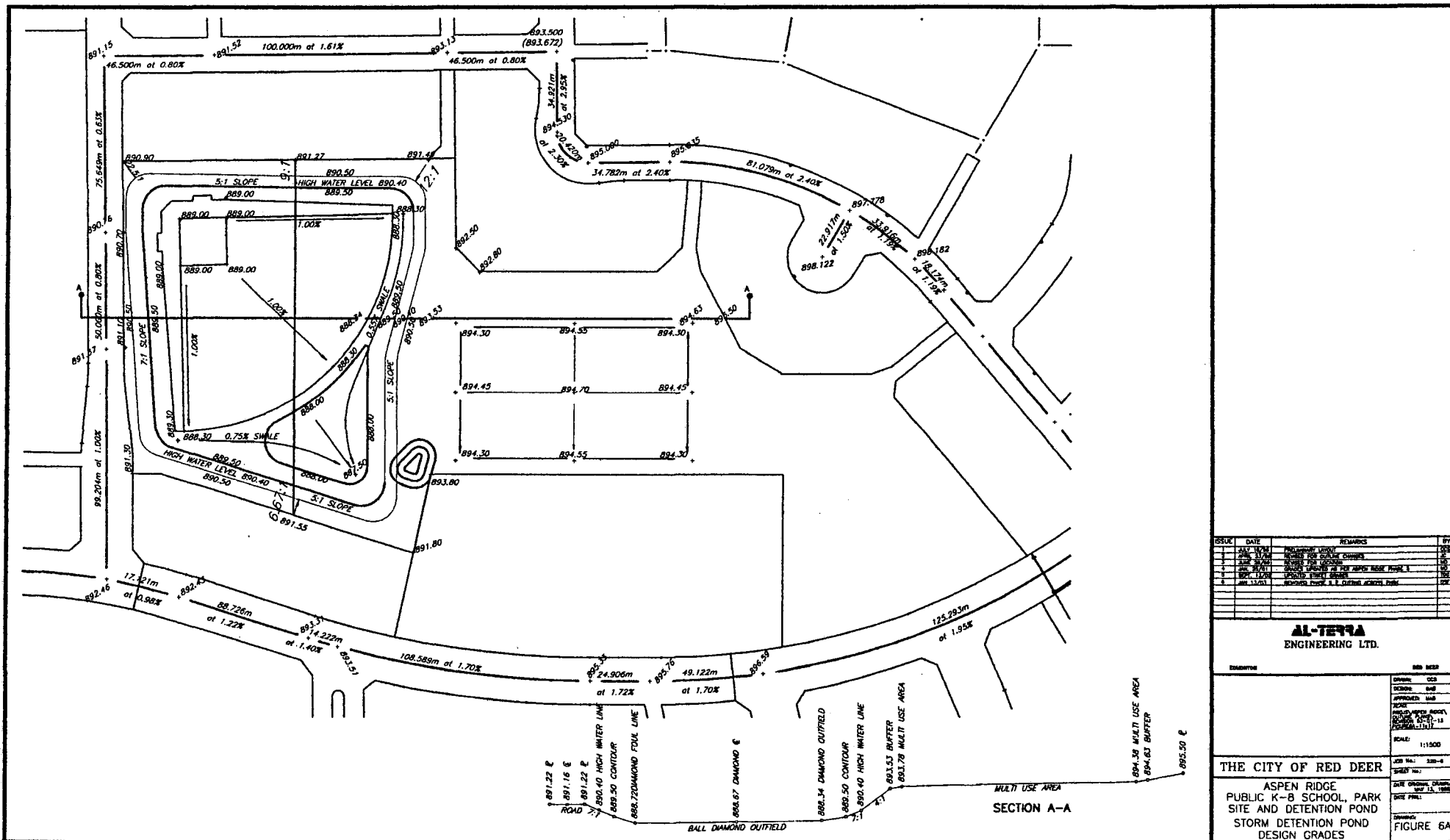
LEGEND:

← DIRECTION OF FLOW

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ISSUE	DATE	REMARKS	BY
1	JULY 1994	PROJECT START	CS
2	AUG 1994	DESIGN FOR CONCRETE CHANNELS	CS
3	SEP 1994	DESIGN FOR CONCRETE CHANNELS	CS
4	OCT 1994	DESIGN FOR CONCRETE CHANNELS	CS
5	NOV 1994	DESIGN FOR CONCRETE CHANNELS	CS
6	DEC 1994	DESIGN FOR CONCRETE CHANNELS	CS
7	JAN 1995	DESIGN FOR CONCRETE CHANNELS	CS
8	FEB 1995	DESIGN FOR CONCRETE CHANNELS	CS
9	MAR 1995	DESIGN FOR CONCRETE CHANNELS	CS
10	APR 1995	DESIGN FOR CONCRETE CHANNELS	CS
11	MAY 1995	DESIGN FOR CONCRETE CHANNELS	CS
12	JUN 1995	DESIGN FOR CONCRETE CHANNELS	CS

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DESCRIPTION	DATE	BY
DESIGNED	CS	CS
DRAWN	CS	CS
CHECKED	CS	CS
APPROVED	CS	CS
DATE	1994-11-11	
SCALE	1:1500	
JOB NO.	220-4	
SHEET NO.		
DATE	1994-11-11	
FIGURE	FIGURE 6A	

THE CITY OF RED DEER
ASPEN RIDGE
PUBLIC K-8 SCHOOL, PARK
SITE AND DETENTION POND
STORM DETENTION POND
DESIGN GRADES

ASPEN RIDGE NEIGHBOURHOOD AREA STRUCTURE PLAN

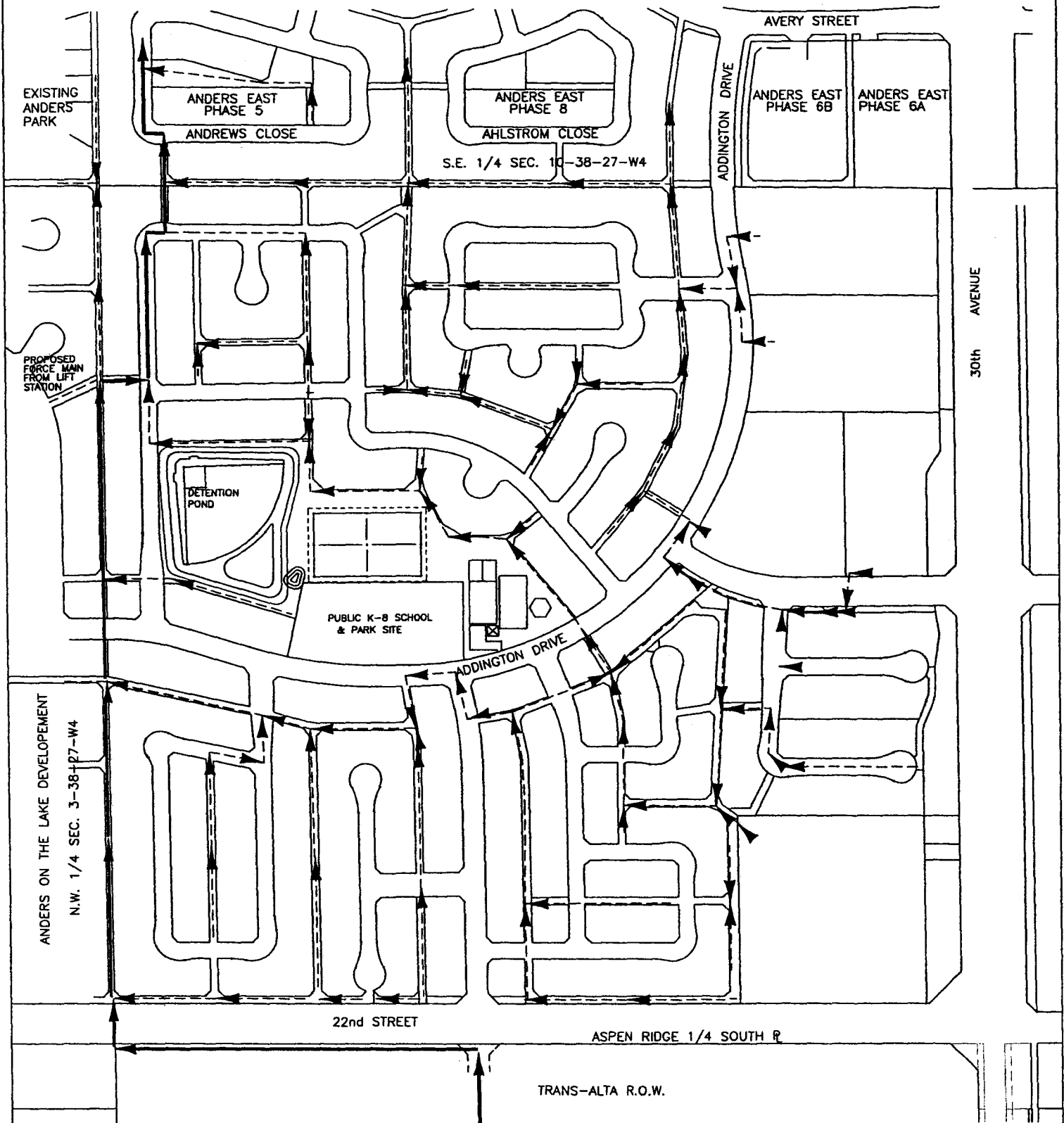


FIGURE 7
SANITARY SEWERS

SCALE 1:5000

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REVISED: SEPT 13, 2002
REVISED: JAN 13, 2003
REVISED: FEB 12, 2003
REVISED: MAR 03, 2003

LEGEND:

SANITARY TRUNK —————→
200mm SANITARY - - - - ->

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Figure 8 conceptually illustrates the water feeder main routing, and the water distribution system for the quarter section. Computer modelling will be utilized to evaluate actual water main sizes within the quarter section.

All facilities for the water distribution system will be designed in accordance with City of Red Deer Design Guidelines.

6.4 Shallow Utilities

The City of Red Deer Electric Light and Power Department, Telus Corporation, Shaw Cable and Northwestern Utilities have been contacted regarding the subject quarter section. All of the franchise utilities have advised that there is adequate capacity to provide servicing in the general area. The utility companies will review and address the servicing alternatives in more detail during the circulation and review of the Neighbourhood Area Structure Plan.

7.0 REPORTS FROM SPECIALIZED CONSULTANTS

7.1 Geotechnical Report

The geotechnical report, prepared by Agra Earth & Environmental Ltd, was submitted to the City of Red Deer Engineering Department on April 03, 1998.

7.2 Phase 1 Environmental Site Assessment

The Phase 1 Environmental Assessment, prepared by Agra Earth & Environmental Ltd., was submitted to the City of Red Deer Engineering Department and Community Planning Services on April 07, 1998.

8.0 PHASING OF DEVELOPMENT

Figure 9 illustrates the proposed phasing for development. The present location of utilities dictates the first few phases of development. Market conditions will influence the actual phasing of later development.

ASPEN RIDGE NEIGHBOURHOOD AREA STRUCTURE PLAN

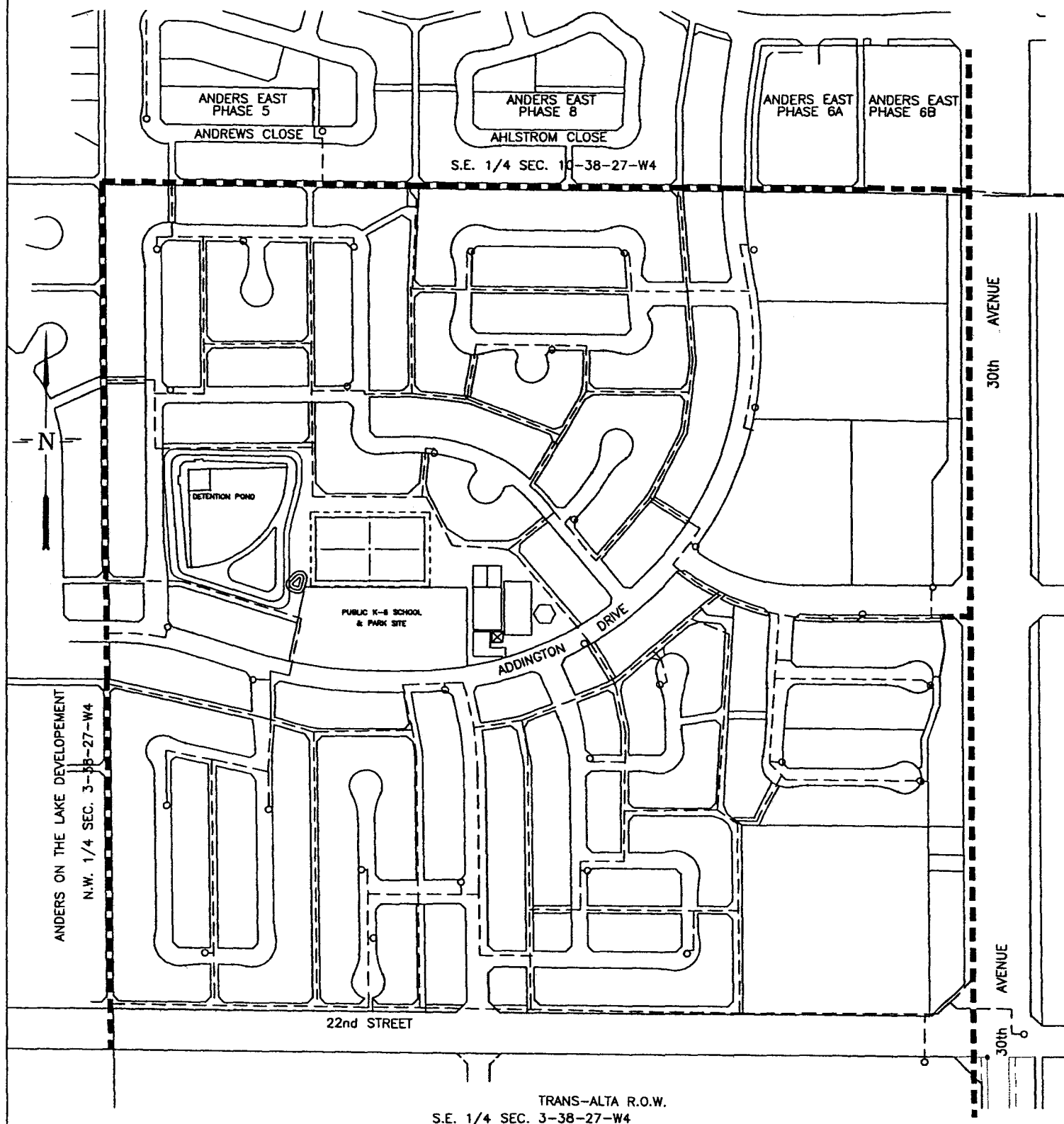


FIGURE 8
WATER DISTRIBUTION

SCALE 1:5000

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REVISED JAN 13, 2003
REVISED FEB 12, 2003
REVISED MAR 03, 2003

LEGEND

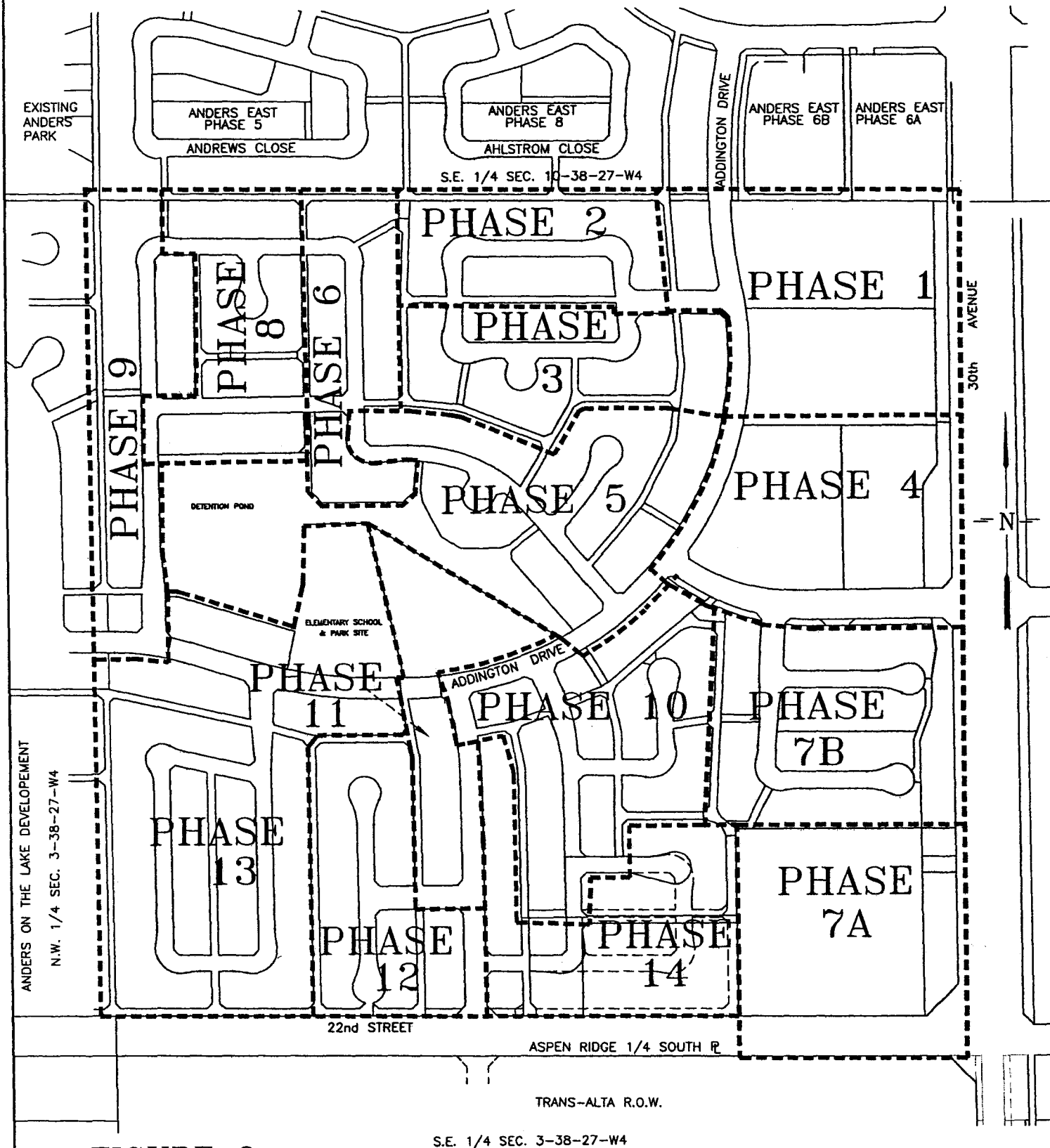
FEEDER WATER MAIN ————
WATER MAIN - - - - -
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ASPEN RIDGE NEIGHBOURHOOD AREA STRUCTURE PLAN



**FIGURE 9
PHASING CONCEPT**

SCALE 1:5000

REVISED: MAR 03, 2003
REVISED: FEB 12, 2003
REVISED: JAN 13, 2003
REVISED: NOV 14, 2002
REVISED: JUNE 25, 2002
REVISED: MAY 31, 2002

LEGEND:

PHASE BOUNDARY - - - - -

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F:\Projects\Aspen Ridge\OUTLINE PLANS\REVISION 03-03-03\Fig 9 - Phasing Concept.dwg

BYLAW NO. 3156/K-2003

Being a Bylaw to amend Bylaw No. 3156/96, the Land Use Bylaw of The City of Red Deer as described herein.

COUNCIL OF THE CITY OF RED DEER, ALBERTA, ENACTS AS FOLLOWS:

- 1 The "Use District Map J5" contained in "Schedule B" of the Land Use Bylaw is hereby amended in accordance with the Land Use District Map No. 9/2003 attached hereto and forming part of the bylaw.

READ A FIRST TIME IN OPEN COUNCIL this 24th day of March 2003.

READ A SECOND TIME IN OPEN COUNCIL this day of 2003.

READ A THIRD TIME IN OPEN COUNCIL this day of 2003.

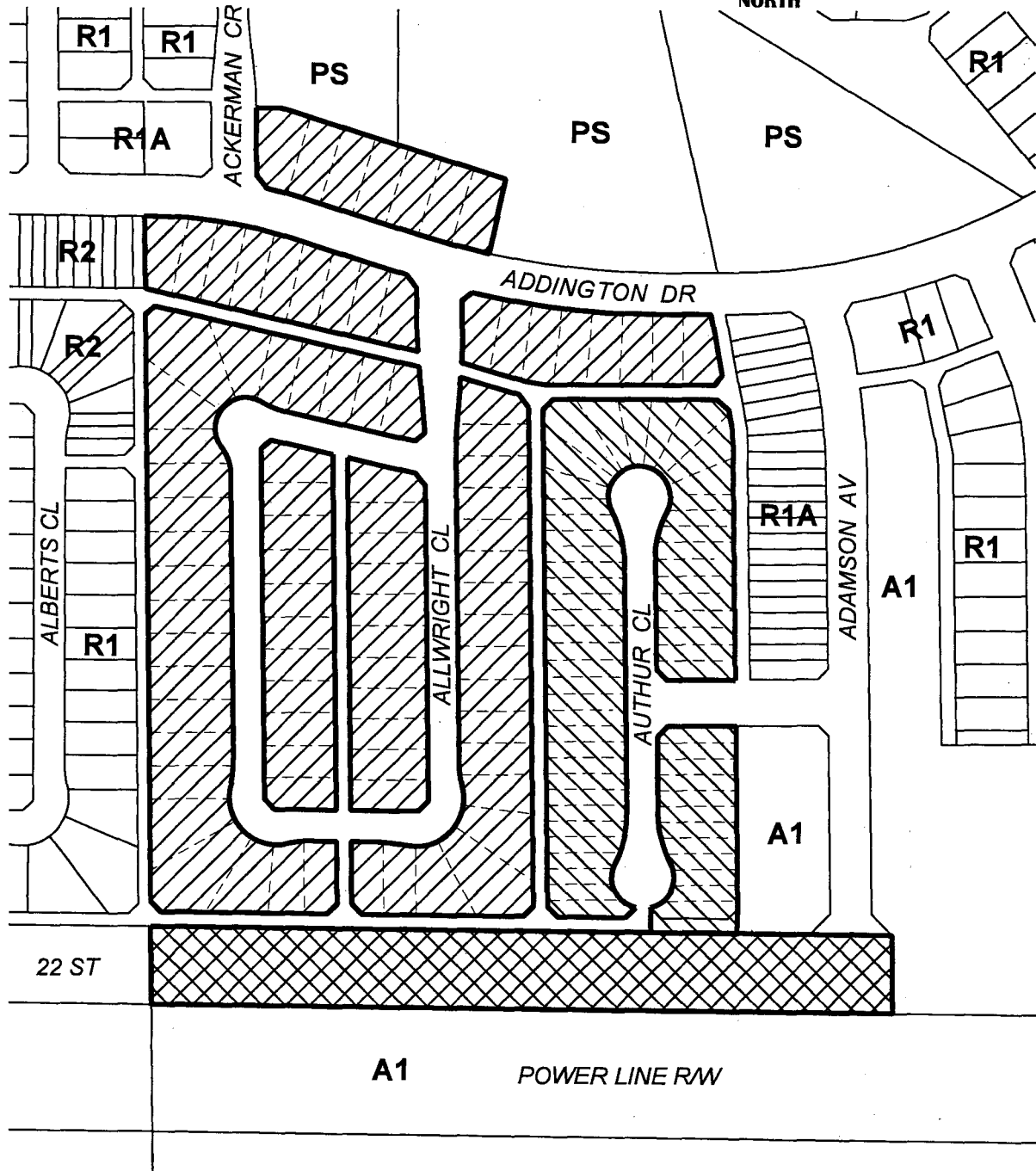
AND SIGNED BY THE MAYOR AND CITY CLERK this day of 2003.

MAYOR

CITY CLERK

The City of Red Deer

PROPOSED LAND USE BYLAW AMENDMENT



AFFECTED DISTRICTS:

A1 - Future Urban Development

R1 - Residential (Low Density)

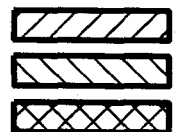
R1A - Residential (Semi-Detached Dwelling)

Change from :

A1 to R1

A1 to R1A

A1 to Road



MAP No. 9 / 2003

BYLAW No. 3156 / K - 2003

FILE



Council Decision – April 22, 2003

City Clerk's Department

DATE: April 23, 2003
TO: Tony Lindhout, Parkland Community Planning Services
FROM: Nona Housenga, Deputy City Clerk
SUBJECT: Aspen Ridge Neighbourhood
1) Neighbourhood Area Structure Plan Bylaw Amendment 3217/D-2003
2) Land Use Bylaw Amendment 3156/K-2003

Reference Report:

City Clerk, dated April 14, 2003 and Parkland Community Planning Services, dated March 18, 2003

Resolutions:

Resolved that Council of the City of Red Deer, agrees to amend Land Use Bylaw Amendment 3156/K-2003 be deleting Map No. 9/2003 and substituting it with the *revised* May 9/2003 as submitted to Council on April 22, 2003.

Bylaw Readings:

Neighbourhood Area Structure Plan Bylaw Amendment 3217/D-2003 was given second and third readings. Land Use Bylaw Amendment 3156/K-2003, as amended, was also given second and third readings. Copies of the bylaws are attached.

Report Back to Council: No

Comments/Further Action:

This office will amend the Land Use Bylaw and distribute copies in due course.

A handwritten signature in cursive script, appearing to read 'N. Housenga'.

Nona Housenga
Deputy City Clerk

/chk

attchs.

c Director of Development Services
 Inspections and Licensing Manager
 Land & Economic Development Manager
 City Assessor
 D. Kutinsky, Graphics Designer
 C. Adams, Administrative Assistant
 B. Greter, City Clerk's, Clerk Steno



FILE

CITY CLERK'S DEPARTMENT

April 23, 2003

Melcor Developments Ltd.
502, 4901 – 48 Street
Red Deer, AB T4N 6M4

Dear Sir:

Aspen Ridge Neighbourhood:

- (a) *Neighbourhood Area Structure Plan Amendment 3217/D-2003*
- (b) *Land Use Bylaw Amendment 3156/K-2003 – Phases 12 & 13*

At the City of Red Deer's Council Meeting held April 22, 2003, Public Hearings were held with respect to *Aspen Ridge Neighbourhood Area Structure Plan Amendment 3217/D-2003* and *Land Use Bylaw Amendment 3156/K-2003*. Following the Public Hearing, *Neighbourhood Area Structure Plan Amendment 3217/D-2003* and *Land Use Bylaw Amendment 3156/K-2003*, as amended, were given second and third readings. Copies of the bylaws are attached for your information.

Council passed the following resolution with respect to *Land Use Bylaw Amendment 3156/K-2003*:

Resolved that Council of the City of Red Deer, agrees to amend *Land Use Bylaw Amendment 3156/K-2003* be deleting Map No. 9/2003 and substituting it with the *revised* May 9/2003 as submitted to Council on April 22, 2003

Aspen Ridge Neighbourhood Area Structure Plan Amendment 3217/D-2003 provides for the following changes: rezoning of approximately 1.79 acres of land from R1A Residential (Semi-detached) development to R1 Residential (Single Family Detached), changing the proposed pedestrian boulevard/sidewalk configuration along Addington Drive, Averill Street and Adamson Avenue to a monolithic sidewalk/curb, deletion of a designated day care site at the south-west corner of Adamson Avenue/Addington Drive to permit development of this site at R1A Residential (Semi-detached) units, and the addition of a cul-de-sac and portion of lane on a previously designated church site to permit development of R1A Residential (Semi-detached) land use.

Land Use Bylaw Amendment 3156/K-2003 provides for the development of Phases 12 and 13 of the Aspen Ridge Neighbourhood. These phases will consist of 88 single family lots, 58 semi-detached lots and 1 future development lot that will be reserved for possible future emergency services site and/or other community facility. Approximately 10.0 ha (24.7 acres) of land will be rezoned from A1 Future Urban Development District to R1 Residential Low Density and R1A Residential (Semi-detached) Districts, including roadways, lanes and public utility lots.

..2/

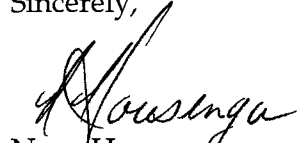
Melcor Developments

April 23, 2003

Page 2

Please do not hesitate to contact me should you have any questions or require further clarification.

Sincerely,

A handwritten signature in cursive script, appearing to read "N. Housenga".

Nona Housenga

Deputy City Clerk

c Parkland Community Planning Services
 C. Adams, Administrative Assistant

BYLAW NO. 3217/D-2003

Being a Bylaw to amend Bylaw No. 3217/98, the Bylaw adopting The City of Red Deer Neighbourhood Area Structure Plans, as described herein.

COUNCIL OF THE CITY OF RED DEER, ALBERTA, ENACTS AS FOLLOWS:

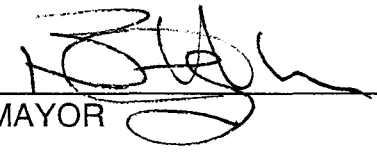
- 1 Bylaw 3217/98 with regard to the Anders Southeast (Aspen Ridge) Neighbourhood Area Structure Plan is amended by deleting therefrom the entire Anders Southeast (Aspen Ridge) Neighbourhood Area Structure Plan and substituting therefore, the attached amended Anders Southeast (Aspen Ridge) Neighbourhood Area Structure Plan, which forms part of this Bylaw.

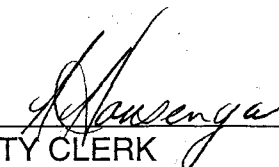
READ A FIRST TIME IN OPEN COUNCIL this 24th day of March 2003.

READ A SECOND TIME IN OPEN COUNCIL this 22nd day of April 2003.

READ A THIRD TIME IN OPEN COUNCIL this 22nd day of April 2003.

AND SIGNED BY THE MAYOR AND CITY CLERK this 22nd day of April 2003.


MAYOR


DEPUTY CITY CLERK

**NEIGHBOURHOOD AREA
STRUCTURE PLAN**

**ASPEN RIDGE
(ANDERS SOUTHEAST)**

NE 1/4 Section 3, Township 38
Range 27, West of 4

Prepared for:

Melcor Developments Ltd.

Prepared by:

Interplan Strategies Inc.

Al-Terra Engineering Ltd.

Revised February 12, 2003
March 3, 2003

97108

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1.0 INTRODUCTION AND PURPOSE

The subject site, Aspen Ridge, is located in southeast quadrant of the City at the intersection of 30th Avenue and 22nd Street (See Figure 1). To the north is the Anders East Outline Plan Area which is presently under development. To the west is the proposed Anders on the Lake Outline Plan area. To the east is the future 30th Avenue arterial road right of way and to the south the future 22nd Street undivided arterial road right of way.

The site is situated within the East Hill Area Structure Plan adopted by Council on April 20, 1998. The site, containing 160 acres (64.9 ha) more or less, is legally described as the NE ¼ Section 3, Township 38, Range 27, West of the 4th Meridian.

Al-Terra Engineering is hereby submitting, on behalf of Melcor Developments Ltd., an application for Neighbourhood Area Structure Plan approval for primarily residential and associated land uses. The plan submitted acknowledges the known edge conditions on all four sides of the site.

The following sections of this report discuss policy framework, site characteristics, proposed land uses, development densities, municipal reserve, and open space requirements, transportation considerations, proposed site servicing and development phasing.

2.0 POLICY FRAMEWORK

On April 20, 1998 City of Red Deer Council adopted the revised East Hill Area Structure Plan (Bylaw 3207/98). The Area Structure Plan allows for the primary use of land for residential purposes.

Other land uses indicated in the Area Structure Plan include a public elementary/middle school site in conjunction with a neighbourhood centre, a commercial site, and a fire hall site along 22nd Street. The road network shows both 30th Avenue on the east and 22nd Street on the south as arterial roads. The network also shows a collector street loop through the site connecting from Anders East on the north to the future Anders on the Lake to the west. Collector links to 30th Avenue and the future 22nd Street are also shown. The City of Red Deer has established the precise location for the intersection of the collector link with 30th Avenue.

The East Hill Area Structure Plan is implemented by Outline Plans for each quarter section.

Other City documents such as the Planning and Subdivision Guidelines, the Community Services Master Plan, Ecological Profiles and the Land Use Bylaw govern the more detailed elements of the planning process.

3.0 SITE CHARACTERISTICS

3.1 Legal Description and Ownership

The subject site is legally described as the NE ¼ Section 3, Township 38, Range 27 West of the 4th Meridian. The quarter section is comprised of two titles:

ASPEN RIDGE NEIGHBOURHOOD AREA STRUCTURE PLAN

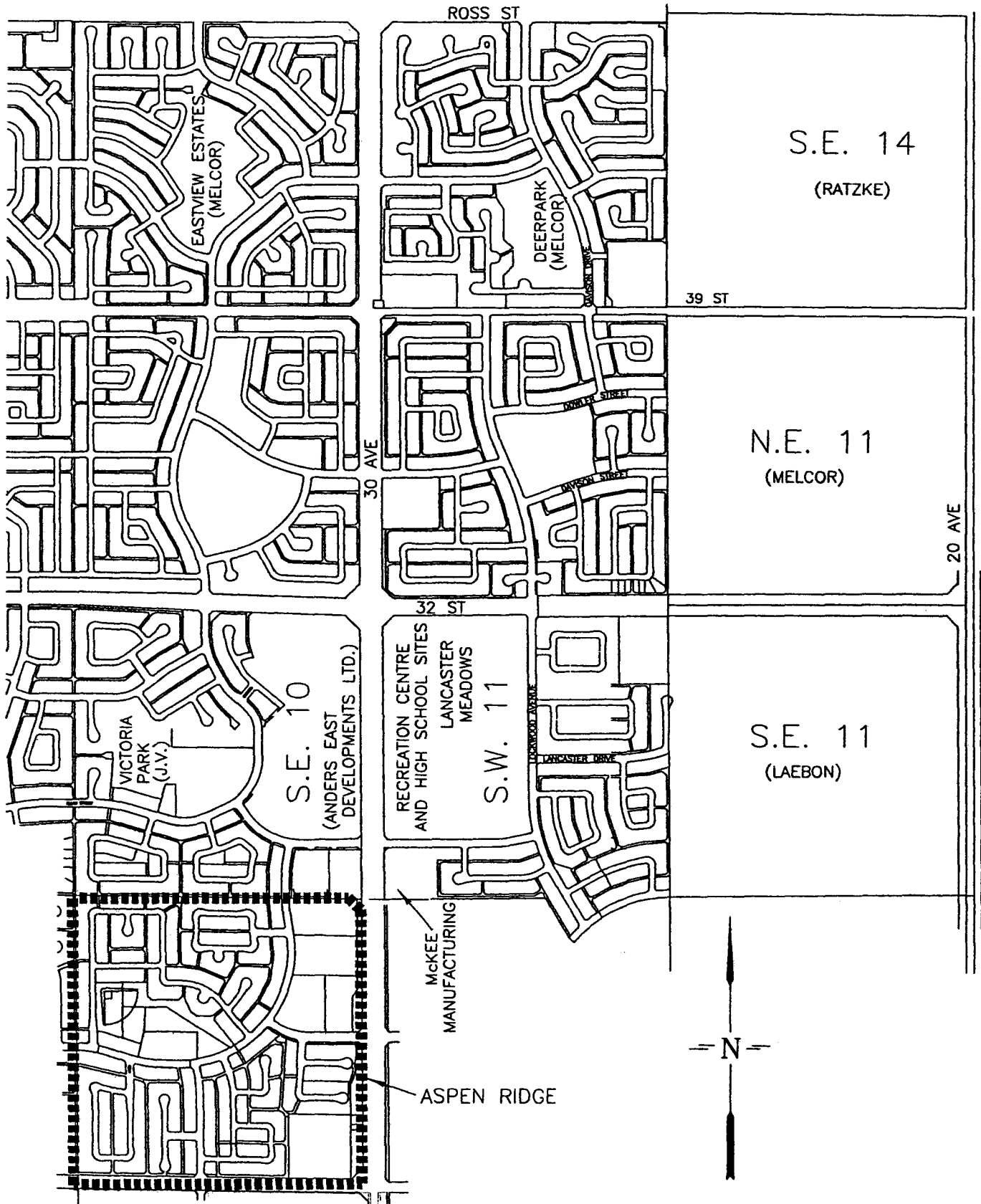


FIGURE 1
LOCATION

SCALE 1:15000
REVISED: MAR 03/03

CONCEPT BY:
INTERPLAN STRATEGIES INC.

PREPARED BY: **AL-TERRA**
ENGINEERING LTD.

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- A twenty-one acre parcel in the northeast corner, which was previously owned by five individuals, each with an undivided 1/5 interest. Melcor Developments Ltd. purchased this land parcel.
- The balance of the quarter section is owned by Melcor Developments Ltd.

The appropriate titles are included in Appendix 1.

3.2 Site Area

The site area is as follows:

Total Site	160.31 Ac (64.88 Ha)
Less – Major Road Widening	<u>(11.43 Ac) (4.63 Ha)</u>
Developable Area	148.88 Ac (60.25 Ha)

3.3 Existing Land Use

The subject site is presently under cultivation. There are two existing residences on the site. One is on the 21 acre parcel in the north east corner, the other is located further to the south.

The entire quarter section is presently designated A-1 Future Urban Development District by The City of Red Deer Land Use Bylaw No. 3156/96. The general purpose of this District is

“to ensure that development on lands required for future urban development is restricted to ensure that future development may proceed in an orderly and well planned fashion, in keeping with the intent of the General Municipal Plan.”

A re-designation to appropriate urban land use districts is therefore required before any urban development can occur.

3.4 Land Form

The site generally slopes from east to northwest from an elevation of approximately 909.5m on the eastern edge to an elevation of 889.5m in the northwest corner (see Figure 2). A fairly prominent ridge is located in the east central portion of the site. There is also a significant row of trees along the eastern boundary of the site extending from section line at the north to the future 22nd Street right of way at the south. The recently completed Ecological Profile for the area identified the trees as a northwest poplar and caragana windbreak. Recommendation R5-a of the Profile states that all of the large poplar trees along the west side of 30th Avenue should be maintained.

ASPEN RIDGE NEIGHBOURHOOD AREA STRUCTURE PLAN

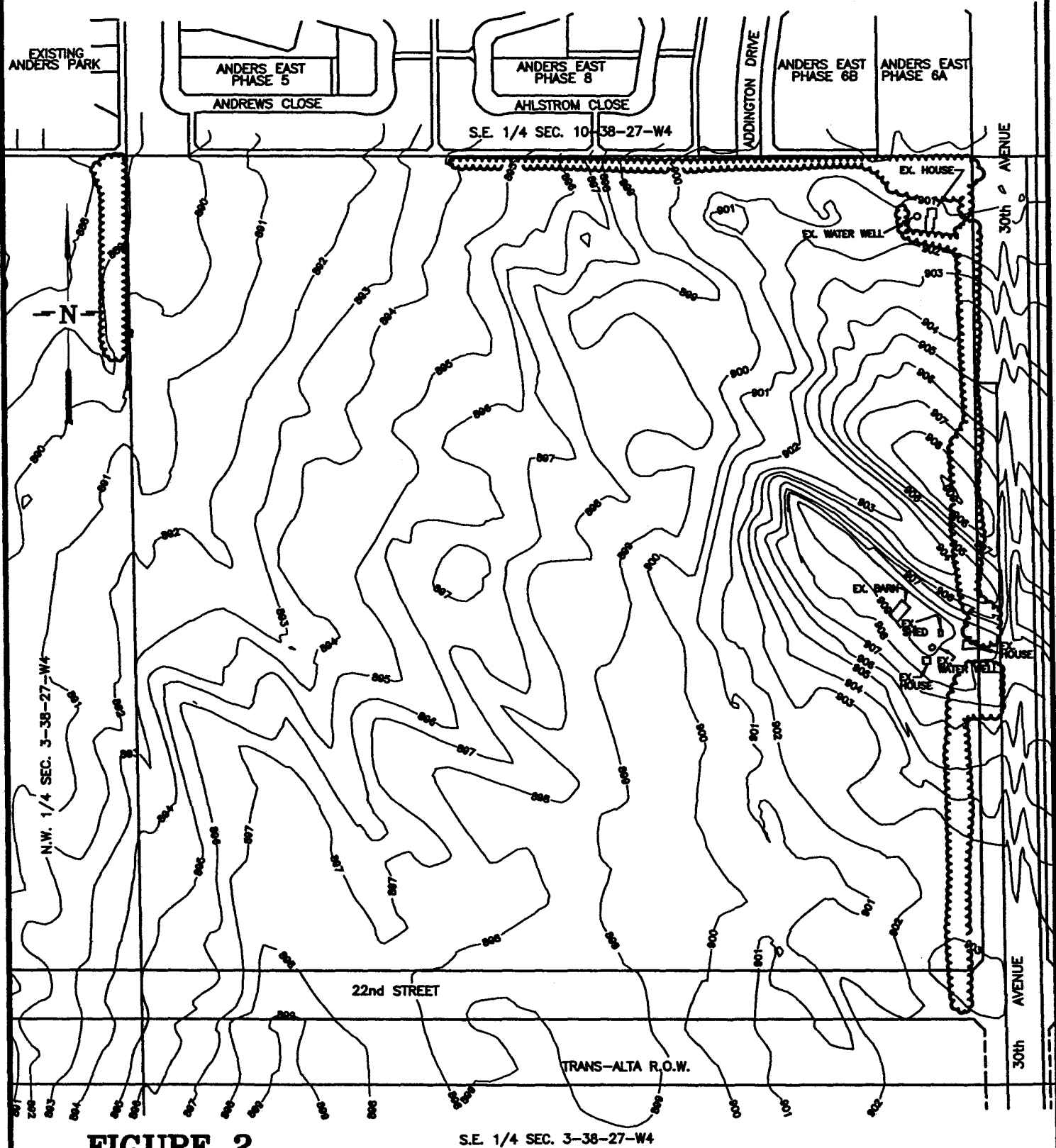


FIGURE 2 SITE FEATURES

LEGEND:

900  ORIGINAL GROUND CONTOURS
ORIGINAL TREELINE

SCALE 1:5000

REVISÉ APR 10/01

AL-TERRA
ENGINEERING LTD.

TRANSMISSION

WED 10:00

The Profile also identifies a natural poplar windbreak along the north and west boundaries of the site. While recommendation R6-b recommends that the present natural stand of trees in the northeast corner be preserved, recommendation R6-a acknowledges that preservation of the windbreak trees along the west and north boundary is not possible due to servicing and development requirements.

Recommendation R7 also suggests that an attempt should be made to incorporate the landscaping and present trees around the existing two residences in a comprehensive housing development.

3.5 Access

Access to the site is presently available from 30th Avenue, and from the north/south collector stub from Avery Street. An ultimate access location to 30th Avenue has been established at approximately the midpoint along 30th Avenue.

3.6 Servicing

The site can be full-serviced with sewer, water and storm water utilities (assuming storm water management techniques are implemented) and shallow utilities from existing utilities immediately adjacent.

3.7 Environmental Considerations

A Phase 1 Environmental Site Assessment has been completed.

3.8 Existing Power Line

There is an existing TransAlta overhead power line right of way situated immediately to the south of subject parcel. This power line will remain in its present location.

3.9 Road Widening

A road widening of 20 metres is required along the eastern boundary of the subject site south of the 21 acre parcel (the 20m widening has already been provided adjacent the 21 acre parcel). This widening is required to provide the necessary right of way for the future arterial street.

A 37.5 metre right of way is required along the southern boundary of the site, adjacent to and north of the TransAlta right of way. The right of way is required for the future 22nd Street arterial. A reduction in right of way width from the typical 60 metres to 37.5 metres is possible because of the relationship to the power right of way, which can serve as the southerly buffer/berm.

4.0 DEVELOPMENT PROPOSAL

Based on the developer's intent, City policies, and site characteristics, a Neighbourhood Area

Structure Plan has been prepared for Aspen Ridge. The components of the Neighbourhood Area Structure Plan are development concept, density and population, open space, transportation, servicing and phasing.

4.1 Development Concept

The intent of the design of overall Aspen Ridge area is to provide a comprehensively planned residential community with an emphasis on integrating land uses, preserving existing trees and at the same time capitalizing on the potential of a good transportation infrastructure.

The Aspen Ridge Neighbourhood Area Structure Plan incorporates the policies contained in the East Hill Area Structure Plan and other City of Red Deer guideline and policy documents. The Plan, based to a large extent on the client's concept, is intended to provide the opportunity for a variety of residential product types. This is an especially important factor when considering the dynamics of the present day market.

The proposed Neighbourhood Area Structure Plan is contained in Figure 3.

4.2 Neighbourhood Structure

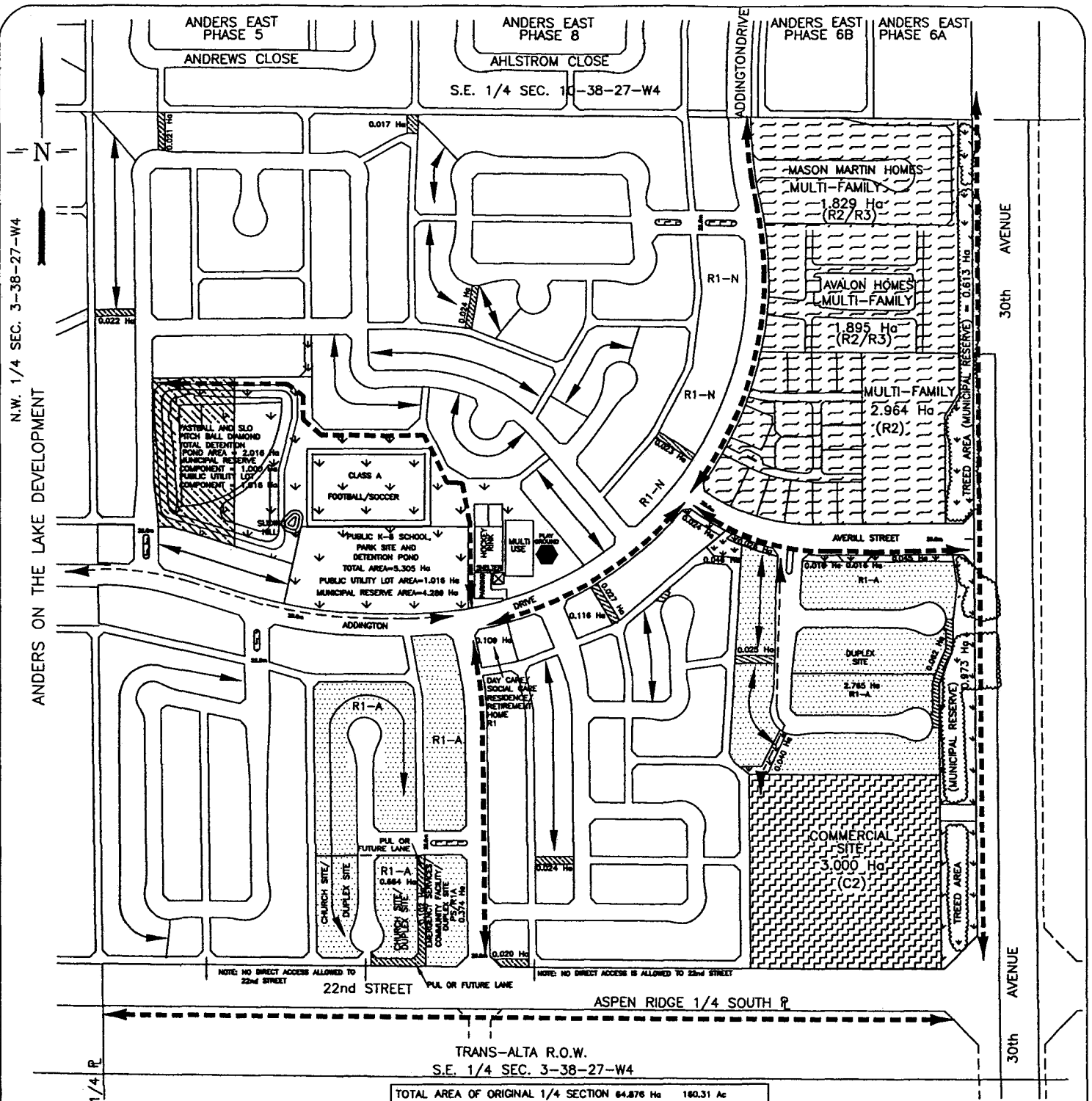
The plan places a possible emergency services/community facility, possible church site, and other possible public facilities such as the social care site at or near a future main entrance to the community. These neighbourhood amenities and the central neighbourhood park are intended to create the focus of the community and are therefore strategically located in terms of both vehicular and pedestrian networks.

Allowance is made in the plan for higher density housing in the northeast portion of the plan area adjacent to the amenity provided by the tree stand that is incorporated into the plan. It is anticipated that this residential cluster will be targeted toward the mature adult segment of the market with the intent to preserve most of the significant trees in the housing development.

A portion of the south east corner of the plan is set aside for a future commercial development at the intersection of 30th Avenue and the future 22nd Street.

Single family detached houses and possibly some semi-detached housing will be distributed throughout the remainder of the community. Although the vast majority of these units will be provided with rear lanes, a small percentage that back onto open space such as parks, storm retention facilities and the treed area will be laneless. As indicated in Figure 3, a portion of the lots is intended to accommodate 2 storey residences with walkout basement.

The lot size, which will be determined at the subdivision stage, is intended to vary in width, thus encouraging a variety of residential building product.



LEGEND:

- TWO STOREY RESIDENTIAL WITH WALKOUT BASEMENTS PERMITTED
- SINGLE FAMILY
- MULTI-FAMILY
- DUPLEX
- COMMERCIAL
- PUBLIC UTILITY LOTS
- SCHOOL, PARKS, AND PUBLIC OPEN SPACE
- MINOR PEDESTRIAN WALKWAYS AND BIKE PATHS
- MAIN PEDESTRIAN WALKWAYS AND BIKE PATHS
- CHILDREN'S PLAYGROUND

TOTAL AREA OF ORIGINAL 1/4 SECTION	64.876 Ha	160.31 Ac	
22nd STREET AND 30th AVENUE WIDENING	4.627 Ha	11.43 Ac	
DEVELOPABLE AREA	60.249 Ha	148.88 Ac	100%
SINGLE FAMILY- DETACHED (R1)	23.115 Ha	57.12 Ac	38.4%
SINGLE FAMILY- NARROW (R1-N)	1.068 Ha	2.68 Ac	1.8%
DUPLEX LOTS (R1-A)	4.547 Ha	11.24 Ac	7.5%
MULTIPLE FAMILY (R2/R3)	3.724 Ha	9.20 Ac	6.2%
MULTIPLE FAMILY (R2)	2.964 Ha	7.32 Ac	4.9%
CHURCH SITE/DUPLEX SITE (R1-A)	0.664 Ha	1.64 Ac	1.1%
DAY CARE/ SOCIAL CARE RESIDENCE/ RETIREMENT HOME (R1)	0.109 Ha	0.27 Ac	0.2%
COMMERCIAL (C2)	3.000 Ha	7.41 Ac	5.0%
EMERGENCY SERVICES/COMMUNITY FACILITY/ DUPLEX SITE (PS/R1-A)	0.374 Ha	0.93 Ac	0.6%
PUBLIC K-8 SCHOOL, PARK AND WALKWAYS (PS)	4.505 Ha	11.13 Ac	7.5%
TREED AREA ALONG 30th AVENUE (P1)	1.588 Ha	3.92 Ac	2.6%
STORM DETENTION POND (PS)	1.018 Ha	2.51 Ac	1.7%
PUBLIC UTILITY LOTS	0.374 Ha	0.93 Ac	0.6%
ROADS	13.185 Ha	32.58 Ac	21.9%
COLLECTOR	3.211 Ha	7.93 Ac	
RESIDENTIAL	7.194 Ha	17.79 Ac	
LANES	2.780 Ha	6.87 Ac	

FIGURE 3 DEVELOPMENT CONCEPT

SCALE 1:5000

REVISED MAR 03/03

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4.3 Land Use Distribution

Aspen Ridge is a comprehensively planned residential community consisting of residential and ancillary land uses. Table 1 below outlines the land use distribution.

Table 1 - Neighbourhood Area Structure Plan Statistics

Land Use	Acres	Hectares	Percentage
Single Family Detached (R1)	57.12	23.115	38.4%
Single Family Detached - Narrow (R1-N)	2.68	1.086	1.8%
Duplex Lots (R1-A)	11.24	4.547	7.5%
Residential – Multi-family (R2/R3)	9.20	3.724	6.2%
Residential – Multi-family (R2)	7.32	2.964	4.9%
Church Site/Duplex Site (R1-A)	1.64	0.664	1.1%
Day Care/Social Care Residence/Retirement Home (R1)	0.27	0.109	0.2%
Commercial Site (C2)	7.41	3.000	5.0%
Emergency Services / Community Facility/Duplex Site (PS/R1-A)	0.93	0.374	0.6%
School Site, Park & Walkways (PS)	11.13	4.505	7.5%
Storm Detention Pond	2.51	1.016	1.7%
Treed along 30th Avenue (P1)	3.92	1.586	2.6%
Public Utility Lots	0.93	0.374	0.6%
Streets and Lanes	32.58	13.185	21.9%
TOTAL DEVELOPABLE AREA	148.88	60.249	100.0%

Table 1 illustrates that 58.8 per cent of the Neighbourhood Area Structure Plan Area is for residential uses, 12.4 per cent for treed areas and open space including a storm detention pond, 21.9 per cent is dedicated for streets and lanes, 5.0 per cent for commercial development and the balance for other related uses.

4.4 Residential

The low density residential areas are proposed for predominately R1 single detached dwellings, a portion R1-A which may accommodate semi detached dwellings as well as detached dwellings, and a small number of R1-N single detached dwellings.

The residential (R2 and R2/R3) medium density area in the northeast portion of the Neighbourhood Area Structure Plan is proposed for a mix of product type. The R2 units consist of 64 fourplex units and 99 units in an apartment style senior's community. The R2/R3 units consist of 116 typical condominium units.

Multi-family units are often assumed to have two or more bedrooms. Under this scenario, the typical allowance for persons per unit would be 3.0. However, the senior's apartment complex, containing 99 units will not have a population density of 3.0 persons per unit. Instead, we have used a multi family/townhouse number of 2.2 persons per unit.

The resulting estimated population density calculation is summarized in Table 2 as follows:

Table 2 - Estimated Population Density

Land Use	Number of Dwelling Units	Number of Persons Per Unit	Total Population
Single Family - R1	359	3.4	1,221
Single Family - R1-N	25	3.4	85
Duplex - R1-A	156	3.3	515
Multi Family - R2/R3	180	3.0	540
Multi Family - R2	99	2.2	218.0
Totals:	819	-	2,579.0

Population density: $2579.0 \div 57.249\text{Ha} = 45.0$ persons per hectare

This density is within the allowable limit of 45 persons per hectare.

As illustrated in Table 2, the Neighbourhood Area Structure Plan, depending upon the actual lot size and land use, is anticipated to accommodate approximately 819 dwelling units and a population of approximately 2579 persons. Given this estimated unit count, the overall density for the Area Structure Plan Area is approximately 5.8 units per gross acre, and 45.0 Persons/Developable Hectare, with the commercial site area removed from the gross areas.

4.5 Open Space

The key components of the Open Space provisions in the Neighbourhood Area Structure Plan are discussed below, followed by a statement of municipal reserve calculations.

- Components

The components of the proposed Aspen Ridge open space which are cited below, include a neighbourhood school and park centre, east side linear park, and a dry storm retention facility.

a) Neighbourhood School and Park Facility

A 10.6 acre (4.29 ha) central neighbourhood school and park site is provided in the location indicated in the East Hills Area Structure Plan.

b) Linear Park

A 3.92 acre (1.59 ha) north south linear park, ranging from 13 to 30 metres in width, is proposed along the eastern edge of the quarter. The primary purpose for this park is to retain the existing tree stand.

A small 20 foot (6m) wide municipal reserve strip connects to the major linear park. In addition to providing this connection, this strip will serve to separate the rear of the residential lots and the collector roadway.

c) Storm Detention Facility

A storm detention facility is proposed to be part of the overall central park site. The total detention pond area is 4.99 acres (2.02 Hectares) of which 2.47 acres (1 Hectare) is municipal reserve.

- **Municipal Reserve**

In order to realize the open space network illustrated in the Plan, there will be a municipal reserve dedication of 15.05 acres (6.09 ha) which is 10.11 per cent of the developable area. This dedicated municipal reserve is comprised of the following elements:

	Acres (+/-)	Ha (+/-)
• Neighbourhood school and park	10.60	4.29
• Local Parks	0.53	0.22
• Linear Park (treed area)	3.92	1.59

4.6 Public Facilities

The Plan provides for a possible emergency services/community facility site, a church site, and a social care site.

4.7 Environmental Considerations

As indicated in Section 3.4 of this report and illustrated in Figure 2, the Ecological Profile Report for southeast Red Deer identifies the larger poplar trees along 30th Avenue and in the northeast corner as a Priority "A" for preservation. Most of the trees are included in the proposed municipal reserve strip. The remainder, where possible, will be incorporated in the development of the site. In addition, Recommendation R5-b of the Ecological Profile indicates that a 2.5 metre walking/biking trail be established along the west side of 30th Avenue. The Plan endeavours to accommodate these recommendations.

4.8 Commercial Site

The south east corner of the plan, as previously mentioned, shows a 7.41 acre (3.0 Ha) area set aside for commercial development (to be classified as C2). This area is a proposed location for a District Shopping Centre serving the surrounding community, and will be a major asset to the Aspen Ridge Plan. It will offer a close and convenient opportunity for residents in the area to do their grocery shopping. The proposed accesses for this development are full left-turn, right-turn from 22nd Street and a right-in, right-out entry from 30th Avenue (the City of Red Deer's Recreation, Parks and Culture Department has approved minimal tree removal for this purpose, providing that they are onsite during any tree removal. Adjacent natural vegetation will be preserved. The vegetation that is removed will be compensated by additional landscaping within the Commercial Site). With these entry points from the arterial roads, the traffic generated by the commercial development will have a minimum of impact on the residential areas. As well, the major walkway routes coupled with a short walk connection will allow pedestrian access to the shopping centre from within the neighbourhood.

5.0 TRANSPORTATION

5.1 Traffic Circulation Pattern

The traffic circulation pattern proposed in the Neighbourhood Area Structure Plan conforms to the East Hill Area Structure Plan. At some point in the future, there will be one arterial roadway, and one major collector roadway adjacent to the quarter section:

- 30th Avenue, along the east boundary of the quarter section will be an arterial roadway
- 22nd Street, along the south boundary of the quarter section will be a major collector roadway

Funds for construction of both roadways will come from the City of Red Deer off site levy fund.

Figure 3 illustrates the proposed roadway pattern for the subject quarter section. As illustrated, a looped collector road, Addington Drive, will extend from the Anders East quarter section, through the subject lands, and into the Anders On The Lake quarter section, which is located directly west of the subject quarter section. Collector roads will connect Addington Drive to 30th Avenue, and Addington Drive to 22nd Street.

30th Avenue currently exists as a four lane divided arterial cross section, to just past the mid point of Aspen Ridge quarter section, at A verill Street, tapering to a paved two lane rural cross section at the future 22nd Street intersection. 22nd Street is currently just a cultivated area.

Access to the subject lands for the first few phases of development will come from the Addington Drive collector road, located within Anders East, and from 30th Avenue. The primary access for the district shopping centre will come from 22nd Street.

For the P-loops, and long cul-de-sacs, accesses with medians are proposed to provide a divided access, in case of emergencies, where one side of the access is blocked by an obstruction.

5.2 Pedestrian Circulation Patterns

Figure 3 illustrates a continuous integrated pedestrian system throughout the quarter section, and along 30th Avenue and 22nd Street. Figure 4 illustrates the cross sectional details for the collector roadways. As illustrated on Figure 4:

- A 2.5 metre wide monolithic sidewalk will be installed along the east side of Addington Drive to where Addington Drive intersects with the collector roadway going south to 22nd Street. A 1.5 metre monolithic sidewalk will be installed along the west and north side of Addington Drive.
- A 2.5 metre wide monolithic sidewalk will be installed along the south side of the collector road extending from Addington Drive to 30th Avenue. A 1.5 metre monolithic sidewalk would be installed on the north side of this collector road.
- A 2.5 metre wide monolithic sidewalk will be installed along the east side of the collector roadway extending from Addington Drive to 22nd Street.
- As part of the arterial road construction for 30th Avenue, the pedestrian linkage will be continued along the west side of 30th Avenue. As part of the major collector road construction for 22nd Street, a 2.5m wide asphalt or concrete pedestrian linkage will be installed within the TransAlta right of way. The proposed locations are illustrated on Figure 3.

Two minor pedestrian linkages are illustrated on Figure 3. The first provides continuity along Addington Drive west to the collector road that connects Addington Drive to 22nd Street. The second provides a connection from Averill Street to the commercial site.

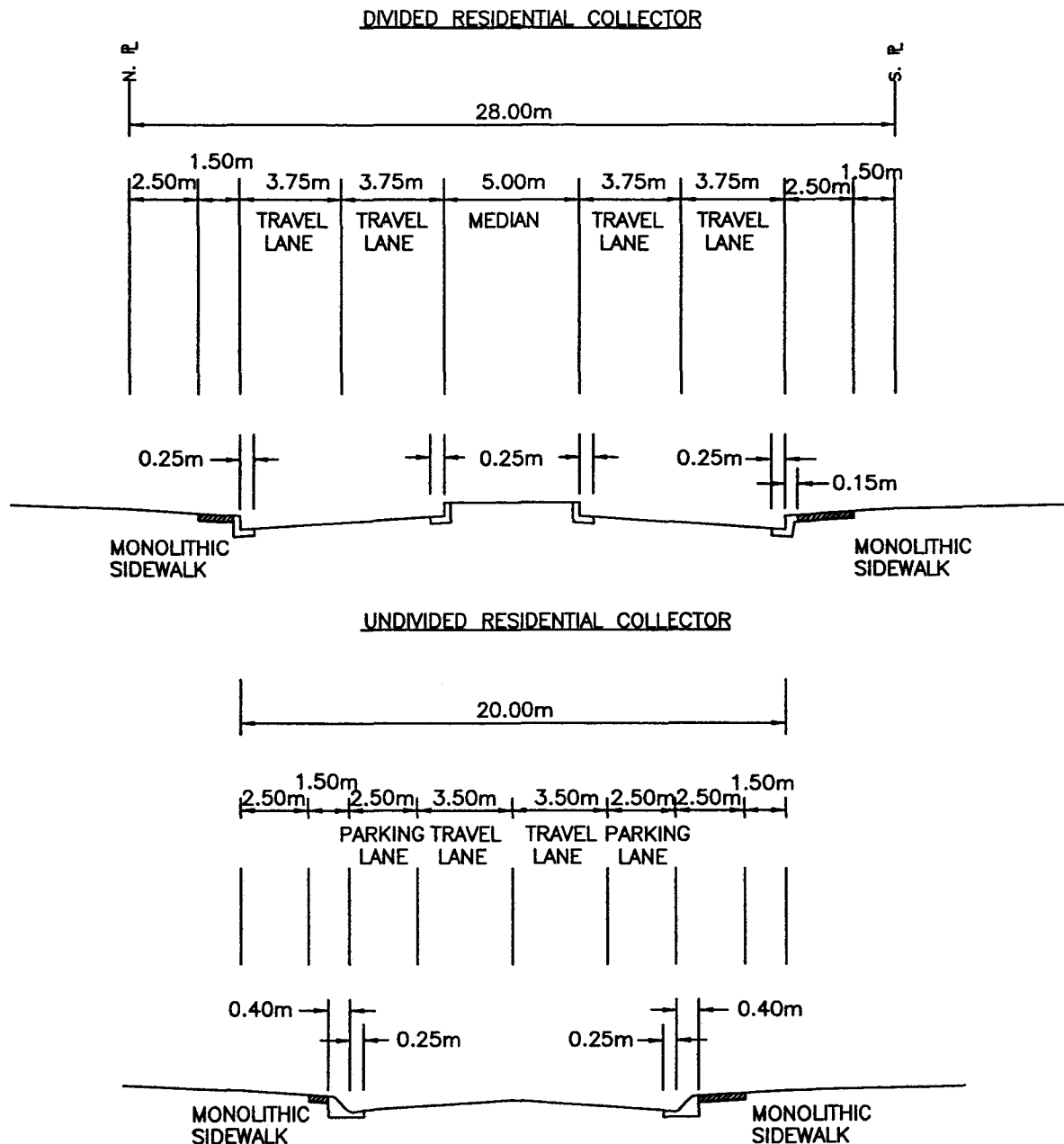
The pedestrian linkage system illustrated on the Neighbourhood Area Structure Plan connects key neighbour-hood elements and will enable residents to walk, run or ride bicycles through the community on a system of paths in open spaces or on boulevard walks that are separate from the roadways.

The pedestrian movement patterns are designed for both internal and external flows.

6.0 MUNICIPAL SERVICING

Most of the municipal services required to service this quarter section are existing. The exception is the storm trunk system. The remaining services are a direct extension of services located along the north boundary of the quarter section.

ASPEN RIDGE OUTLINE PLAN



NOTE: THE 2.5m MONOLITHIC SIDEWALK WILL BE LOCATED ALONG THE EAST AND NORTH SIDES OF ADDINGTON DRIVE, ALONG THE SOUTH SIDE OF THE COLLECTOR ROAD TO 30th AVENUE, AND ALONG THE EAST SIDE OF THE COLLECTOR ROAD TO 22nd STREET.

FIGURE 4
DIVIDED AND UNDIVIDED RESIDENTIAL
COLLECTOR ROADWAY DETAIL

PREPARED BY:

AL-TERRA
ENGINEERING LTD.

REVISED: SEPT 27/2002
REVISED: MAR 13/2001

EDMONTON

RED DEER

6.1 Storm Sewer System

The existing storm trunk system, which is routed through the Anders East quarter section, has capacity for 17.0 hectares of the subject quarter section. The remaining storm drainage, from the remainder of the quarter section, and the adjacent arterial roadways, must be routed to the storm detention pond located north of Addington Drive, toward the west side of the quarter section. The storm detention pond is combined with the neighbourhood school and park. From this storm detention pond, the allowable discharge will be routed westward, through storm sewer mains, ultimately to Piper Creek. The allowable discharge is as follows:

- 0.0013 cu.m/sec/ha for the 1 in 5 year storm
- 0.0036 cu.m/sec/ha for the 1 in 100 year storm event.

Approximately 46 hectares of land will drain into this storm detention pond. The pond must be sized to accommodate the runoff from a one in 100 year storm. The storage volume required in the detention pond, to accommodate this runoff, is approximately 27,000 cubic metres.

6.1.1 Minor Drainage System

Figure 5 illustrates the conceptual layout for the storm sewer system. Runoff for storms up to a one in five year event will be handled via a gravity, piped system. Even for the one in five year storm event, some storm water storage is required in the Anders East storm detention pond, or in the detention pond located within the Aspen Ridge quarter section.

Consideration will be given to providing a weeping tile drainage system for all lots. The storm system design will be completed in accordance with the City of Red Deer Design Guidelines.

6.1.2 Major Overland Drainage System

The major overland drainage will exist regardless of whether or not it is designed for. When there is too much storm runoff for the piped system to handle, the runoff will flow overland along the easiest path available. This will occur when the storm is greater than a one in five year event.

To accommodate this situation, roads and lanes will be designed to route the overland flow to either the storm detention in the Anders East quarter section, or to the proposed storm detention pond in the Aspen Ridge quarter section. Some ponding will also occur within the roads, lanes and municipal reserve lots. The detailed design process will ensure that the major overland drainage system is designed in accordance with the City of Red Deer Design Guidelines.

The major overland drainage system is illustrated on Figure 6.

ASPEN RIDGE NEIGHBOURHOOD AREA STRUCTURE PLAN

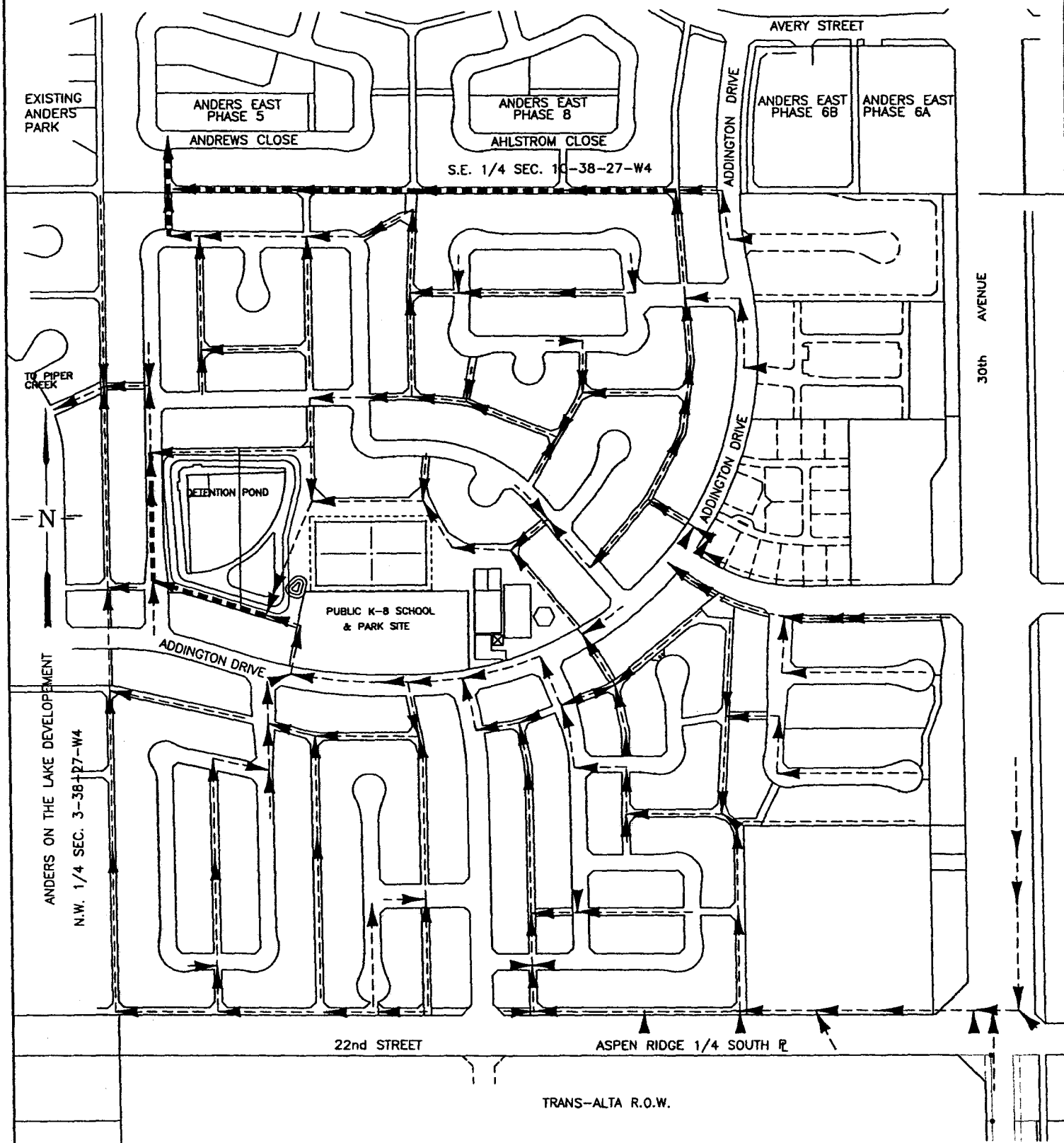




FIGURE 5 STORM SEWERS

SCALE 1:5000

REVISED: APR 10, 2001
REVISED: SEPT 13, 2002
REVISED: JAN 13, 2003
REVISED: FEB 12, 2003
REVISED: MAR 03, 2003

LEGEND:

STORM TRUNK 
STORM SEWER 

AL-TERRA
ENGINEERING LTD.

EDMONTON

RED DEER

6.1.3 Storm Detention Pond Cross Section

The City of Red Deer Recreation Parks and Culture Department requested that a cross section be provided to illustrate how the storm detention pond grades tie into the central park grades. Figure 6a illustrates this cross section and the location it is based on.

6.2 Sanitary Sewer System

The sanitary sewer system required to service the subject quarter section is a direct extension of the sanitary sewer system located within the Anders East quarter section, which is located directly to the north of the Aspen Ridge quarter section.

A 525 millimetre diameter sanitary sewer is stubbed into the northwest corner of the Aspen Ridge quarter section. The sanitary trunk system will be extended partially through the Aspen Ridge quarter section, and then will be routed westward, into the lane which abuts the west boundary of the Aspen Ridge quarter section. The sanitary sewer trunk will service this quarter section, and six additional quarter sections, located to the south, east and west of the Aspen Ridge quarter section. Figure 7 schematically illustrates the proposed layout for the sanitary sewer system. This drawing illustrates the proposed routing for the extension of the sanitary trunk system through the Aspen Ridge quarter section. It also illustrates the proposed location where the sanitary sewer force main will tie into the sanitary sewer trunk system. The sanitary sewer force main will extend from a sanitary lift station located on the NW ¼ Sec. 3-38-27-W4. This sanitary lift station will service four quarter sections of land located to the west and south of the Aspen Ridge quarter section.

All facilities required for the sanitary sewer system will be designed in accordance with City of Red Deer Design Guidelines.

6.3 Water Distribution System

The water distribution system required to service the Aspen Ridge quarter section is a direct extension of the water distribution system for the Anders East quarter section, located directly to the north. The largest water supply mains include:

- A 400 millimetre diameter water main stubbed off at the northwest corner of the quarter section. This water main will be extended along the west side of 30th Avenue.
- A 250 millimetre diameter water main which is existing or will be extended along the south property line of the Anders East quarter section.
- Water feeder mains will also be located along the north side of 22nd Street, and in the lane located adjacent to the west boundary of the Aspen Ridge quarter section.

ASPEN RIDGE NEIGHBOURHOOD AREA STRUCTURE PLAN

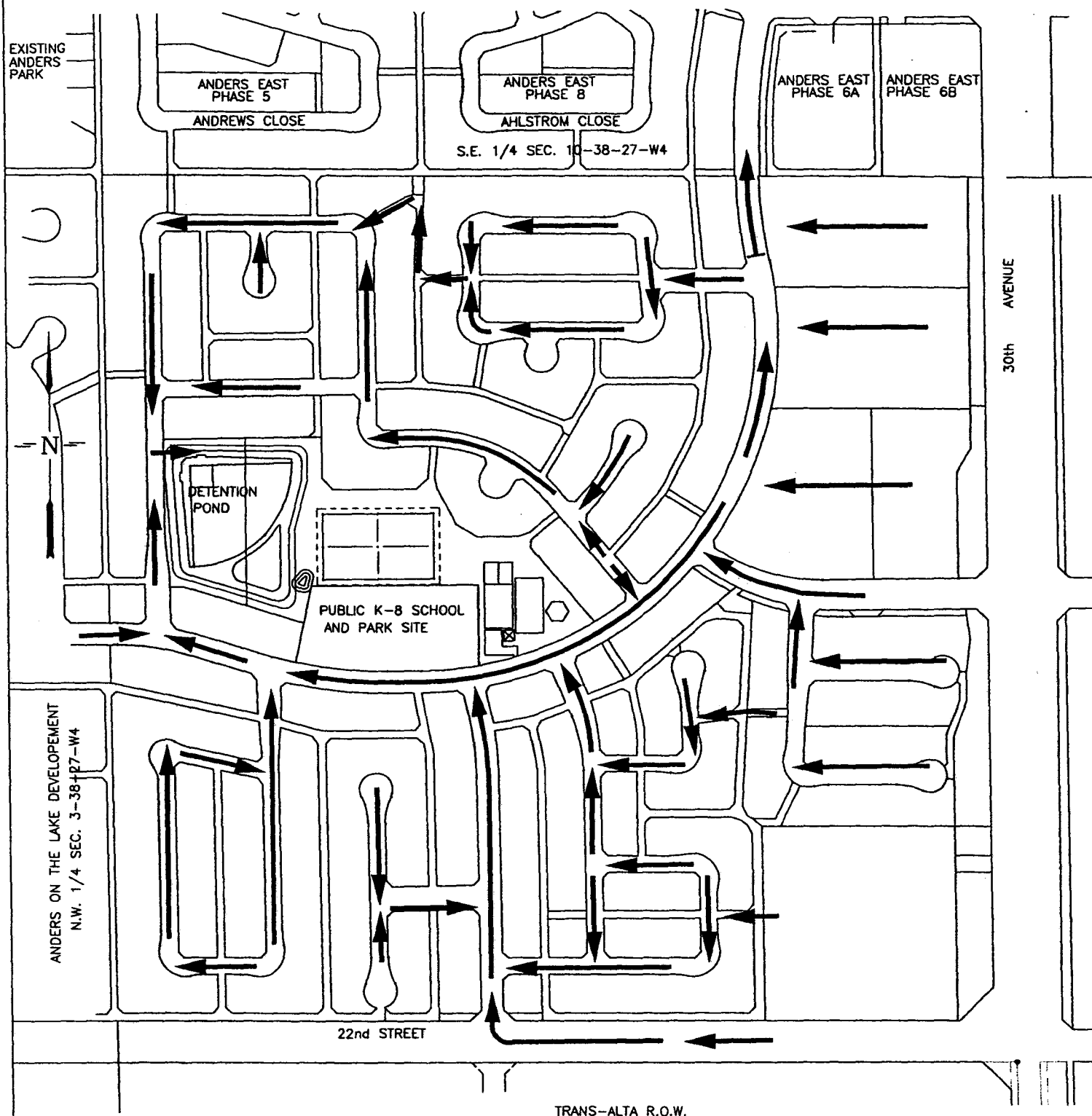


FIGURE 6
OVERLAND DRAINAGE
GREATER THAN 1:5
YEAR STORM EVENT

SCALE 1:5000

REVISED: APR 10, 2001
REVISED: SEPT 13, 2002
REVISED: JAN 13, 2003
REVISED: FEB 12, 2003
REVISED: MAR 03, 2003

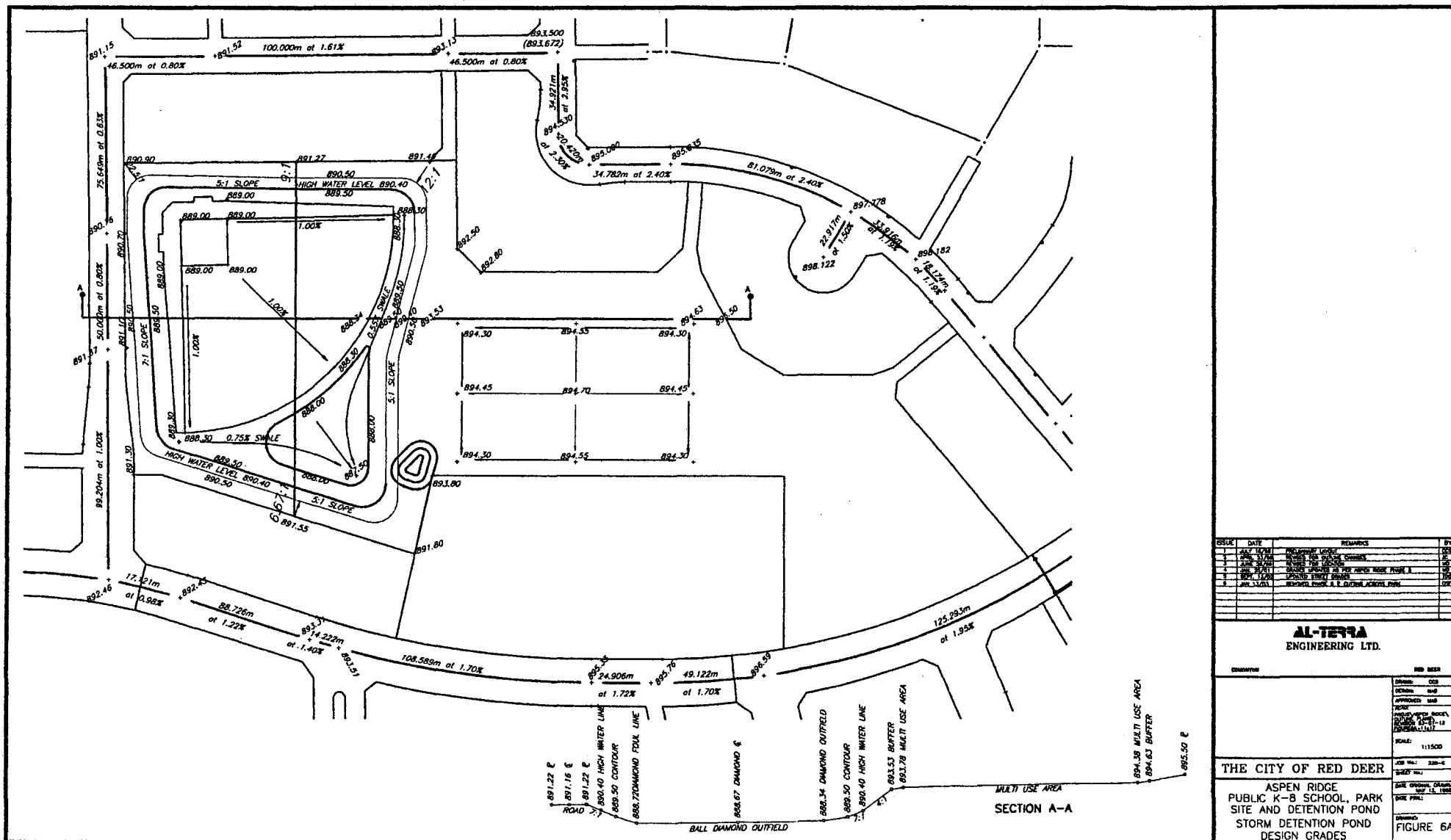
LEGEND:

← DIRECTION OF FLOW

AL-TERRA
ENGINEERING LTD.

EDMONTON

RED DEER



ISSUE	DATE	REMARKS	BY
1	10/15/10	DESIGN GRADES	AL
2	10/15/10	DESIGN GRADES	AL
3	10/15/10	DESIGN GRADES	AL
4	10/15/10	DESIGN GRADES	AL
5	10/15/10	DESIGN GRADES	AL
6	10/15/10	DESIGN GRADES	AL
7	10/15/10	DESIGN GRADES	AL
8	10/15/10	DESIGN GRADES	AL
9	10/15/10	DESIGN GRADES	AL
10	10/15/10	DESIGN GRADES	AL

AL-TERRA
 ENGINEERING LTD.

Drawn by

Rev. 002

Checked by

Rev. 003

Approved by

Rev. 004

Rev. 005

Rev. 006

Rev. 007

Rev. 008

Rev. 009

Rev. 010

Rev. 011

Rev. 012

Rev. 013

Rev. 014

Rev. 015

Rev. 016

Rev. 017

Rev. 018

Rev. 019

Rev. 020

ASPEN RIDGE NEIGHBOURHOOD AREA STRUCTURE PLAN

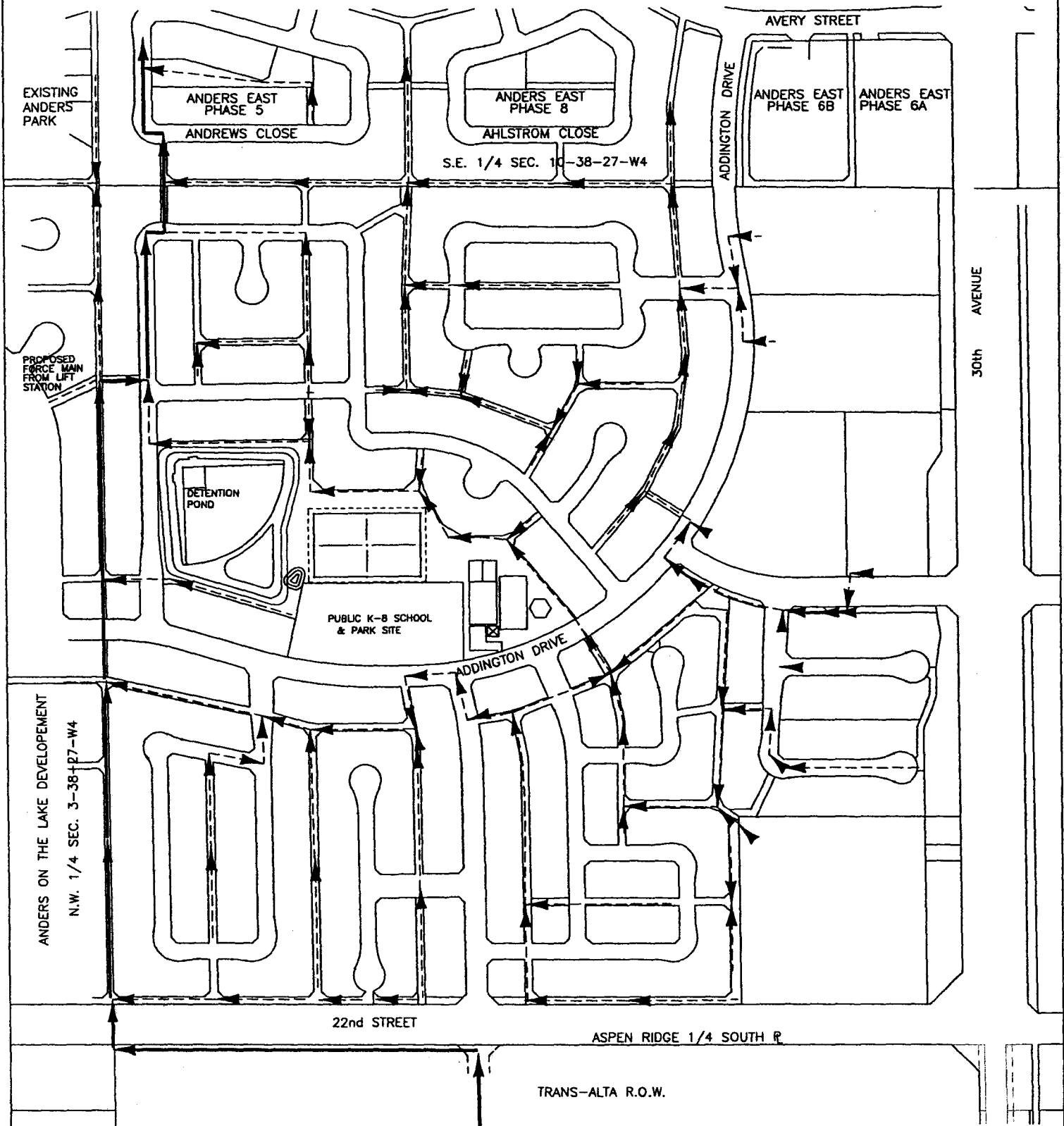

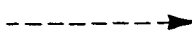


FIGURE 7 SANITARY SEWERS

SCALE 1:5000

REVISED: APR 10, 2001
REVISED: SEPT 13, 2002
REVISED: JAN 13, 2003
REVISED: FEB 12, 2003
REVISED: MAR 03, 2003

LEGEND:

SANITARY TRUNK 
200mm SANITARY 

AL-TERRA
ENGINEERING LTD.

EDMONTON

RED DEER

Figure 8 conceptually illustrates the water feeder main routing, and the water distribution system for the quarter section. Computer modelling will be utilized to evaluate actual water main sizes within the quarter section.

All facilities for the water distribution system will be designed in accordance with City of Red Deer Design Guidelines.

6.4 Shallow Utilities

The City of Red Deer Electric Light and Power Department, Telus Corporation, Shaw Cable and Northwestern Utilities have been contacted regarding the subject quarter section. All of the franchise utilities have advised that there is adequate capacity to provide servicing in the general area. The utility companies will review and address the servicing alternatives in more detail during the circulation and review of the Neighbourhood Area Structure Plan.

7.0 REPORTS FROM SPECIALIZED CONSULTANTS

7.1 Geotechnical Report

The geotechnical report, prepared by Agra Earth & Environmental Ltd, was submitted to the City of Red Deer Engineering Department on April 03, 1998.

7.2 Phase 1 Environmental Site Assessment

The Phase 1 Environmental Assessment, prepared by Agra Earth & Environmental Ltd., was submitted to the City of Red Deer Engineering Department and Community Planning Services on April 07, 1998.

8.0 PHASING OF DEVELOPMENT

Figure 9 illustrates the proposed phasing for development. The present location of utilities dictates the first few phases of development. Market conditions will influence the actual phasing of later development.

ASPEN RIDGE NEIGHBOURHOOD AREA STRUCTURE PLAN

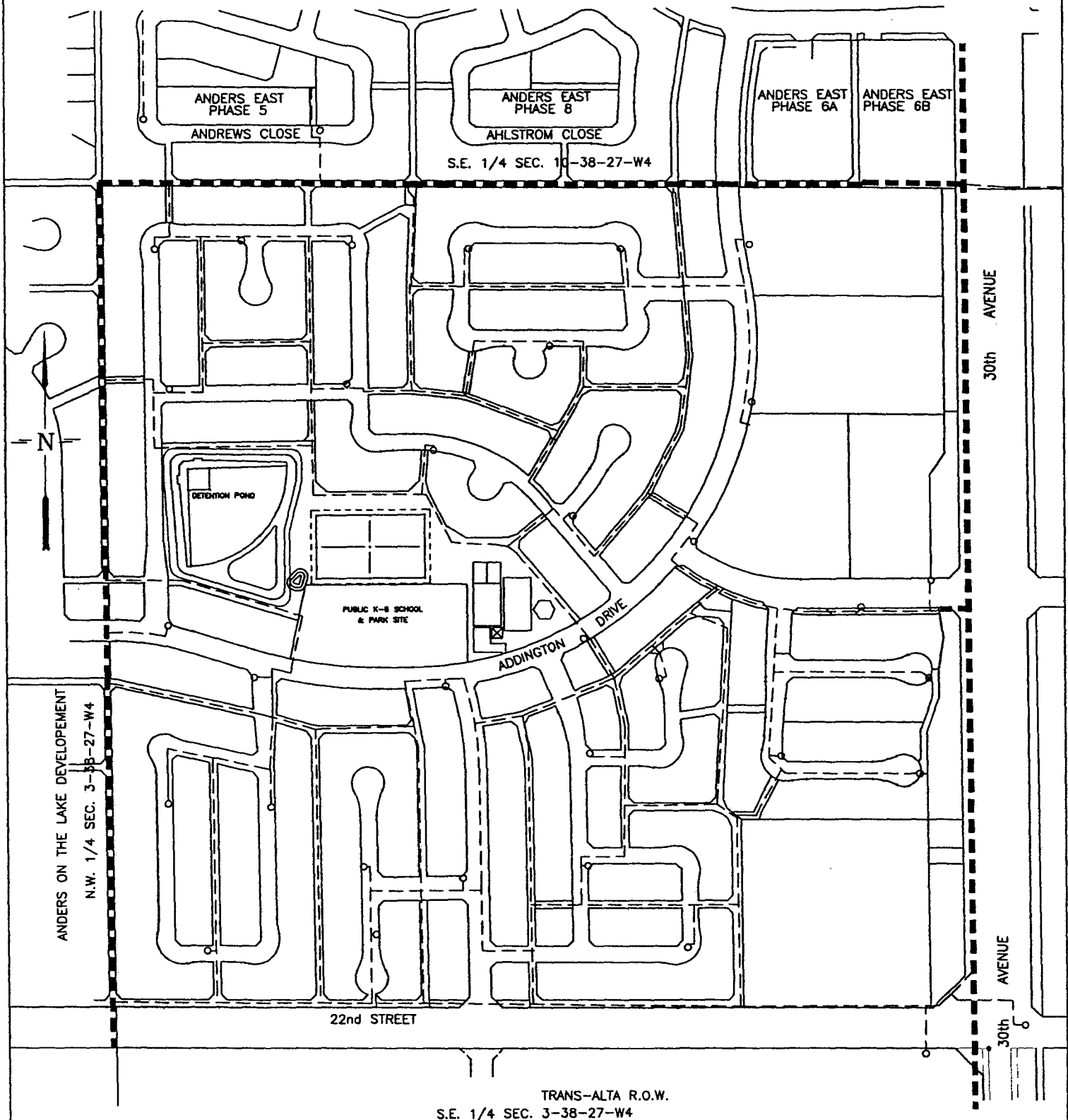


FIGURE 8
WATER DISTRIBUTION

SCALE 1:5000

REVISED APR 10, 2001
REVISED JAN 13, 2003
REVISED FEB 12, 2003
REVISED MAR 03, 2003

LEGEND

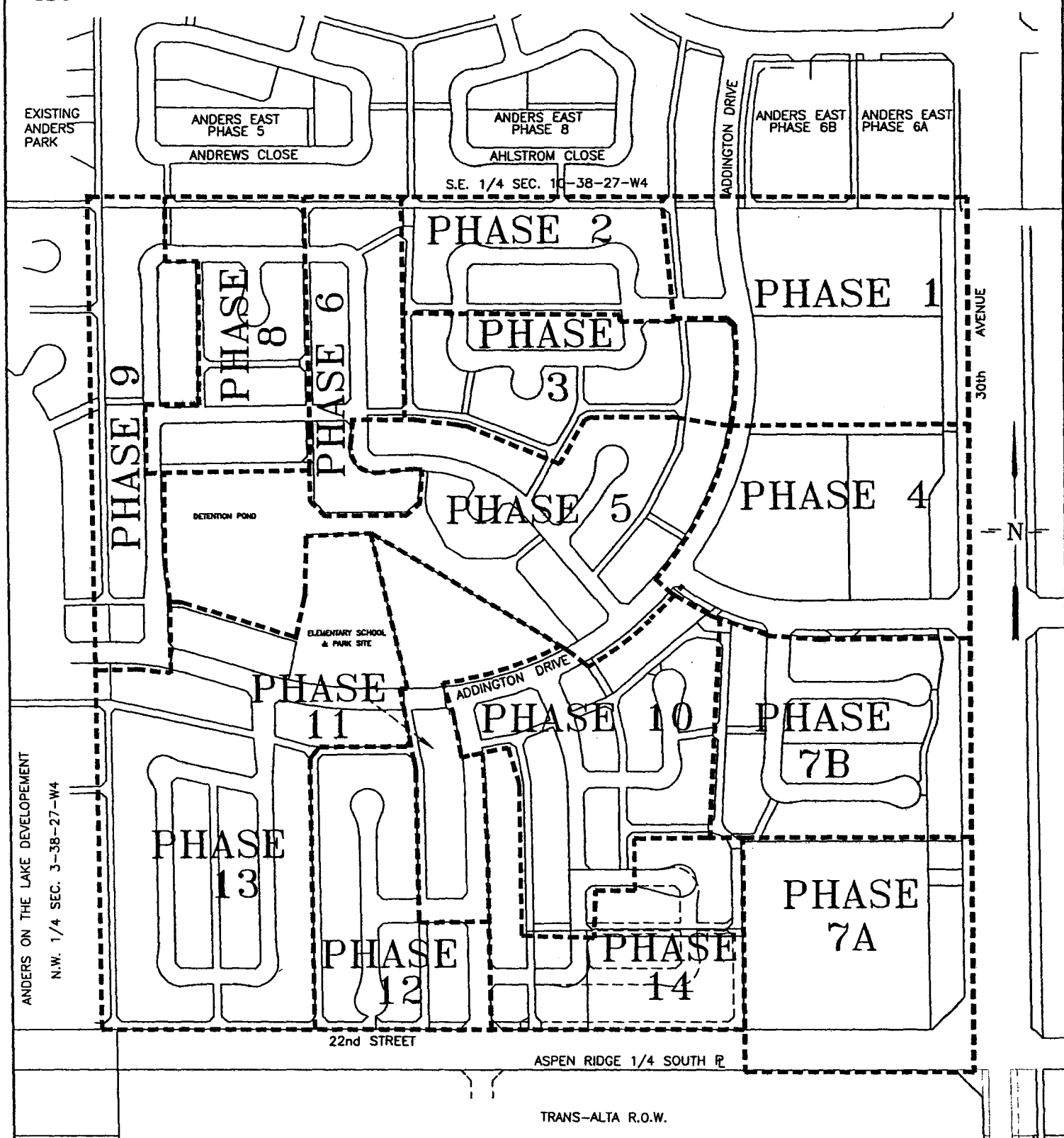
FEEDER WATER MAIN ———
WATER MAIN - - - - -
HYDRANT ○

AL-TERRA
ENGINEERING LTD.

EDMONTON

RED DEER

ASPEN RIDGE NEIGHBOURHOOD AREA STRUCTURE PLAN



**FIGURE 9
PHASING CONCEPT**

SCALE 1:5000

REVISED: MAR 03, 2003
REVISED: FEB 12, 2003
REVISED: JAN 13, 2003
REVISED: NOV 14, 2002
REVISED: JUNE 25, 2002
REVISED: MAY 31, 2002

LEGEND:

PHASE BOUNDARY - - - - -

AL-TERRA
ENGINEERING LTD.

EDMONTON

RED DEER

BYLAW NO. 3156/K-2003

Being a Bylaw to amend Bylaw No. 3156/96, the Land Use Bylaw of The City of Red Deer as described herein.

COUNCIL OF THE CITY OF RED DEER, ALBERTA, ENACTS AS FOLLOWS:

- 1 The "Use District Map J5" contained in "Schedule B" of the Land Use Bylaw is hereby amended in accordance with the Land Use District Map No. 9/2003 attached hereto and forming part of the bylaw.

READ A FIRST TIME IN OPEN COUNCIL this 24th day of March 2003.

READ A SECOND TIME IN OPEN COUNCIL this 22nd day of April 2003.

READ A THIRD TIME IN OPEN COUNCIL this 22nd day of April 2003.

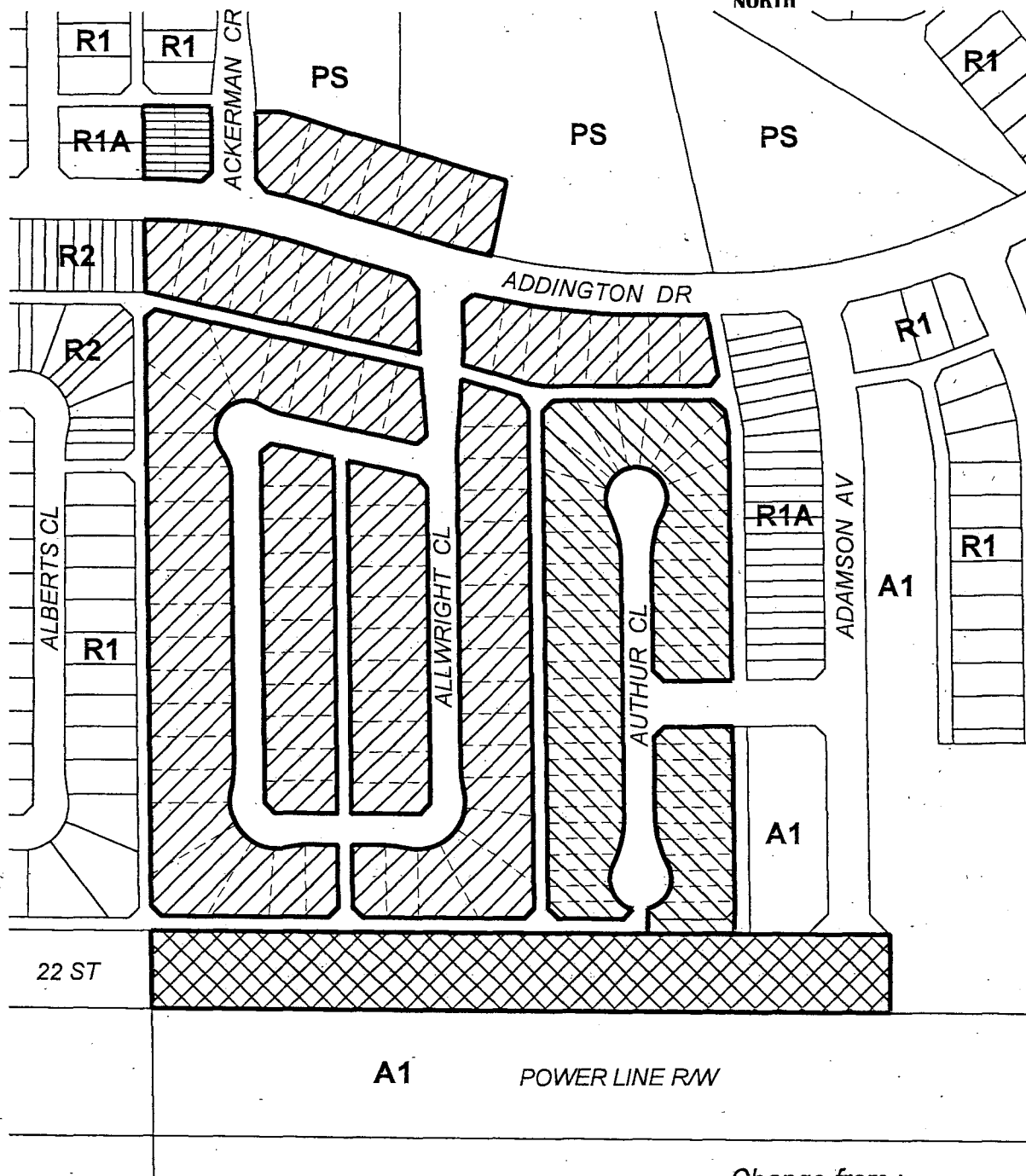
AND SIGNED BY THE MAYOR AND CITY CLERK this 22nd day of April 2003.

0/ MAYOR

DEPUTY CITY CLERK

The City of Red Deer

PROPOSED LAND USE BYLAW AMENDMENT



AFFECTED DISTRICTS:

A1 - Future Urban Development

R1 - Residential (Low Density)

R1A - Residential (Semi-Detached Dwelling)

Change from :

R1A to R1

A1 to R1

A1 to R1A

A1 to Road



MAP No. 9 / 2003

BYLAW No. 3156 / K - 2003

**City Clerk's Department**

DATE: March 25, 2003
TO: City Council
FROM: Kelly Kloss, City Clerk
SUBJECT: Land Use Bylaw Amendment 3156/M-2003
Part of the SW ¼ Sec. 3-38-27-4
Inglewood West – Phase 4
Inglewood Communities Inc.

History

At the Monday, March 24, 2003 Council meeting, Council gave first reading to Land Use Bylaw Amendment 3156M-2003.

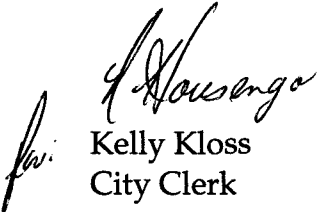
Land Use Bylaw Amendment 3156/M-2003 provides for the development of Phase 4 of the Inglewood West Subdivision. Phase 4 will consist of 91 single-family lots, 2 public utility lots and 1 municipal reserve lot. Approximately 9.36 ha (23.13 acres) of land will be rezoned from A1 Future Urban Development District to R1 Residential Low Density, P1 Parks and Recreation District and Road.

Public Consultation Process

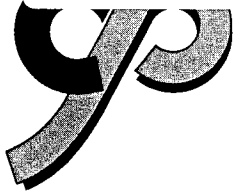
A Public Hearing has been advertised for Tuesday, April 22, 2003 at 7:00 p.m. in the Council Chambers during Council's regular meeting.

Recommendations

That following the Public Hearing, Council proceed with second and third readings of the bylaw.


Kelly Kloss
City Clerk

/chk



DATE: March 17, 2003

TO: Kelly Kloss, City Clerk

FROM: Frank Wong, Planning Assistant

RE: Land Use Bylaw Amendment No. 3156/M-2003
Part of the SW ¼ Sec. 3-38-27-4
Inglewood West – Phase 4
Inglewood Communities Inc.

Inglewood Communities Inc. is proposing to develop Phase 4 of the Inglewood West Subdivision. Phase 4 consists of 91 single-family lots, 2 public utility lots and 1 municipal reserve lot. This proposal rezones 9.36 ha (23.13 ac) of land from A1 Future Urban Development District to R1 Residential Low Density, P1 Parks and Recreation Districts and Road.

A plan amendment to the Inglewood West Neighbourhood Area Structure Plan is required to permit this rezoning proposal. Such an amendment was submitted on January 13, 2003, processed according to the City's "*Planning & Subdivision Guidelines*" and has received first reading under Bylaw Amendment 3217/C-2003.

Staff recommendation

The proposal complies with the amendment to the Inglewood West Neighbourhood Area Structure Plan Bylaw Amendment 3217/C-2003; therefore it is recommended that City Council proceed with first reading of this Land Use Bylaw Amendment 3156/M-2003.

Frank Wong
Planning Assistant

Attachments



G:\M\13870420 HOLSTROM\my\highlight-ASP.DOC

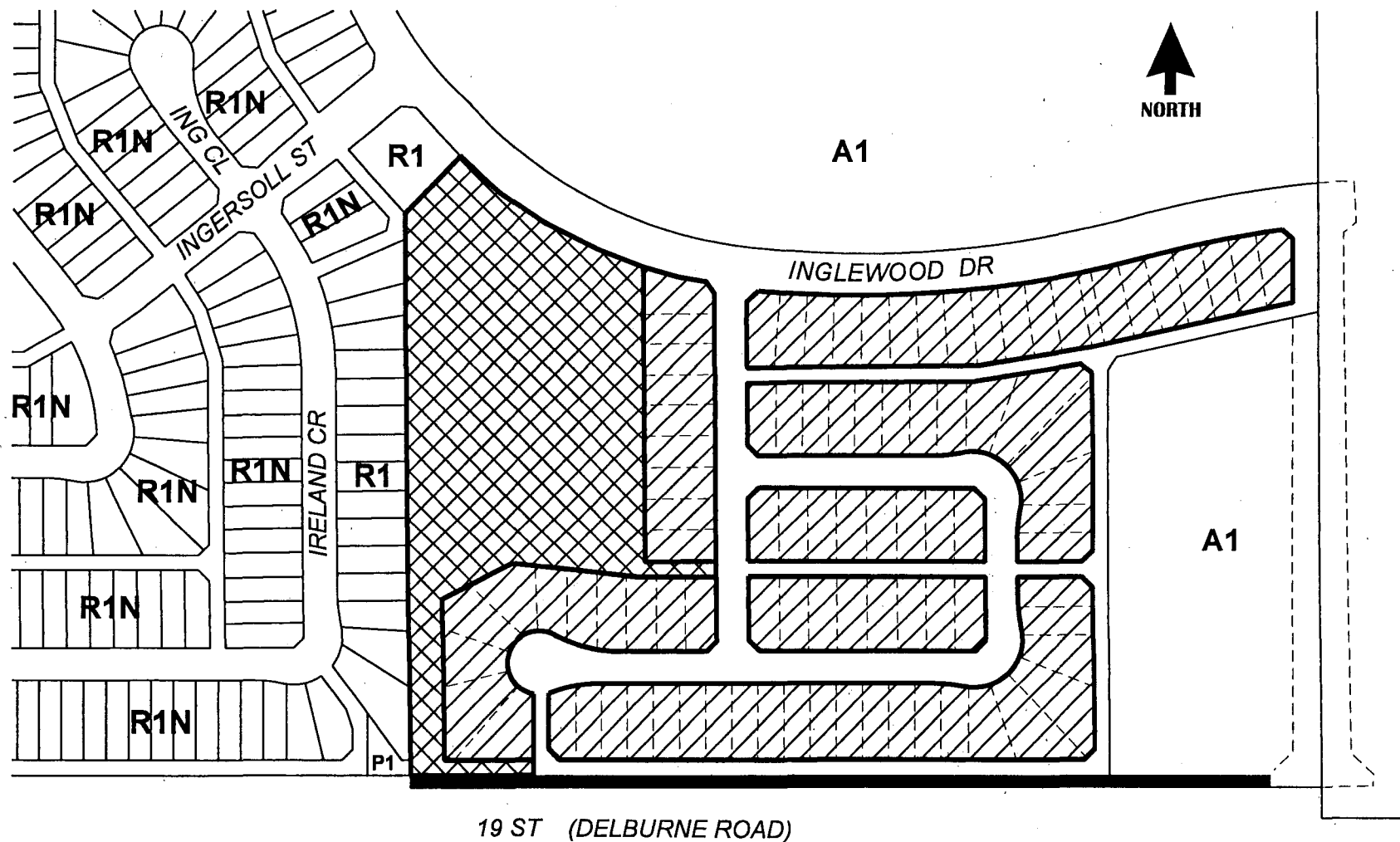
-  Multi-Purpose Trail
 PUL
 Park
 Church/Social Facility
 C3 Commercial
 Landfill Setback
 • Entry Feature Sign
 ■ Power/Transmission
 • Poles

February, 2003
128 70620

Bylaw Amendment 3217/C-2003
1st Reading - March 10, 2003

The City of Red Deer

PROPOSED LAND USE BYLAW AMENDMENT



AFFECTED DISTRICTS:

A1 - Future Urban Development

R1 - Residential (Low Density)

P1 - Parks and Recreational

Change from :

A1 to R1

A1 to P1

A1 to Road



MAP No. 11 / 2003
BYLAW No. 3156 / M - 2003

**INGLEWOOD WEST PHASE 4
LUB AMENDMENT 3156/M-2003**

DESCRIPTION: Development of Phase 4 consisting of 91 single family lots, 2 public utility lots and 1 municipal reserve lot.

FIRST READING: March 24, 2003

FIRST PUBLICATION: April 4, 2003

SECOND PUBLICATION: April 11, 2003

PUBLIC HEARING & SECOND READING: April 22, 2003

THIRD READING: April 22, 2003

LETTERS REQUIRED TO PROPERTY OWNERS: YES ☒ NO ☐

DEPOSIT? YES ☐ \$ 400. NO ☐ BY: Melcor

ACTUAL COST OF ADVERTISING:

\$ 261.62 X 2 TOTAL: \$ 523.24

MAP PREPARATION: \$ -

TOTAL COST: \$ 523.24

LESS DEPOSIT RECEIVED: \$ -400.-

AMOUNT OWING/ (REFUND): \$ 123.24

INVOICE NO.: 566546 / 54422

(Account No. 59.5901)



CITY CLERK'S DEPARTMENT

April 23, 2003

Melcor Developments Ltd.
502, 4901 – 48 Street
Red Deer, AB T4N 6M4

Dear Sir:

Land Use Bylaw Amendment 3156/M-2003
Part of the SW ¼ Sec. 3-38-27-4
Inglewood West – Phase 4
Inglewood Communities Inc.

At the City of Red Deer's Council meeting held April 22, 2003 a Public Hearing was held with respect to *Land Use Bylaw Amendment 3156/M-2003*. Following the Public Hearing, *Land Use Bylaw Amendment 3156/M-2003* was given second and third readings, a copy of which is attached.

Land Use Bylaw Amendment 3156/M-2003 provides for the development of Phase 4 of the Inglewood West Subdivision. Phase 4 will consist of 91 single-family lots, 2 public utility lots and 1 municipal reserve lot. Approximately 9.36 ha (23.13 acres) of land will be rezoned from A1 Future Urban Development District to R1 Residential Low Density, P1 Parks and Recreation District and Road.

Please do not hesitate to contact me should you have any questions or require further clarification.

Sincerely,

Nona Housenga
Deputy City Clerk

NH/chk
/attach.

c Parkland Community Planning Services
C. Adams, Administrative Assistant



Council Decision – April 22, 2003

City Clerk's Department

DATE: April 23, 2003
TO: Frank Wong, Parkland Community Planning Services
FROM: Nona Housenga, Deputy City Clerk
SUBJECT: Land Use Bylaw Amendment 3156/M-2003
Part of the SW ¼ Sec. 3-38-27-4
Inglewood West – Phase 4
Inglewood Communities Inc.

Reference Report:

City Clerk, dated March 25, 2003 and Parkland Community Planning Services, dated March 17, 2003

Bylaw Readings:

Land Use Bylaw Amendment 3156/M-2003 was given second and third readings. A copy of the bylaw is attached.

Report Back to Council: No

Comments/Further Action:

Land Use Bylaw Amendment 3156/M-2003 provides for the development of Phase 4 of the Inglewood West Subdivision. Phase 4 will consist of 91 single-family lots, 2 public utility lots and 1 municipal reserve lot. Approximately 9.36 ha (23.13 acres) of land will be rezoned from A1 Future Urban Development District to R1 Residential Low Density, P1 Parks and Recreation District and Road. This office will amend the Land Use Bylaw and distribute copies in due course.

A handwritten signature in cursive script, appearing to read 'N. Housenga'.

Nona Housenga
Deputy City Clerk
/chk
attchs.

- c Director of Development Services
- Inspections and Licensing Manager
- Land & Economic Development Manager
- City Assessor
- D. Kutinsky, Graphics Designer
- C. Adams, Administrative Assistant
- B. Greter, City Clerk's, Clerk Steno

BYLAW NO. 3156/M-2003

Being a bylaw to amend Bylaw No. 3156/96, the Land Use Bylaw of the City of Red Deer.

COUNCIL OF THE CITY OF RED DEER, ALBERTA, ENACTS AS FOLLOWS:

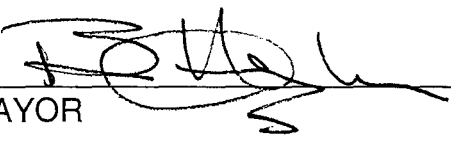
- 1 The "Use District Map I4" contained in "Schedule B" of the Land Use Bylaw is hereby amended in accordance with the Land Use District Map No. 11/2003 attached hereto and forming part of the bylaw.

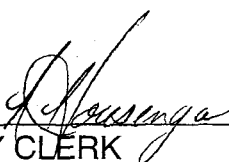
READ A FIRST TIME IN OPEN COUNCIL this 24th day of March 2003.

READ A SECOND TIME IN OPEN COUNCIL this 22nd day of April 2003.

READ A THIRD TIME IN OPEN COUNCIL this 22nd day of April 2003.

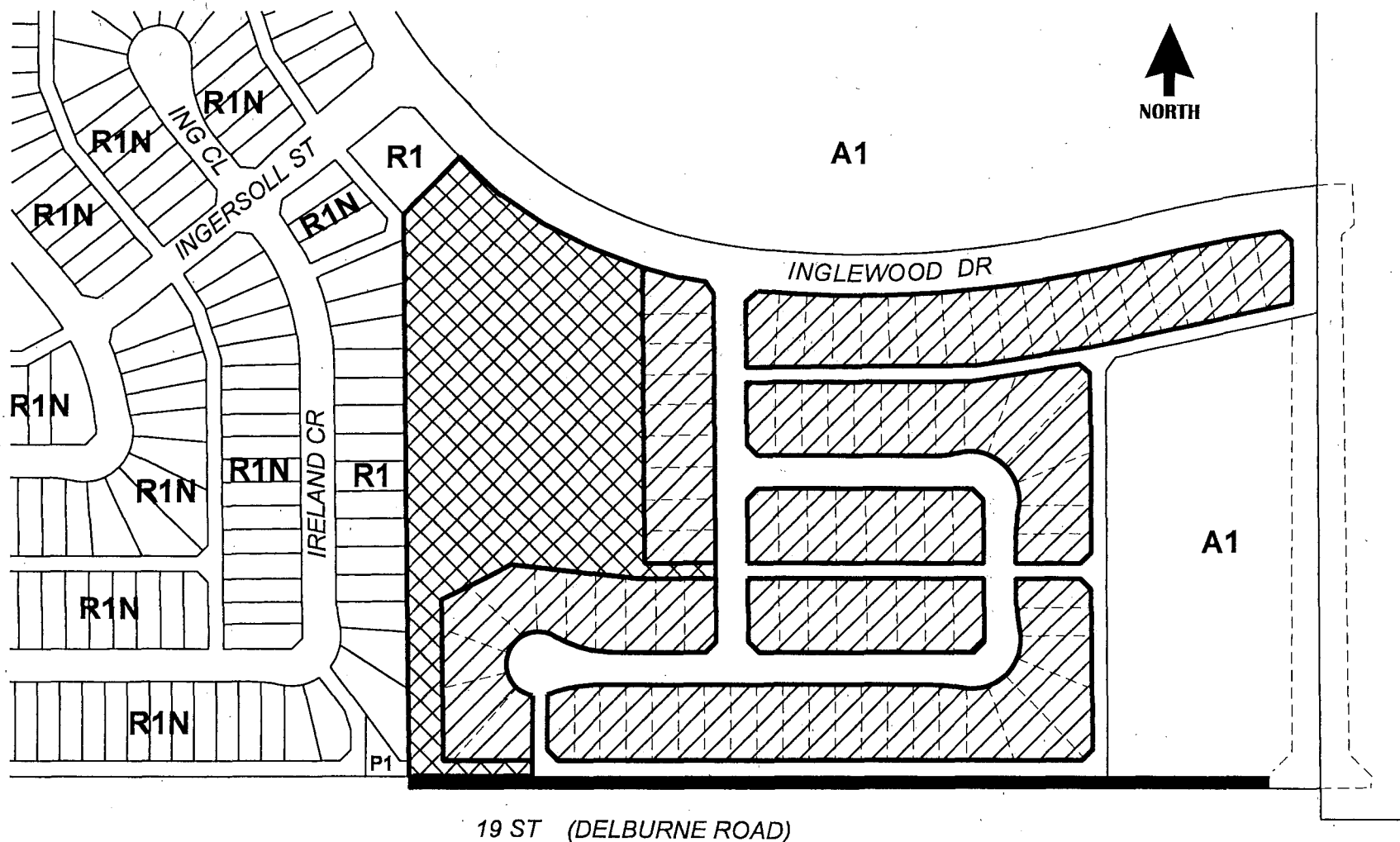
AND SIGNED BY THE MAYOR AND CITY CLERK this 22nd day of April 2003.


MAYOR


Deputy CITY CLERK

The City of Red Deer

PROPOSED LAND USE BYLAW AMENDMENT



AFFECTED DISTRICTS:

A1 - Future Urban Development

R1 - Residential (Low Density)

P1 - Parks and Recreational

Change from :

A1 to R1



A1 to P1



A1 to Road



MAP No. 11 / 2003

BYLAW No. 3156 / M - 2003



THE CITY OF RED DEER
City Clerk's Department Payment Receipt

03104103
Year Month Day

Name: Inglewood Dev. Reference: 3156/m-2003

NOT VALID ULESS MACHINE PRINTED HERE

04/03/03 1:54PM 251#4957

ITEM

L.U.B. Advert

D.A.B. Fee

D.A.B. Advert

Account Number (Cost Centre.Object.Subsidiary)	Subledger	T	Asset ID No.	Amount
59.5901				400.00
54.5722				
54.5901				
TOTAL				400.00

GST. REGISTRATION # R119311785

SUNDRY
CHECK

\$400.00
\$400.00

REMITTANCE ADVICE

DATE			PAYEE	THE CITY OF RED DEER	AMOUNT	400.00	PAGE	1
31	3	2003	BANK	IN Canadian L. rial Bank of Commerce			NUMBER	1137
DOCUMENT DATE	DOCUMENT NUMBER	DOCUMENT AMOUNT	BALANCE	GROSS AMOUNT	DISCOUNT	NET PAYMENT		
31 3 2003	INGLEWOOD 4	400.00		400.00	0.00	400.00		
		400.00		400.00	0.00	400.00		

1:00 pm
Apr 3/03
Liz Sney

DETACH THIS PORTION BEFORE DEPOSITING

April 02, 2003

«OwnerName»

«OwnerAdd1»

«OwnerAdd2»

«OwnerAdd3»

Dear Sir/Madam:

**Re: Inglewood West Phase 4
Land Use Bylaw Amendment 3156/M-2003**

Council of the City of Red Deer is considering a change to the Land Use Bylaw, which controls the use and development of land and buildings in the city. As a property owner in the Inglewood area you have an opportunity to ask questions about the intended use and to let Council know your views.

Red Deer City Council proposes to pass **Land Use Bylaw Amendment 3156/M-2003**, which provides for the development of Phase 4 of the Inglewood West Subdivision. Approximately 9.36 ha (23.13 acres) of land will be rezoned from A1 Future Urban Development District to R1 Residential Low Density, P1 Parks and Recreation District and Road. Phase 4 will consist of 91 single-family lots, 2 public utility lots and 1 municipal reserve lot. The proposed bylaw may be inspected by the public at the City Clerk's Department, 2nd Floor of City Hall during regular office hours or for more details, contact the city planners at Parkland Community Planning Services 343-3394.

City Council will hear from any person claiming to be affected at a Public Hearing on **Tuesday, April 22, 2003** at 7:00 p.m. in Council Chambers, 2nd floor of City Hall. If you want your letter or petition included on the Council agenda you must submit it to the City Clerk by **Tuesday, April 15, 2003**. Otherwise, you may submit your letter or petition at the Council meeting or you can simply tell Council your views at the Public Hearing. Any submission will be public information. If you have any questions regarding the use of this information, please contact the City Clerk's Office at 342-8132.

Yours truly,



Kelly Kloss
City Clerk

/bg
encl.

L.u.B. 3156/11-2003
Data Source: 264045
Main Doc: 264350

OwnerName	OwnerAdd1	OwnerAdd2	Own
Seth Anders	P.O. Box 399	RED DEER, AB T4N 5E9	
Inglewood Communities Inc.	900 10310 Jasper	EDMONTON, AB T5J 1Y8	
Thorvald Nielsen	32 Parsons Close	RED DEER, AB T4P 2C8	
Calgary Power Ltd	Box 1900 Station	CALGARY, AB T2P 2M1	

Inglewood West Phase 4 Land Use Bylaw Amendment

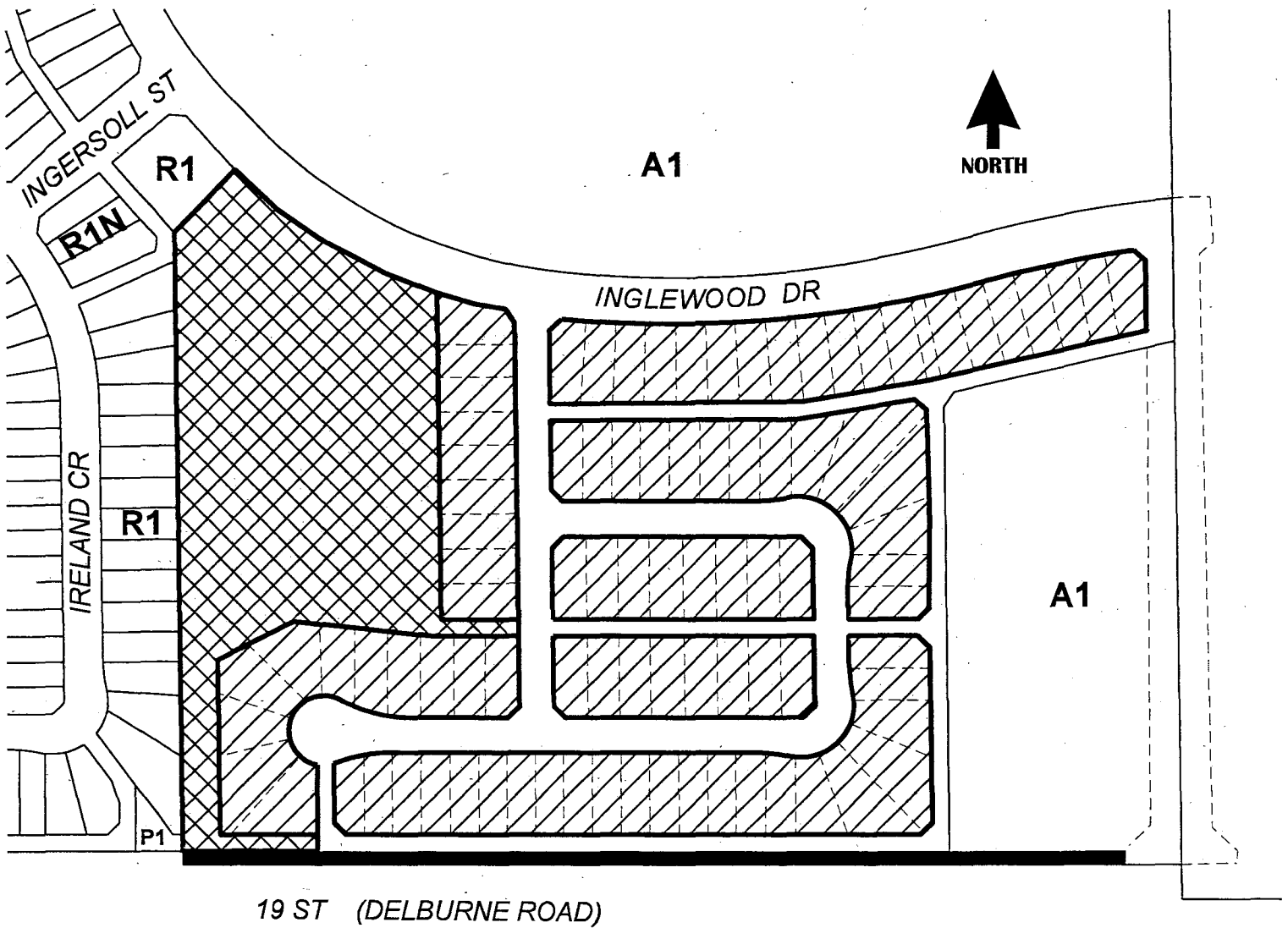
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"Map"

City Council will hear from any person claiming to be affected at a Public Hearing on **Tuesday, April 22, 2003** at 7:00 p.m. in Council Chambers, 2nd floor of City Hall. If you want your letter or petition included on the Council agenda you must submit it to the City Clerk by **Tuesday, April 15, 2003**. Otherwise, you may submit your letter or petition at the Council meeting or you can simply tell Council your views at the Public Hearing. Any submission will be public information. If you have any questions regarding the use of this information, please contact the City Clerk's Office at 342-8132.

Kelly Kloss
City Clerk

(Publication Dates: April 4 & 11, 2003)



AFFECTED DISTRICTS:
 A1 - Future Urban Development
 R1 - Residential (Low Density)
 P1 - Parks and Recreational

Change from :

A1 to R1



A1 to P1



A1 to Road




Date: March 28, 2003
To: Norma Lovell, Assessment
From: Cheryl Adams
City Clerk's Department

Re: LUB Amendment 3156/M-2003 Inglewood West Phase 4

Please provide Bev Greter with the names and addresses of the subject property owners and all contiguous/adjacent property owners as outlined on the attached map.

It would be helpful if the lists could be received at your earliest convenience in order to process the letters within the required time period. I have attached the map that appeared on the Council agenda for your reference.

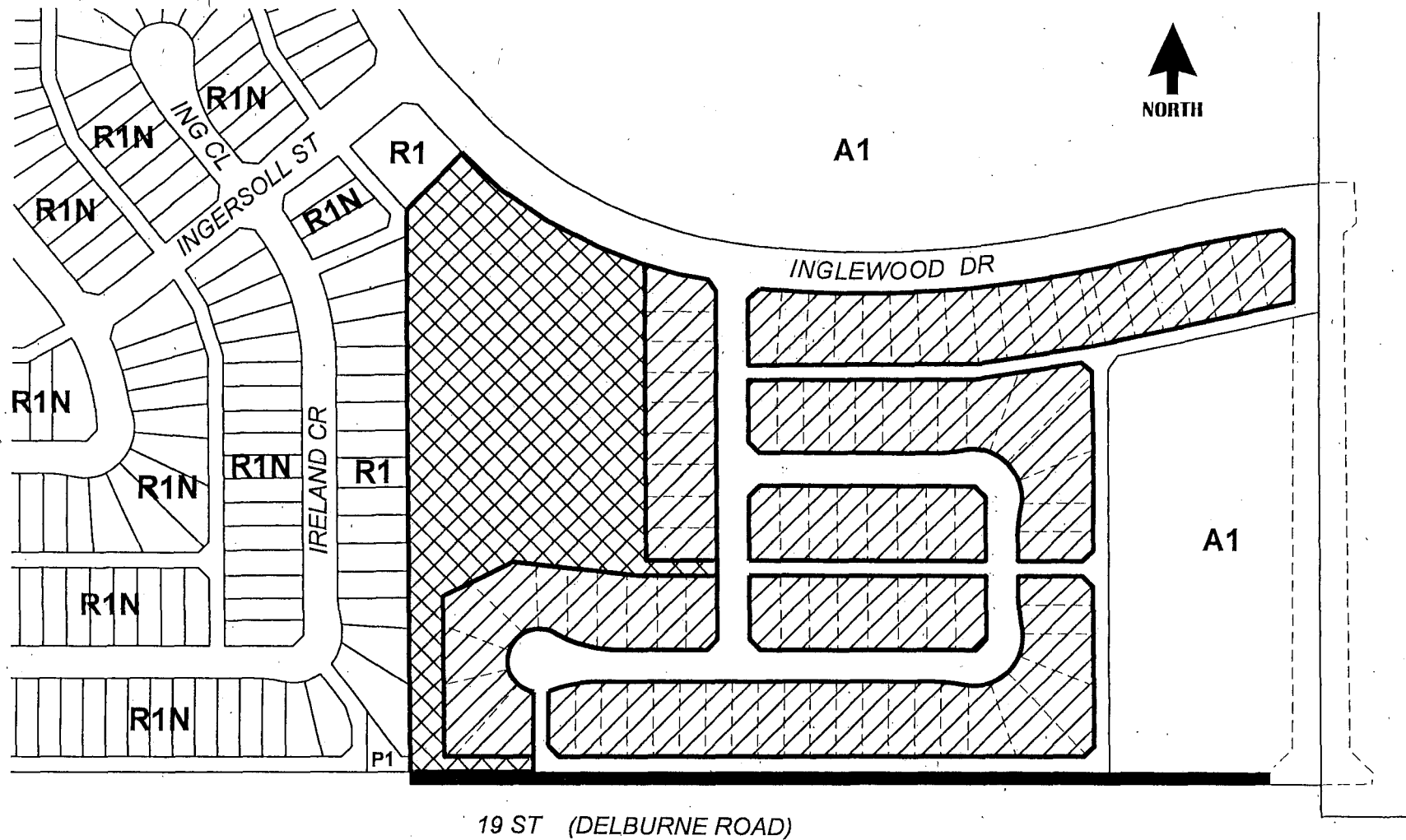
Thanks Norma.


Cheryl Adams
City Clerks' Office

Attach.

The City of Red Deer

PROPOSED LAND USE BYLAW AMENDMENT



AFFECTED DISTRICTS:

A1 - Future Urban Development

R1 - Residential (Low Density)

P1 - Parks and Recreational

Change from :

A1 to R1

A1 to P1

A1 to Road



MAP No. 11 / 2003

BYLAW No. 3156 / M - 2003



CITY CLERK'S DEPARTMENT
March 25, 2003

Fax: 343-7510

Melcor Developments Ltd.
502, 4901 – 48 Street
Red Deer, AB T4N 6M4

Dear Sir:

Land Use Bylaw Amendment 3156/M-2003
Part of the SW ¼ Sec. 3-38-27-4
Inglewood West – Phase 4
Inglewood Communities Inc.

Red Deer City Council gave first reading to *Land Use Bylaw Amendment 3156/M-2003* at the City of Red Deer's Council Meeting held Monday, March 24, 2003. A copy of the bylaws is attached for your information.

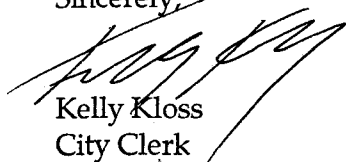
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Council must hold Public Hearings before giving second and third readings to the bylaws. This office will now advertise for Public Hearings to be held on Tuesday, April 22, 2003 at 7:00 p.m. in Council Chambers of City Hall during Council's regular meeting.

According to the *Land Use Bylaw*, the City requires a deposit before public advertising. An amount equal to the estimate cost of advertising, which in this instance is \$400, is required by Wednesday, April 2, 2003. You will be invoiced for or refunded the difference once the actual cost of advertising is known.

Please call if you have any questions or require additional information.

Sincerely,



Kelly Kloss
City Clerk
KK/chk
/attach.

c Parkland Community Planning Services
C. Adams, Administrative Assistant



Council Decision – March 24, 2003

City Clerk's Department

DATE: March 25, 2003
TO: Frank Wong, Parkland Community Planning Services
FROM: Kelly Kloss, City Clerk
SUBJECT: Land Use Bylaw Amendment 3156/M-2003
Part of the SW ¼ Sec. 3-38-27-4
Inglewood West – Phase 4
Inglewood Communities Inc.

Reference Report:

Parkland Community Planning Services, dated March 17, 2003

Bylaw Readings:

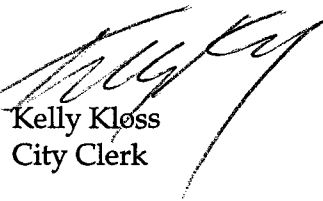
Land Use Bylaw Amendment 3156/M-2003 was given first reading. A copy of the bylaw is attached.

Report Back to Council: Yes

A Public Hearing will be held on Tuesday, April 22, 2003 at 7:00 p.m. in Council Chambers during Council's regular meeting.

Comments/Further Action:

Land Use Bylaw Amendment 3156/M-2003 provides for the development of Phase 4 of the Inglewood West Subdivision. Phase 4 will consist of 91 single-family lots, 2 public utility lots and 1 municipal reserve lot. Approximately 9.36 ha (23.13 acres) of land will be rezoned from A1 Future Urban Development District to R1 Residential Low Density, P1 Parks and Recreation District and Road. This office will now proceed with the advertising for a Public Hearing. Melcor Developments will be responsible for the advertising costs in this instance.



Kelly Kloss
City Clerk

/chk

/attach.

c Director of Development Services
 Inspections & Licensing Manager
 Land & Economic Development Manager
 C. Adams, Administrative Assistant
 B. Greter, Clerk Steno, City Clerk's

BYLAW NO. 3156/M-2003

Being a bylaw to amend Bylaw No. 3156/96, the Land Use Bylaw of the City of Red Deer.

COUNCIL OF THE CITY OF RED DEER, ALBERTA, ENACTS AS FOLLOWS:

- 1 The "Use District Map I4" contained in "Schedule B" of the Land Use Bylaw is hereby amended in accordance with the Land Use District Map No. 11/2003 attached hereto and forming part of the bylaw.

READ A FIRST TIME IN OPEN COUNCIL this 24th day of March 2003.

READ A SECOND TIME IN OPEN COUNCIL this day of 2003.

READ A THIRD TIME IN OPEN COUNCIL this day of 2003.

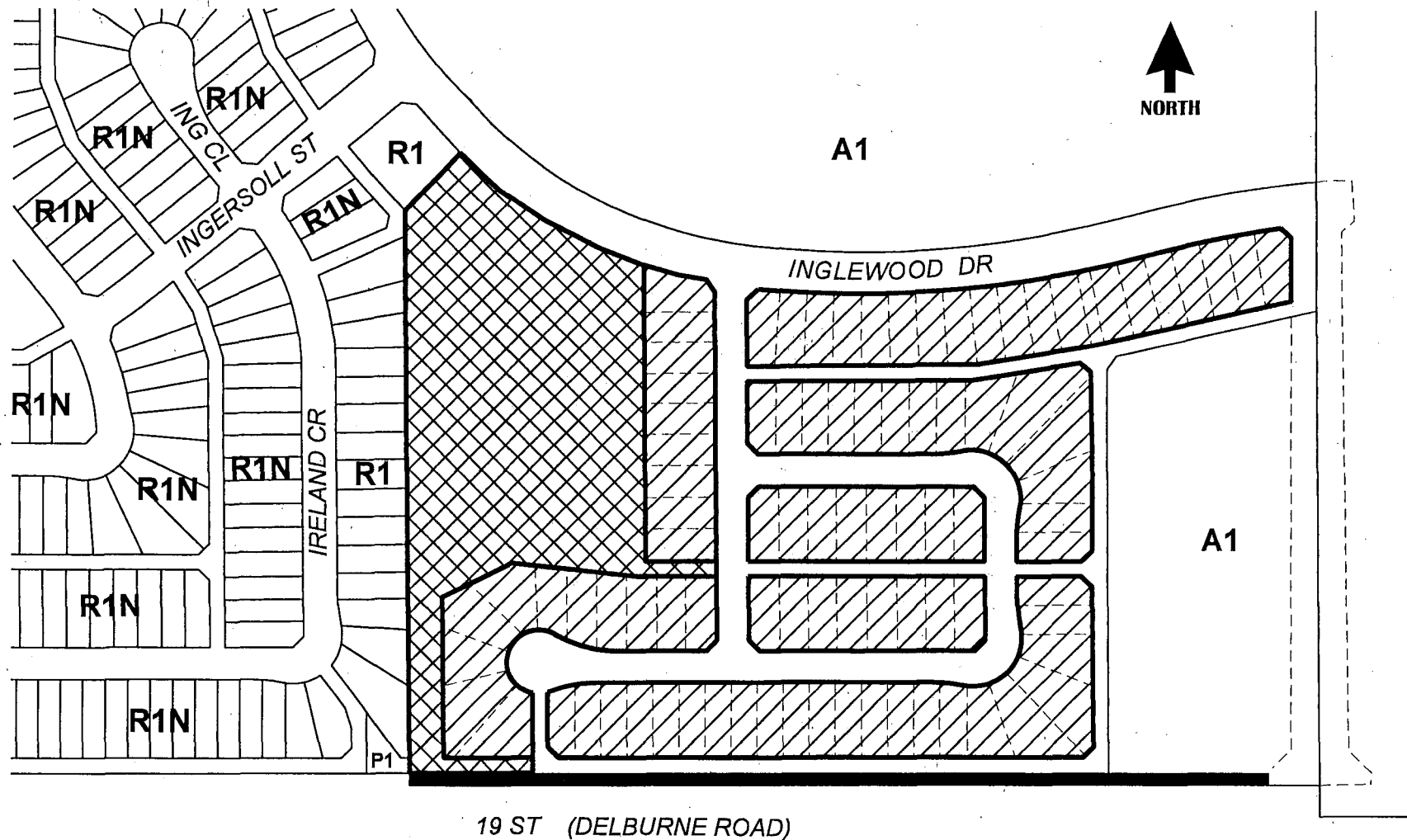
AND SIGNED BY THE MAYOR AND CITY CLERK this day of 2003.

MAYOR

CITY CLERK

The City of Red Deer

PROPOSED LAND USE BYLAW AMENDMENT



AFFECTED DISTRICTS:

A1 - Future Urban Development

R1 - Residential (Low Density)

P1 - Parks and Recreational

Change from :

A1 to R1



A1 to P1



A1 to Road



MAP No. 11 / 2003
BYLAW No. 3156 / M - 2003



CITY CLERK'S DEPARTMENT

FILE

April 23, 2003

Melcor Developments Ltd.
502, 4901 – 48 Street
Red Deer, AB T4N 6M4

Dear Sir:

Land Use Bylaw Amendment 3156/M-2003
Part of the SW ¼ Sec. 3-38-27-4
Inglewood West – Phase 4
Inglewood Communities Inc.

At the City of Red Deer's Council meeting held April 22, 2003 a Public Hearing was held with respect to *Land Use Bylaw Amendment 3156/M-2003*. Following the Public Hearing, *Land Use Bylaw Amendment 3156/M-2003* was given second and third readings, a copy of which is attached.

Land Use Bylaw Amendment 3156/M-2003 provides for the development of Phase 4 of the Inglewood West Subdivision. Phase 4 will consist of 91 single-family lots, 2 public utility lots and 1 municipal reserve lot. Approximately 9.36 ha (23.13 acres) of land will be rezoned from A1 Future Urban Development District to R1 Residential Low Density, P1 Parks and Recreation District and Road.

Please do not hesitate to contact me should you have any questions or require further clarification.

Sincerely,

Nona Housenga
Deputy City Clerk

NH/chk
/attach.

c Parkland Community Planning Services
C. Adams, Administrative Assistant

BYLAW NO. 3156/M-2003

Being a bylaw to amend Bylaw No. 3156/96, the Land Use Bylaw of the City of Red Deer.

COUNCIL OF THE CITY OF RED DEER, ALBERTA, ENACTS AS FOLLOWS:


- 1 The "Use District Map I4" contained in "Schedule B" of the Land Use Bylaw is hereby amended in accordance with the Land Use District Map No. 11/2003 attached hereto and forming part of the bylaw.

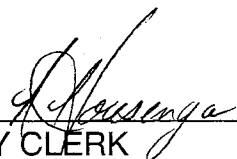
READ A FIRST TIME IN OPEN COUNCIL this 24th day of March 2003.

READ A SECOND TIME IN OPEN COUNCIL this 22nd day of April 2003.

READ A THIRD TIME IN OPEN COUNCIL this 22nd day of April 2003.

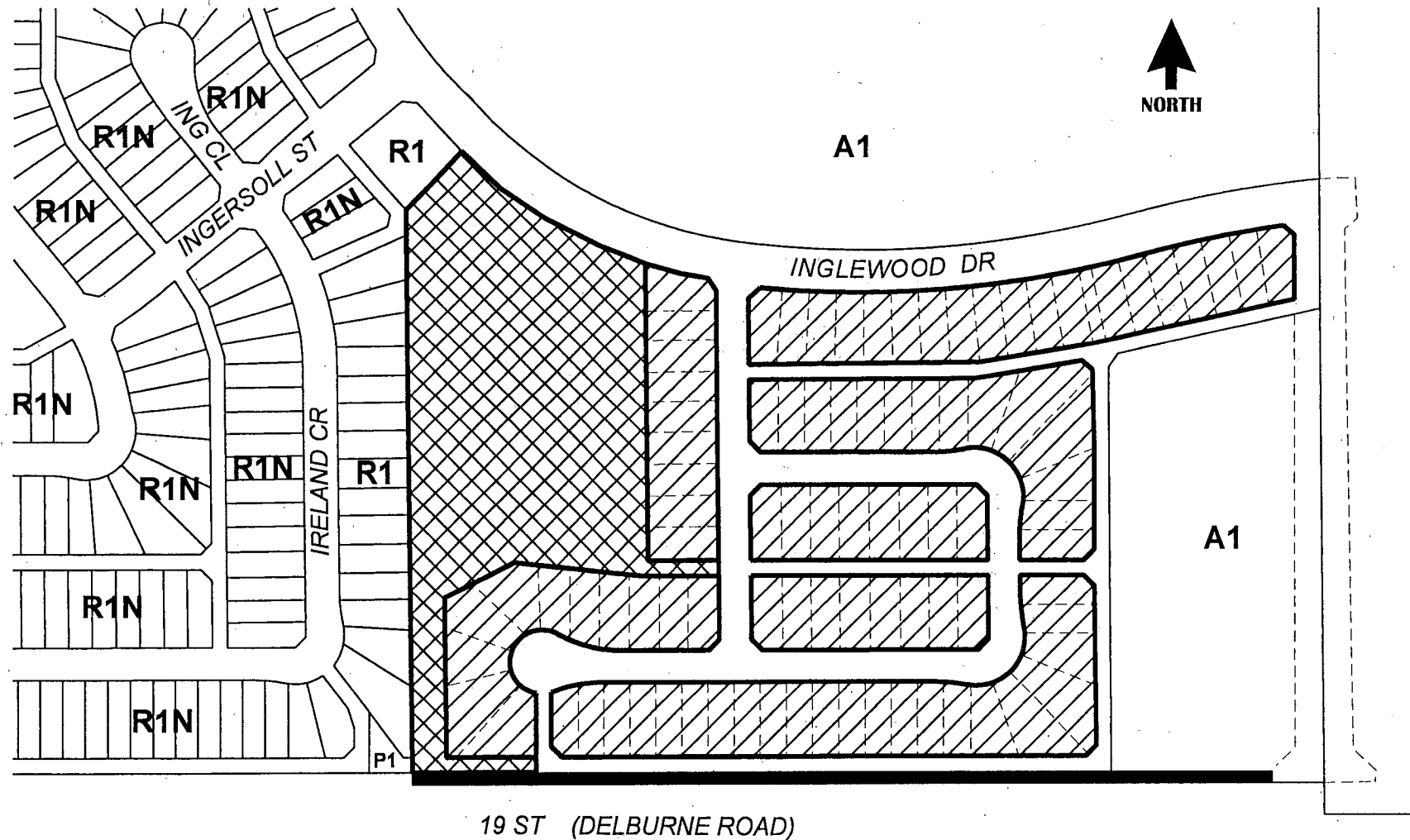
AND SIGNED BY THE MAYOR AND CITY CLERK this 22nd day of April 2003.


MAYOR


Deputy CITY CLERK

The City of Red Deer

PROPOSED LAND USE BYLAW AMENDMENT



AFFECTED DISTRICTS:

A1 - Future Urban Development

R1 - Residential (Low Density)

P1 - Parks and Recreational

Change from :

A1 to R1



A1 to P1



A1 to Road



MAP No. 11 / 2003

BYLAW No. 3156 / M - 2003

FILE



Council Decision – April 22, 2003

City Clerk's Department

DATE: April 23, 2003
TO: Frank Wong, Parkland Community Planning Services
FROM: Nona Housenga, Deputy City Clerk
SUBJECT: Land Use Bylaw Amendment 3156/M-2003
Part of the SW ¼ Sec. 3-38-27-4
Inglewood West – Phase 4
Inglewood Communities Inc.

Reference Report:

City Clerk, dated March 25, 2003 and Parkland Community Planning Services, dated March 17, 2003

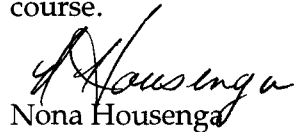
Bylaw Readings:

Land Use Bylaw Amendment 3156/M-2003 was given second and third readings. A copy of the bylaw is attached.

Report Back to Council: No

Comments/Further Action:

Land Use Bylaw Amendment 3156/M-2003 provides for the development of Phase 4 of the Inglewood West Subdivision. Phase 4 will consist of 91 single-family lots, 2 public utility lots and 1 municipal reserve lot. Approximately 9.36 ha (23.13 acres) of land will be rezoned from A1 Future Urban Development District to R1 Residential Low Density, P1 Parks and Recreation District and Road. This office will amend the Land Use Bylaw and distribute copies in due course.


Nona Housenga

Deputy City Clerk

/chk
attchs.

c Director of Development Services
 Inspections and Licensing Manager
 Land & Economic Development Manager
 City Assessor
 D. Kutinsky, Graphics Designer
 C. Adams, Administrative Assistant
 B. Greter, City Clerk's, Clerk Steno

BYLAW NO. 3156/M-2003

Being a bylaw to amend Bylaw No. 3156/96, the Land Use Bylaw of the City of Red Deer.

COUNCIL OF THE CITY OF RED DEER, ALBERTA, ENACTS AS FOLLOWS:


- 1 The "Use District Map I4" contained in "Schedule B" of the Land Use Bylaw is hereby amended in accordance with the Land Use District Map No. 11/2003 attached hereto and forming part of the bylaw.

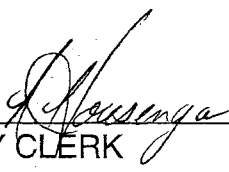
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READ A SECOND TIME IN OPEN COUNCIL this 22nd day of April 2003.

READ A THIRD TIME IN OPEN COUNCIL this 22nd day of April 2003.

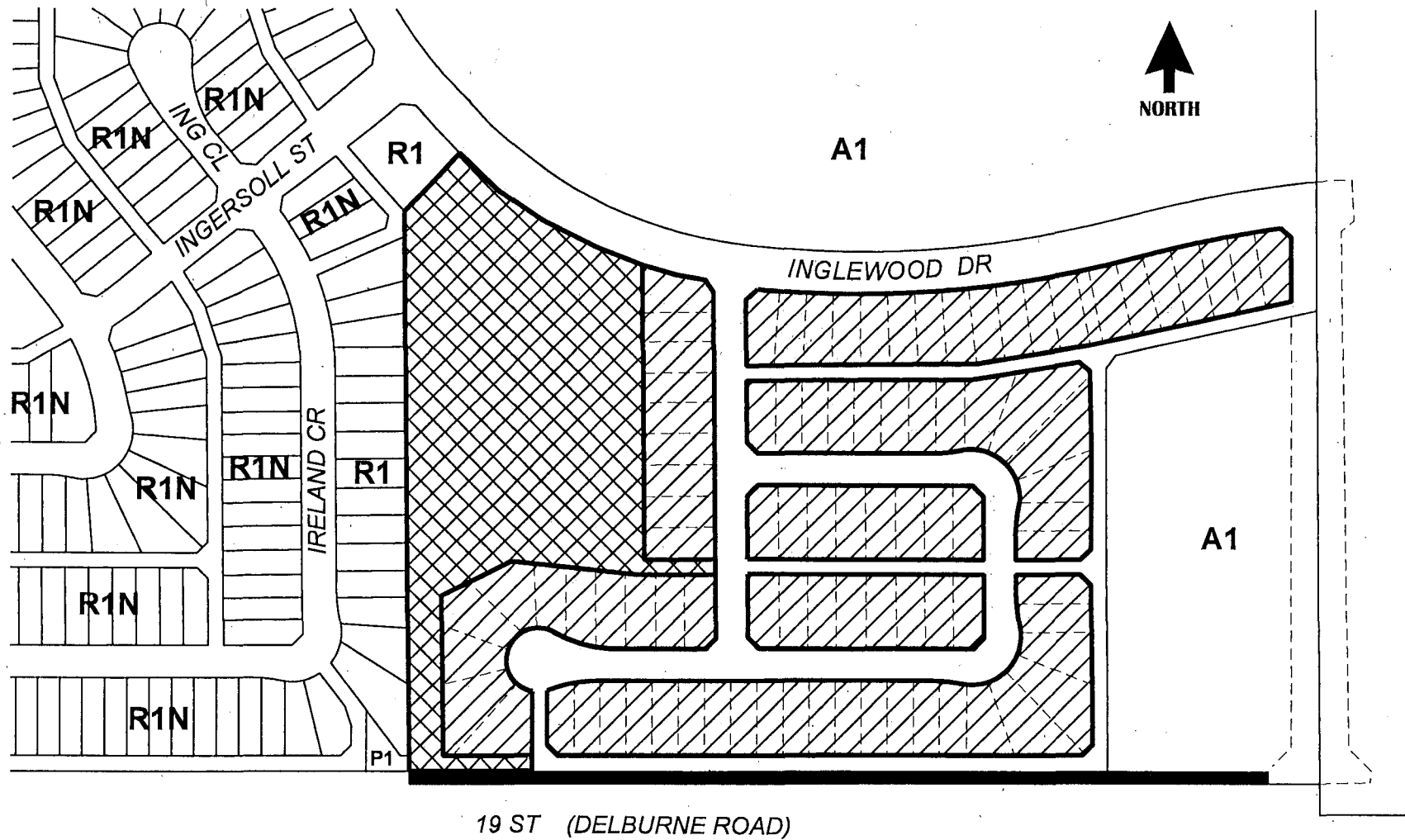
AND SIGNED BY THE MAYOR AND CITY CLERK this 22nd day of April 2003.


MAYOR


Deputy CITY CLERK

The City of Red Deer

PROPOSED LAND USE BYLAW AMENDMENT



AFFECTED DISTRICTS:

A1 - Future Urban Development

R1 - Residential (Low Density)

P1 - Parks and Recreational

Change from :

A1 to R1



A1 to P1



A1 to Road



MAP No. 11 / 2003

BYLAW No. 3156 / M - 2003

**City Clerk's Department**

DATE: March 25, 2003
TO: City Council
FROM: Kelly Kloss, City Clerk
SUBJECT: Land Use Bylaw Amendment 3156/N-2003
Various Items to Improve Clarity of the Land Use Bylaw

History

At the Monday, March 24, 2003 Council meeting, Council gave first reading to Land Use Bylaw Amendment 3156/N-2003.

Land Use Bylaw Amendment 3156/N-2003 provides clarification to the Land Use Bylaw for the following:

- Conflict between the Municipal Government Act and the Land Use Bylaw related to Heritage Preservation
- Social Care Residences: Discretionary Use/Addition of Social Care Residences
- Cross Reference to Figure 9 – Vehicle Sight Lines on Corner Lots
- Retirement Homes – Clarification of Discretionary Use in R1 Residential Low Density District
- Places of Worship – Addition to the Land Use Tables
- Prohibiting of Adult Oriented Business in C3 District (Small Neighbourhood Commercial Sites)
- Office Use / Commercial Service Facility – Clarification to General Purpose of C1 District
- Duplicate Uses in the C2 Regional Shopping Centre District
- Remove Office/Add Medical and Health to the C2 District Shopping Centre District
- Exceptions – Two Exceptions no longer required: Security Suite in a Car Wash Facility and Sales & Service of Mobile Homes on the M & K Homes site
- Neighbourhood Commercial District Site Size – Increase maximum site area of the C3 District
- Definitions – Addition of Four New Definitions: Institutional Housing, Day Care Adult, Gross Leasable Area and Hostel
- Vehicle Weight – Increase of Limits on Weight of Commercial Vehicles in Residential Areas

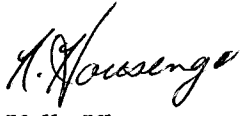
Memo to City Council
Land Use Bylaw Amendment 3156/N-2003
Page 2

Public Consultation Process

A Public Hearing has been advertised for Tuesday, April 22, 2003 at 7:00 p.m. in the Council Chambers during Council's regular meeting.

Recommendations

That following the Public Hearing, Council proceed with second and third readings of the bylaw.

fw: 
Kelly Kloss
City Clerk

/chk

MEMO

DATE: April 15, 2003

TO: KELLY KLOSS
City Clerk

FROM: GREG SCOTT, Manager
Inspections & Licensing Department

RE: MEMO FROM MR. PRESTON PARKS
COMMERCIAL VEHICLE WEIGHT

In response to the memo received from Mr. Preston Parks, dated April 9, 2003, please find the following:

1. Throughout the review of Section 44 of the Land Use Bylaw the "tare" weight of vehicles was considered and it is this weight that is reflected in the report drafted by Joyce Boon, Permits & Licensing Supervisor. The "tare" weight is the basic vehicle chassis weight without equipment add-ons.
2. Regarding Mr. Parks' reference to an email from myself dated April 3, 2003, that indicates the weight allowance within Section 44 be increased from 2040 kg to 4500 kg, this was a communication error. The proposed Land Use Bylaw amendment being recommended to City Council reflects a maximum vehicle "tare" weight of 4000 kg. The Inspections & Licensing Department supports this recommendation.

Kelly, if you have any further questions, please contact me at 8195.



GREG SCOTT
MANAGER
INSPECTIONS & LICENSING DEPARTMENT

GS/kb

cc Bryon Jeffers, Director of Development Services
Joyce Boon, Permits & Licensing Supervisor

10 Orwell Close
Red Deer, Alberta
T4N 5J2
April 9th, 2003

To the Members of City Council
City Hall
Red Deer, Alberta.

Subject -Reading of Changes of By-Law Section #44
Commercial Vehicle weight --April 22,2003

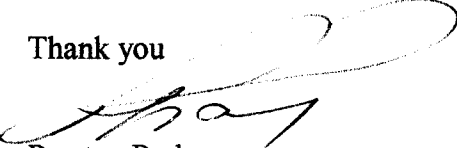
It has now become very difficult for me to be able to go in front of the Council of the City of Red Deer to discuss the above topic on vehicle weights.

As shown Schedule #1 which was read at the Council meeting of March 14th and passed as is states the vehicle weight to be 4000 kilos

As shown in the e-mail Schedule #2 from Greg Scott By-laws in answer to my inquiry it show the weight change from 2040 kilos to 4500 kilos..
To set out the weights to 4500 kilos was only a recommendation.

When there is conflict when by-laws have been passed at first reading then this by-laws amendment should be canceled and the by-law process should start over so anyone that wishes to object has the actual by-law in front of him so he can make a decision based on fact not two different answers.

Thank you



Preston Parks

Cc: <"Norbert Van Wyk"@dewey2.city.red-deer.ab.ca>, <"Deb Mann"@dewey2.city.red-deer.ab.ca>
 Sent: Thursday, April 03, 2003 7:37 PM
 Subject: Blue Flame Towing
 Mr. Van Wyk has asked that I respond back to your e-mail of April 2nd, 2003.

As you are aware the Inspections and Licensing Department is completing a review of section # 44 of the Land Use Bylaw, which states:

"Except for one commercial vehicle of tare weight not exceeding 2,040 kg which may be parked in the rear yard, no motor vehicle other than a passenger vehicle shall be parked on a site in any residential district for longer than is necessary to load or unload".

Based on this review a Land Use Bylaw amendment is being proposed to City Council to increase the weight allowance within Section # 44, from 2040 kg to 4500 kg. The amendment's first reading was held with Council on March 14th and the public hearing is scheduled for April 23rd. At this time a final decision will be made by City Council.

The City of Red Deer License Inspector issued Blue Flame Towing an interim Home Occupation License extension to April 30th / 2003. The intent of this extension was to allow the appropriate amount of time to complete the review process, allow time for City Council to review any amendments plus provide the License Inspector time to work with Blue Flame Towing and their Home Occupation License.

Mr. Parks I hope this provides you with the information you requested.

Sincerely,

Greg Scott

SCHEDULE #2

4/3/03

100 (1) Sites in total not to exceed
whole shopping centre"

reasonable area of the

- 17 That Section 54 Exceptions Respecting Land Use is amended by deleting Subsections 54(4)(g) and 54(4)(i) in whole.
- 18 That Subsection 117(9) C3 Commercial (Neighbourhood Convenience) District Regulations be deleted and replaced in whole with the following:

"117 (9)	Site Area	minimum	378m ²
		maximum	4047m ²

- 19 That Subsection 111(7) C2 Commercial (District Shopping Centre) District Regulations be deleted and replaced in whole with the following:

"111 (7) Health and Medical Services

- 20 That Section 44 be deleted and replaced in whole with the following:

"Except for one commercial vehicle of tare weight, not exceeding 4000 kg which may be parked in the rear yard, no motor vehicle other than a passenger vehicle shall be parked on a site in any residential district for longer than is necessary to load or unload the same."

READ A FIRST TIME IN OPEN COUNCIL this day of 2003.

READ A SECOND TIME IN OPEN COUNCIL this day of 2003.

READ A THIRD TIME IN OPEN COUNCIL this day of 2003.

AND SIGNED BY THE MAYOR AND CITY CLERK this day of 2003.

MAYOR

CITY CLERK

SCHEDULE

I

Date: March 13, 2003
To: Kelly Kloss, City Clerk
From: Parkland Community Planning Services
Re: Land Use Bylaw Amendment 3156/N-2003
Various LUB Amendments

Planning, Inspections and Licensing and Legal staff review the Land Use Bylaw on an ongoing basis to identify areas where the clarity of the land use bylaw can be improved and to identify anticipated problems and/or errors. At least once per year these issues are addressed through a land use bylaw amendment which addresses each issue. The following issues are proposed to be resolved in Bylaw 3156/N-2003.

1 Potential Conflict between the Municipal Government Act and the Land Use Bylaw related to Heritage Preservation

The Municipal Government Act requires that a decision on a development permit be issued within 40 days of the application. The Heritage Significance District indicates that an applicant has to wait up to 45 days before comments are received from the Heritage Preservation Committee related to an application to demolish a heritage building.

These two timelines may come into conflict where an applicant applies for a demolition permit and a development permit at the same time. The development authority would be required to issue a decision on a replacement building potentially before hearing from the Heritage Preservation Committee. In order to ensure that the Heritage Preservation Committee has adequate time to respond and to remove the potential conflict with the Municipal Government Act, the Land Use Bylaw is proposed to be amended to require the comments of the Heritage Preservation Committee as part of the information submitted for a development permit, where demolition of a historically significant building or site is proposed. By requiring this information as part of the development permit application, the potential conflict with the Municipal Government Act is avoided.

Bylaw Amendment 3156/N-2003...page 2

2. Social Care Residences-Discretionary Use/Addition of Social Care Residences

Social Care Residences are currently included as a permitted use in the R3 residential district which means that the use would be automatically approved without reference to MPC. This amendment proposes to eliminate Social Care Residences as a permitted use and move it to the discretionary use table. This will allow MPC to review the appropriateness of the location and assess its impact on the density of a neighbourhood. The Social Planning Department is in support of this amendment.

There is no provision for social care residences in the Downtown area. Many of the social care providers are looking for a central location to serve the city. It is proposed to add this use as a discretionary use in the C1 and C1A Districts. By adding the use as discretionary, MPC can review the location to ensure that it would be suitable for the proposed use.

3. Cross reference to Figure 9

Figure 9 in the Land use Bylaw was developed by Engineering Services to ensure that vehicle sight lines are maintained on corner lots. This bylaw amendment will cross reference the sight line diagram in each applicable land use district so that it is more evident to home builders.

4. Retirement Homes

Retirement Homes are included as an individual use within each of the residential districts. This discretionary use is proposed to be amended in the R1 Residential Low Density District to clarify that it will be allowed in a single family dwelling only. This change is supported by the Social Planning Department.

5. Places of Worship

Each Neighbourhood Area Structure Plan is required to have one site for a Place of Worship as well as one site for social care/daycare/retirement home. Place of Worship is not however listed in the Land Use Bylaw's land use table. This amendment will add the use to the land use tables.

Bylaw Amendment 3156/N-2003...page 3

6. Adult Oriented Businesses in Neighbourhood Commercial Sites

Based upon controversy in the City of Edmonton wherein an adult oriented business moved into a neighbourhood commercial site, Inspections and Licensing, Planning and legal staff have reviewed the C3 zoning in terms of adult oriented business. It was the opinion of all staff that the small C3 sites (0.038 ha – 0.4 ha in size) would not be appropriate for adult oriented businesses. The small size of the C3 centres could easily be dominated by an adult only use, which may impact negatively on the neighbourhood and other tenants. There have been no applications related to locating an adult oriented business in the C3 District. It is proposed that this use be prohibited from the C3 District.

7. Office Use/Commercial Service Facility

In order to clarify Council's intent to maintain the downtown as the primary location for office use, legal counsel has recommended an amendment to the general purpose of the C1 District and an amendment to the definition of commercial service facility. These amendments will provide a better explanation of the land use bylaw's intent if the bylaw is challenged through the legal system. A small change to the definition of office is proposed deleting reference to financial outlets to avoid a conflict with the definition for commercial service facility. The definition for Commercial Service Facility has been combined with the definition for "personal service" and made more explicit in its intent. The term personal service has been deleted from the land use bylaw.

8. Duplicate Uses in the C2 Regional Shopping Centre District

The C2 Regional Shopping Centre District allows up to 5% office to be located in the shopping centre. This office use is duplicated in both the permitted use list and a discretionary use list. This bylaw amendment will eliminate the duplication by deleting the discretionary use and allowing 10% as a permitted use.

9. Remove Office/Add Medical and Health to the C2 District Shopping Centre District

The C2 District Centres have been functioning as a larger scale neighbourhood commercial development with a grocery store, retail and medical facilities. At the request of Save-on Foods, we have reviewed the uses in the district and compared

Bylaw Amendment 3156/N-2003...page 4

them with the commercial demands and function of the centre. After discussions with the shopping centre owners, we are proposing to remove "Office in total, not to exceed 10% of the gross leasable area of the whole shopping centre) and replace it with "Health and Medical Services". This amendment will mean that no non medical or health related offices such as lawyers, accountants or consulting offices may be located in District Shopping Centres however there will be not limit to the number of health and medical Services allowed. This amendment will mean that the District Shopping centres will be treated in the same manner as C3 sites and will serve a multi-neighbourhood function in terms of providing medical services. This amendment has been reviewed for consistency with the Municipal Development Plan and the Greater Downtown Action Plan and would not conflict with either plan.

10. Exceptions

Two of the existing "Exceptions" in the Land Use Bylaw are no longer required. The security suite in a car wash facility is no longer required as the site was acquired by Woody's RV Sales and the former security quarters is now used for storage. The sales and service of mobile homes on the M&K Homes site is no longer required because the site has been rezoned to the C4 Commercial (Major Arterial) District which already allows this use.

11. Neighbourhood Commercial District Site Size

The maximum site area of the C3 District is being increased from 0.25 ha to 0.405 ha. This reflects the new Neighbourhood Planning and Design Guidelines and Standards adopted by the City of Red Deer and reflects market demands of larger commercial sites in neighbourhoods.

12. Definitions

In order to clarify items in the land use bylaw, four new definitions have been added for institutional housing, Day Care Adult, Gross Leasable Area and Hostel.

"Institutional Housing" means any public or non profit housing which is designed for the treatment or care of persons who are in an institutional setting such as a monastery, nunnery or religious retreat or for residents incapable of independent living.

Bylaw Amendment 3156/N-2003...page 5

"Hostel" means short term lodging for travelers where patrons pay for accommodation.

"Day Care Adult" means a facility providing care and/or supervision for 7 or more adults for more than three but less than 24 consecutive hours in a day.


"Gross Leasable Area" or "GLA" means the sum of the areas of the all plans of a building measured to the glass line, or where there is no glass line to the outside surface of the exterior walls, or where the buildings are separated by firewalls to the center line of the common firewall, and includes all floors totally or partially including basements, mezzanines and upper floors and all mechanical equipment areas.

Based upon the new definition, it is proposed to move "hostel" to a discretionary use in the C1 District.

Day Care Adult will be added to all districts as an optional use for the Day Care, Social Care or Retirement Home site which is designated in a Neighbourhood Area Structure Plan.

13 Vehicle Weight

In order to protect city roadways and to preserve the residential character of neighbourhoods, the city has a limitation on the weight of commercial vehicles in residential areas. After a review by the Inspections and Licensing Department and Engineering Services Department, these departments have recommended that the limit be increased from 2040 kilograms to 4000 kilograms. This will bring the city into the mid range of limits in other cities. A memo explaining this change from the Inspections and Licensing Department is attached.



Frank Wong,
Planning Assistant

Attachments



DATE: January 20, 2003

TO: Greg Scott – Manager Inspections & Licensing Department

FROM: Joyce Boon
Permits & Licensing Supervisor

RE: Amendment to Land Use Bylaw commercial vehicle weights

As you are aware we have been considering having City Council review section 44 of the Land Use Bylaw, which states:

Except for one commercial vehicle of tare weight not exceeding 2,040 kg which may be parked in the rear yard, no motor vehicle other than a passenger vehicle shall be parked on a site in any residential districts for longer than is necessary to load or unload.

History

This weight of 2,040 kg has been in the Land use Bylaw prior to 1980. Since this time permitted as well as discretionary home occupations business have been approved. We presently have ??? home occupations licensed within the City of Red Deer with many varied uses from the home. Many of these business have commercial vehicles associated with the business that weigh more than 2,040kg. Such as tow trucks, plumbers, electricians, general contractors, courier services, etc..

A vehicle of 2,040 kg is approximately = 4,495 pounds

A number of years ago it was common to have a vehicle that weighed 2,040kg however with the change in the type of vehicles and the construction of vehicles an average vehicle such as:

Four door mid size vehicle such as a Honda weighs	1400 kg
Dodge Diesel Pickup Truck weighs –	3200 kg
Cube Van – Delivery vehicle weighs-	3500kg
Electrical/Plumbing contractor etc van –	3000 kg
¾ ton tow truck-	5000 kg
Ford crew cab -	2200kg (unloaded)

A number of commercial business have been approved as permitted or discretionary uses in residential neighborhoods and it has come to our attention that the commercial

vehicles they use or bring home into the residential area exceed the regulations of the Land Use Bylaw section 44, of 2,40 kg.

Other Municipalities

Upon reviewing the Land Use regulations of various other municipalities it appears that 4000 kg – 4500 kg is a standard weight in residential zonings

Edmonton – section 45(1) – no more than one commercial vehicle of a maximum gross vehicle weight of 4,000 kg in a residential zoned.

Calgary – section 10(c) a commercial vehicle of a gross vehicle weight in excess of 4000 kg shall not be allowed to remain on a lot except while actively engaged in loading or unloading in a residential zone.

City of Medicine Hat – The maximum permitted weight of the vehicle shall not exceed 4000kg. The development authority may allow a vehicle with a maximum weight of 4500kg (discretionary)

City of Grande Prairie – the maximum permitted with of vehicle in a residential area including vehicles related to home occupation shall not exceed 8000kg

Rationale

It would seem that a number of home occupations have been approved and are operating with commercial vehicles that exceed the present Land Use Bylaw. In our opinion by increasing the gross vehicle weight within a residential area will not cause an increase amount of commercial vehicles within the area, it would bring the Bylaw into line with what is actually happening in the residential areas. It would still be the intent of the Inspections and Licensing Department to review each home occupation on its own merit. From the information that we have received 4000kg appears to be a standard weight used within other municipalities in Alberta.

Recommendation

Recommend that we look at amending our Land Use Bylaw, section 44, from 2,040 kg to 4000kg in a residential zone and allowing up to 4500kg be a discretionary use to be approved by the development authority.



City Clerk's Department

FILE

DATE: April 14, 2003
TO: City Council
FROM: City Clerk
SUBJECT: Letter from Preston Parks – Dated April 9, 2003
Blue Flame Towing

The attached correspondence from Preston Parks relates to the Land Use Bylaw Amendment 3156/N-2003 that will appear on the April 22nd Council Agenda for Public Hearing.

The Inspections & Licensing Manager is aware of this letter and once the Land Use Bylaw Amendment 3156/N-2003 is dealt with, Mr. Scott will follow up on the attached letter from Mr. Parks.

A handwritten signature in black ink, appearing to read 'Kelly Kloss'.

Kelly Kloss
City Clerk

KK/chk

/attach.

c Inspections & Licensing Manager

ORIGINAL

10 Orwell
Red De
T4N 5

April 9th, 2003

To the Members of City Council of Red Deer.
City Hall
Red Deer, Ab.

To whom it may concern:

Please find my letter of my concerns still in regard to the operation of Blue Flame Towing company from 11 Orwell Close in a residential area. This disagreement with myself and the City has now been going on for a period of approximately one year.

I did not cause this problem it all began when the City of Red Deer issued a "Office only" in the home occupations class. But with this Office only we received a tow truck and all the goodies that go along with it. As shown in my previous statement and this statement it is operating just as though it was in a semi-industrial area.

I believe the City Council should look at the bylaws and close this problem once and for all.

Thank you


Preston Parks.

Subject: Blueflame Towing;
11 Orwell Close
Red Deer, Alberta
T4N 5J2

Glossary of terms:

Favoritism, Intimidation, Manipulation, Rights, Protection, Benefit, Charter of Rights.
Quality of life. Preferential treatment, Enhancement of property, Additions to residential area such as noise, nuisance. Ignorance of the law -no excuse as all land use bylaws are available at City Hall or on the Internet.

FACT --Date January 20,2003 SCHEDULE 1 ATTACHED

Letter from City of Red Deer advising this firm to cease operations until they placed their tow truck in a other area not in the backyard.

FACT --Date February 2003 SCHEDULE 11 ATTACHED

Received E-mail letter from Bylaws stating this firm was given an extension of City License until April 17th, 2003. **Who authorized the Renewal of License?**

Under what Municipal Act?

This extension actually overruled the Charter of Rights Federal Legislation by not giving me the right of protection or of benefit of the law.

FACT --Date January 27,2003 SCHEDULE 111 ATTACHED

Received E-mail from Bylaws department stating that the Operating of a towing company from a residential area did not create extra traffic. I question this decision and I would like to receive a complete copy of this persons background and experience in the Inspection and Bylaws Department that a towing service does not significantly increase the traffic in the area experience in operating a towing service in a residential area, his/her qualifications from education level re towing services and how many interviews and a list of how many towing service operate from a residential area that this bylaws officer has had experience with.

My background is spending 23 yeas as a Employment Councilor with the Canada Employment Center in Edmonton/Ft. McMurray and Red Deer interviewing job applicants, employers looking for persons to employ, writing job descriptions both for employer and employee, putting person in training either on the job or in educational institutions to become employable. I believe I am qualified to make a judgment on businesses operating from a residence.

Rights of Protesters to speak without reprisals:

Also it was stated that the owner of Blue Flame towing has a number of persons stating they felt this operation should be able to operate from a residential area. Giving these people the right of appearing in front of City Council to state their acceptance of any reason they can give to promote the Blue Flame Towing company to operate from a residential site. Would you as a member of the Red Deer City Council in your own mind not believe this is a show of power by people on a position of control?

I challenge this group to come to meeting of City Hall (IN FRONT OF THE MAYOR AND COUNCIL MEMBERS)during taping of a council meeting and have these reason given by the following:

Their name and address

Occupation

Relative or friend

Reasons for giving his information e.g benefit of friend

The City should also advise these people that during this time of giving their reasons this is being taped for broadcast and open for the public to watch on TV..

I was told I was the only one person that complained.

Insinuating I didn't have this right of objection. This item states that this business operated throughout 2002 with no complaints other than myself. Remember this business was put in a residential business by the City Bylaws Department without giving anyone the right to know. It seems that the bylaws department feel that the person putting in a business in a residential area has all the rights over the local residents. Your attitude is that anyone who fights for the rights of having the their home in an original state in an R1 area are the troublemakers. In my opinion the person wishing to begin a business in a residential area is the one that put up the fight to have the business violating the residential area. This means that the person comes into the area to destroy what people have saved for.

A right to live and enhance the quality of life in a residential area.

As you realize I believe in equal Rights

I would like to have the owner of Blue Flame Towing give his reasons and justification (in person and in front of the Mayor and City Council) for operating from a residential area and what the benefits are to the area.

Also I would like to have a statement showing how this tow truck operating from a residential area enhances this area and adds to the value of the land and buildings.

If he is not requested to do this I ask the City Council **WHY NOT? He has his rights to speak for himself.**

SCHEDULE 1V Attached

Also is his garage used for any other thing than servicing his own vehicles then does he have a city license issued for this. At present he has one van and one tow truck.

Land Use Bylaw 3156/96

FACT : SPECIAL REGULATIONS Article "h" states

a home occupation may be accommodated in a private garage provided however that it does not prevent the continued use of the garage for the intended purpose of parking motor vehicles and that the parking requirements of any bylaw continue to be met.

This garage was built in approximately 1976/1977 for the sole purpose of parking vehicles in it as I personally helped the original owner of this property build it.

Also what is the weight Tare weight of his truck. Is it over 2240 Kilograms as stated in Section 43 of the City of Red Deer bylaws. This is the bylaw that was and is still in effect and is the bylaw this complaint was filed under. There is a movement to change the bylaw but this has no effect on my complaint.

To the tow truck operator- Would you if you had a real ambition to become successful-- Cancel a commercial license "C" which opens up a major running area in the Province of Alberta and replace it with a "H" license which is a restricted license to operate within five kilometers of the office of operation. Would you not have business cards printed and distributed by giving them away if you wanted to be successful Would you not advertise in the newspapers to let people know you were in operation. Instead of just the Telephone book. I believe anyone in business who wants to be successful would have Company business cards printed with both Business phone numbers and person's home phone numbers on the cards to let people know where you are. I would have a listed home phone number instead of unlisted.

FACT--This tow truck is not a new one it is a truck with a deck and winch applied so it does not fit under the weight schedule as shown on the new bylaw. The year of his truck is approximately 1988 GMC gross weight 7500 kilos (approx 16500 lbs.) or around that era so it's weights are completely different than to-days weights of the new vehicles as listed in the new bylaw.

The gross weight of this vehicle is shown on its registration certificate Does the City bylaws department have the tare weight schedule of this truck I would like a copy of it and it cannot be classed as confidential because most of other trucks run with it posted on the sides.

Also it should be noted that a request from City Bylaws by myself (Twice) for justification of permission to operate a Towing service has been requested but never received an answer.

I have been advised that there is a change of parking bylaws coming up for reading on April 22th 2003.

This original complaint was filed before any mention of change of bylaw.
All this information was dated between January 2002 and this date. March 24,2003.
The bylaws office feels the change of bylaw should be suffice to stop this argument that we are having.
FACT --YOU CANNOT CHANGE THE RULES IN MIDSTREAM.

NOTE\ANYTHING INVOLVING THIS CASE OF BLUEFLAME TOWING COMES UNDER THE OLD REGULATIONS. NOT THE NEW ONES THAT ARE BEING CHANGE AS IT WAS UNDER THE OLD REGULATIONS THE CASE WAS FILED.

Land Use Bylaw 3156/96

FACT: SPECIAL REGULATIONS Article "c" states
no advertising may be posted at the site of a home occupation, nor shall there be any evidence of the home occupation which is noticeable from the exterior of the property, whether visual or otherwise.

FACT: the Tow truck has Blueflame Towing painted on the side of it and it is parked showing visible signs of advertising. Violation of no advertising whether visual or otherwise.

FACT : We have now received notice that Blueflame Towing operating license has be extended until April 30/2003

I do not believe that I should have to close all windows and doors in the house to block off the engine noise of his truck idling for up to 30 minutes off and on. Especially in the morning or any time of the day. When he start his truck (without electronic ignition) it sits and sends out a steady hum at about 79 decibels of sound which it irritating to the human ear. Decibels in the lo 80 are in the hearing damage area.

Fact We have the following choices.

1. Bylaws enforced without bias

I realize they have been in touch with some of the Council members to complain. The only people that complain about me are the ones that get caught. Some don't speak to me after being caught.

If the City Council states this towing company can operate from a residential area I believe this will mean the end of the peoples rights to live in a Residential area also this turns residential areas into semi-industrial areas. What happens with the tax base then when there are no R1 residential areas. Anyone can then appeal to the MPC and because of this case the MPC cannot disagree the the appeal and it must then go through. Think carefully about something like this for the future of the population of Red Deer. Or the present City Council can take credit for the destruction of the city. Many companies will not move into the area if they find there is no bylaw protecting the peoples right to live in a purely residential area.

Remember the Charter of Rights
Any law must be of benefit and protection on the side of each party.

New information see e-mail to Norbert Van Wyk an Gail Surkan I now understand that the Mayor although an administrator should not receive e-mail re information such as this because although voted in on a separate ballot the Mayor is actually a member of City Council.

Fact: Read my e-mail requesting Information:

Fact: read response from Greg Scott
Most information is on Bylaw Section #44

Reason for extension of time for Blue Flames operating license was to have the License Inspector time to work with Blue Flame on their Home Occupation License
I feel left out and I should have the same rights and helped by the City of Red Deer's License Inspection Branch helping me fight the bylaw

Thank you

Preston Parks
10 Orwell Close
Red Der, AB
T4N 5J2

403-347-6968
pleep@telusplanet.net

SCHEDULE 1



CITY CLERK'S DEPARTMENT

January 8, 2003

Mr. Preston Parks
10 Orwell Close
Red Deer, AB T4N 5J2

Dear Preston:

Re: Blue Flame Towing

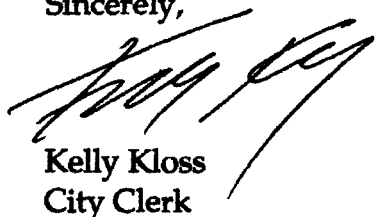
Further to your letter dated December 10, 2002 regarding the tow truck operating on a 24 hour a day operation in your neighbourhood, the City of Red Deer's Inspections & Licensing Department has been in contact with Blue Flame Towing.

Blue Flame Towing was issued a license to operate as a "home occupation - office only" permitted use and must comply with the regulations of the Land Use Bylaw regarding restrictions of vehicles allowed to park in this area.

Before the City of Red Deer's Inspections & Licensing Department will renew Blue Flame Towing's business license, alternate parking for the tow truck must be made, with written confirmation of alternate parking provided to the Inspections & Licensing Department.

I trust this addresses your concerns. Please call if you have any questions regarding this matter.

Sincerely,



Kelly Kloss
City Clerk

/chk

c Mayor & City Manager
Councillors
Inspections & Licensing Manager

Main Identity

From: "Deb Mann" <debm@city.red-deer.ab.ca>
To: <pleep@telusplanet.net>
Cc: <"Kelly Kloss"@dewey2.city.red-deer.ab.ca>; <"Greg Scott"@dewey2.city.red-deer.ab.ca>
Sent: Wednesday, January 22, 2003 10:29 AM
Attach: header.htm
Subject: P.Parks update to Blue Flame.doc

Inspections and Licensing Department

January 22, 2003

Preston Parks
Vial e-mail to: pleep@telusplanet.net

Dear Preston,

RE : Blue Flame Towing Update

As a follow-up to our ongoing discussion relating to Blue Flame Towing please find the following. The current Land Use Bylaw guideline relating to the weight of Commercial vehicles allowed to park in local neighborhoods has not been reviewed since 1980. In consideration of this the City of Red Deer is currently researching other Municipalities to _____ determine the vehicle weighs they use to administer their Bylaw. As this process will take some time the City has issued an interim license to Blue Flame Towing, with an expiry date of April 17, 2003.

It is our intention to have completed our research and consultation process by that time. You will be advised prior to any amendments to the Land Use Bylaw going before City Council.

Thanks.

Deb Mann-License Inspector

Main Identity

From: "Preston Parks" <pleep@telusplanet.net>
 To: "Greg Scott" <gregs@city.red-deer.ab.ca>
 Sent: Friday, January 31, 2003 1:35 PM
 Subject: Re: blueflame towing
 List of names re Blueflame Towing
 and find the following names and addresses
 a. Mullen 57 Olsen Selling out going to Ft Sask
 b. Wanner 59 Olsen Sold out moving to other area

Just a little info
 Preston

----- Original Message -----

From: Greg Scott
 To: 'Preston Parks'
 Cc: "Bryon Jeffers"@dewey2.city.red-deer.ab.ca ; "Joyce Boon"@dewey2.city.red-deer.ab.ca ; "Kelly Kloss"@dewey2.city.red-deer.ab.ca ; "Deb Mann"@dewey2.city.red-deer.ab.ca
 Sent: Monday, January 27, 2003 2:58 PM
 Subject: RE: blueflame towing

Mr. Parks:

The City of Red Deer approved a Home Occupation License for Blue Flame Towing in January 2002. The business operated throughout 2002 with no public complaints other than the issues you raised. It is the feeling of the Inspections and Licensing Department that the Towing operation has not significantly increased local traffic. In fact the business owner has provided the City of Red Deer with a list of names, some of who are adjacent neighbors, who support his operation.

As I indicated in my e-mail we are continuing to review the commercial vehicle weight regulation within the Land Use Bylaw. You will be updated, as more information comes available.

Greg Scott

-----Original Message-----

From: Preston Parks [mailto:pleep@telusplanet.net]
 Sent: January 27, 2003 1:08 PM
 To: Greg Scott
 Cc: "Bryon Jeffers"@dewey2.city.red-deer.ab.ca; "Deb Mann"@dewey2.city.red-deer.ab.ca; "Joyce Boon"@dewey2.city.red-deer.ab.ca
 Subject: Re: blueflame towing

Hello

I think we are barking up the wrong tree by lack of correct communications

The letter I sent in January re the Charter of rights and Freedoms I believe it expressed my specific complaint.

We have the following situation:

1. Office only allowed if no extra traffic flow in area. acceptable with conditions
- 2 Operating a towing service means a 24 hour operation regarding the running of the truck which creates excess traffic in the area Should operate out of industrial area.
3. Parking of overweight trucks in residential area. No problem if parked properly and not sticking out into the alley

SPECIAL REGULATIONS

59 ¹Home Occupations

- (1) Home Occupations are intended to permit the use of residential premises for purposes related to business, provided that such use does not cause excessive vehicular or pedestrian traffic or otherwise interfere with or detract from the peace and quiet of a residential neighbourhood. Accordingly it is intended that a home occupation may not involve any retail or industrial activity on the site.
- (2) A home occupation, notwithstanding its inclusion in any land use district as a permitted or discretionary use, constitutes a conditional right to use property, provided that such use must be in accordance with the regulations contained in this section.
- (3) No person shall operate or permit or allow the operation of a home occupation without being the holder of a valid and subsisting home occupation license.
- (4) Application for a home occupation license may be made at the Inspections and Licensing Department at City Hall. In addition to providing such information as the Inspections and Licensing Department shall require, the applicant shall pay the fees prescribed in the License Bylaw.
- (5) Where a home occupation is a discretionary use, the Development Officer shall cause a sign in the form approved by the Development Officer to be placed on the subject property in a location approved by the Development Officer for five consecutive days prior to the application being considered by the Commission.
- (6) A home occupation which is a discretionary use shall be advertised each three years after the initial approval of the home occupation.
- (7) Where any of the provisions of this Bylaw dealing with home occupations are breached, the Development Officer may take such action as may be available to him under the law, including revocation of a home occupation license or the issuance of a notice under the provisions of the Municipal Government Act requiring the person to cease the home occupation ('Stop Order').
- (8) The issuance of a Stop Order is appealable to the Subdivision and Development Appeal Board in accordance with the provisions of the Municipal Government Act.

¹ 3156/G-96

- (9) Pursuant to the License Bylaw, the revocation of a home occupation license by the License Inspector is appealable to Council, provided that such appeal must be made within 30 days of the date of the revocation. Council's decision on the Appeal shall be final.
- (10) The following regulations apply to all home occupations:
- (a) a home occupation shall not be staffed by any person other than a resident of the home,
 - (b) not more than two adult residents of the home are permitted to work in the home occupation,
 - (c) no advertising may be posted at the site of a home occupation, nor shall there be any evidence of the home occupation which is noticeable from the exterior of the property, whether visual or otherwise,
 - (d) a home occupation may not result in a disturbance to the peace and quiet or other amenities of the neighbourhood, nor may it cause the emission of dust, noise, odour, smoke, electronic interference, bright lights, or other nuisance,
 - (e) outside storage of equipment material or goods in connection with a home occupation is prohibited,
 - (f) not more than one commercial vehicle used in conjunction with the home occupation may be parked on the site or any street adjacent thereto,
 - (g) there shall be no storage or use of hazardous, noxious or dangerous goods in connection with any home occupation,
 - (h) a home occupation shall be confined to a maximum of 30 square metres (322 square feet) or 20% of the net floor area of the dwelling unit, whichever is less,
 - (i) a home occupation may be accommodated in a private garage, provided however, that it does not prevent the continued use of the garage for the intended purpose of parking motor vehicles and that the parking requirements of any bylaw continue to be met,
 - (j) an accessory building may not be constructed or used for the sole purpose of a home occupation,

Christine Kenzie

From: Greg Scott
Sent: April 14, 2003 9:37 AM
To: Christine Kenzie
Cc: Paul Meyette; Joyce Boon; Deb Mann
Subject: Blue Flame Towing - Bylaw 3156/N-2003

The proposed Bylaw amendment to section #44 of the Land Use Bylaw is in response to a public complaint received in January 2003. Based on that complaint The Inspections and Licensing Department completed a thorough review of section #44 to see if the established tare weight of 2040 kg was still appropriate. The review indicated that it may not be therefore a Land Use bylaw amendment was drafted and is currently being presented to Council for their consideration.

Based on Council's final decision regarding the proposed amendment, the appropriate action will then be taken with Blue Flame Towing.

Greg S



City Clerk's Department

DATE: April 10, 2003
TO: Greg Scott, Inspections & Licensing Manager
FROM: Christine Kenzie, Administrative Assistant
SUBJECT: Request for Comments – By Monday, April 22, 2003
Letter from Preston Parks re Blue Flame Towing

I received the attached letter today from Preston Parks regarding the operation of Blue Flame Towing company.

In Kelly Kloss's absence, I am forwarding this to you for comment so that this office can update the Mayor and Councillors on this situation.

Please call if you have any questions.

Christine Kenzie

/attach,

LUB AMENDMENT 3156/N-2003

DESCRIPTION: Various changes to the bylaw in the C2 & C3 districts,
etc. for housekeeping purposes

FIRST READING: March 24, 2003

FIRST PUBLICATION: April 4, 2003

SECOND PUBLICATION: April 11, 2003

PUBLIC HEARING & SECOND READING: April 22, 2003

THIRD READING: April 22, 2003

LETTERS REQUIRED TO PROPERTY OWNERS: YES ☒ NO ☐

DEPOSIT? YES ☐ \$ _____ NO ☒ **BY:** City

ACTUAL COST OF ADVERTISING:

\$ 271.78 X 2

TOTAL: \$ 543.56

MAP PREPARATION: \$ —

TOTAL COST: \$ 543.56

LESS DEPOSIT RECEIVED: \$ —

AMOUNT OWING/ (REFUND): \$ —

INVOICE NO.: —

(Account No. 59.5901)



CITY CLERK'S DEPARTMENT

April 23, 2002

Mr. P. Parks
10 Orwell Close
Red Deer, AB T4N 5J2

Dear Preston:

***Land Use Bylaw Amendment 3156/N-2003
Various Items to Improve Clarity of the Land Use Bylaw***

At the City of Red Deer Council Meeting held April 22, 2003, a Public Hearing was held with respect to *Land Use Bylaw Amendment 3156/N-2003*. Following the Public Hearing, *Land Use Bylaw Amendment 3156/N-2003*, as amended, was given second and third readings, a copy of which is attached.

Council pass the following resolution with respect to Land Use Bylaw Amendment 3156/N-2003:

Resolved that Council of the City of Red Deer, agrees to amend Land Use Bylaw Amendment 3156/N-2003 by deleting the following section:

"20 That Section 44 be deleted and replaced in whole with the following:

"Except for one commercial vehicle of tare weight, not exceeding 4000 kg which may be parked in the rear yard, no motor vehicle other than a passenger vehicle shall be parked on a site in any residential district for longer than is necessary to load or unload the same."

Land Use Bylaw Amendment 3156/N-2003 provides clarification to the Land Use Bylaw for the following:

- Conflict between the Municipal Government Act and the Land Use Bylaw related to Heritage Preservation.
- Social Care Residences: Discretionary Use/Addition of Social Care Residences
- Cross Reference to Figure 9 – Vehicle Sight Lines on Corner Lots
- Retirement Homes – Clarification of Discretionary Use in R1 Residential Low Density District
- Places of Worship – Addition to the Land Use Tables
- Prohibiting of Adult Oriented Business in C3 District (Small Neighbourhood Commercial Sites)

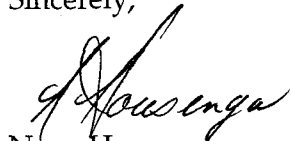
.. 2/

Mr. P. Parks
April 23, 2003
Page 2

- Office Use / Commercial Service Facility – Clarification to General Purpose of C1 District
- Duplicate Uses in the C2 Regional Shopping Centre District
- Remove Office/Add Medical and Health to the C2 District Shopping Centre District
- Exceptions – Two Exceptions no longer required: Security Suite in a Car Wash Facility and Sales & Service of Mobile Homes on the M & K Homes site.
- Neighbourhood Commercial District Site Size – Increase maximum site area of the C3 District
- Definitions – Addition of Four New Definitions: Institutional Housing, Day Care Adult, Gross Leasable Area and Hostel.

Please contact Joyce Boon, Permit & Licensing Supervisor, at 342-8192, should you have any questions or require further clarification.

Sincerely,



Nona Housenga
Deputy City Clerk

NH/chk
/attach.

c Parkland Community Planning Services
 Inspections & Licensing Manager
 C. Adams, Administrative Assistant



City Clerk's Department

Council Decision – April 22, 2003

DATE: April 23, 2003
TO: Frank Wong, Parkland Community Planning Services
FROM: Nona Housenga, Deputy City Clerk
SUBJECT: Land Use Bylaw Amendment 3156/N-2003
Various Items to Improve Clarity of the Land Use Bylaw

Reference Report:

City Clerk, dated March 25, 2003 and Parkland Community Planning Services, dated March 13, 2003

Resolutions:

Resolved that Council of the City of Red Deer, agrees to amend Land Use Bylaw Amendment 3156/N-2003 by deleting the following section:

“20 That Section 44 be deleted and replaced in whole with the following:

“Except for one commercial vehicle of tare weight, not exceeding 4000 kg which may be parked in the rear yard, no motor vehicle other than a passenger vehicle shall be parked on a site in any residential district for longer than is necessary to load or unload the same.”

Bylaw Readings:

Land Use Bylaw Amendment 3156/N-2003, as amended, was given second and third readings. A copy of the bylaw is attached.

Report Back to Council: No

Comments/Further Action:

Land Use Bylaw Amendment 3156/M-2003 provides clarification to the Land Use Bylaw for the following:

- Conflict between the Municipal Government Act and the Land Use Bylaw related to Heritage Preservation.
- Social Care Residences: Discretionary Use/ Addition of Social Care Residences
- Cross Reference to Figure 9 – Vehicle Sight Lines on Corner Lots
- Retirement Homes – Clarification of Discretionary Use in R1 Residential Low Density District
- Places of Worship – Addition to the Land Use Tables
- Prohibiting of Adult Oriented Business in C3 District (Small Neighbourhood Commercial Sites)
- Office Use / Commercial Service Facility – Clarification to General Purpose of C1 District
- Duplicate Uses in the C2 Regional Shopping Centre District
- Remove Office/ Add Medical and Health to the C2 District Shopping Centre District
- Exceptions – Two Exceptions no longer required: Security Suite in a Car Wash Facility and Sales & Service of Mobile Homes on the M & K Homes site.
- Neighbourhood Commercial District Site Size – Increase maximum site area of the C3 District
- Definitions – Addition of Four New Definitions: Institutional Housing, Day Care Adult, Gross Leasable Area and Hostel.

This office will amend the Land Use Bylaw and distribute copies in due course.



Nona Housenga
Deputy City Clerk
/chk
attchs.

c Director of Development Services
 Inspections and Licensing Manager
 Land & Economic Development Manager
 City Assessor
 D. Kutinsky, Graphics Designer
 C. Adams, Administrative Assistant
 B. Greter, City Clerk's, Clerk Steno

April 02, 2003

«OwnerName»

«OwnerAdd1»

«OwnerAdd2»

«OwnerAdd3»

Dear Sir/Madam:

Re: Land Use Bylaw Amendment 3156/N-2003

Red Deer City Council proposes to pass an amendment to the Land Use Bylaw, which controls the use and development of land and buildings in the city. Bylaw amendment 3156/N-2003 provides for the following changes as detailed in the enclosed report:

- Conflict between the Municipal Government Act and the Land Use Bylaw related to Heritage Preservation
- Social Care Residences: Discretionary Use/Addition of Social Care Residences
- Cross Reference to Figure 9 – Vehicle Sight Lines on Corner Lots
- Retirement Homes – Clarification of Discretionary Use in R1 Residential Low Density District
- Places of Worship – Addition to the Land Use Tables
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- Definitions – Addition of Four New Definitions: Institutional Housing, Day Care Adult, Gross Leasable Area and Hostel.
- Vehicle Weight – Increase of Limits on Weight of Commercial Vehicles in Residential Areas

«OwnerName»

Page Two

The proposed bylaw may be inspected by the public at the City Clerk's Department, 2nd Floor of City Hall during regular office hours or for more details, contact the city planners at Parkland Community Planning Services 343-3394.

City Council will hear from any person claiming to be affected at a Public Hearing on **Tuesday, April 22, 2003** at 7:00 p.m. in Council Chambers, 2nd floor of City Hall. If you want your letter or petition included on the Council agenda you must submit it to the City Clerk by **Tuesday, April 15, 2003**. Otherwise, you may submit your letter or petition at the Council meeting or you can simply tell Council your views at the Public Hearing. Any submission will be public information. If you have any questions regarding the use of this information, please contact the City Clerk's Office at 342-8132.

Yours truly,

A handwritten signature in black ink, appearing to read "Kelly Kloss", written in a cursive style.

Kelly Kloss
City Clerk

/encl.

LAND USE BYLAW 3156/N-2003
Amendments to Provide Clarity to the Bylaw

Red Deer City Council proposes to pass an amendment to the Land Use Bylaw, which controls the use and development of land and buildings in the city. Bylaw amendment 3156/N-2003 provides for the following changes:

- Conflict between the Municipal Government Act and the Land Use Bylaw related to Heritage Preservation
- Social Care Residences: Discretionary Use/Addition of Social Care Residences
- Cross Reference to Figure 9 – Vehicle Sight Lines on Corner Lots
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Kelly Kloss
City Clerk

(Publication Dates: April 4 & 11, 2003)

3-10-40

Date: March 13, 2003
To: Kelly Kloss, City Clerk
From: Parkland Community Planning Services
Re: Land Use Bylaw Amendment 3156/N-2003
Various LUB Amendments

Planning, Inspections and Licensing and Legal staff review the Land Use Bylaw on an ongoing basis to identify areas where the clarity of the land use bylaw can be improved and to identify anticipated problems and/or errors. At least once per year these issues are addressed through a land use bylaw amendment which addresses each issue. The following issues are proposed to be resolved in Bylaw 3156/N-2003.

1 Potential Conflict between the Municipal Government Act and the Land Use Bylaw related to Heritage Preservation

The Municipal Government Act requires that a decision on a development permit be issued within 40 days of the application. The Heritage Significance District indicates that an applicant has to wait up to 45 days before comments are received from the Heritage Preservation Committee related to an application to demolish a heritage building.

These two timelines may come into conflict where an applicant applies for a demolition permit and a development permit at the same time. The development authority would be required to issue a decision on a replacement building potentially before hearing from the Heritage Preservation Committee. In order to ensure that the Heritage Preservation Committee has adequate time to respond and to remove the potential conflict with the Municipal Government Act, the Land Use Bylaw is proposed to be amended to require the comments of the Heritage Preservation Committee as part of the information submitted for a development permit, where demolition of a historically significant building or site is proposed. By requiring this information as part of the development permit application, the potential conflict with the Municipal Government Act is avoided.

2. Social Care Residences-Discretionary Use/Addition of Social Care Residences

Social Care Residences are currently included as a permitted use in the R3 residential district which means that the use would be automatically approved without reference to MPC. This amendment proposes to eliminate Social Care Residences as a permitted use and move it to the discretionary use table. This will allow MPC to review the appropriateness of the location and assess its impact on the density of a neighbourhood. The Social Planning Department is in support of this amendment.

There is no provision for social care residences in the Downtown area. Many of the social care providers are looking for a central location to serve the city. It is proposed to add this use as a discretionary use in the C1 and C1A Districts. By adding the use as discretionary, MPC can review the location to ensure that it would be suitable for the proposed use.

3. Cross reference to Figure 9

Figure 9 in the Land use Bylaw was developed by Engineering Services to ensure that vehicle sight lines are maintained on corner lots. This bylaw amendment will cross reference the sight line diagram in each applicable land use district so that it is more evident to home builders.

4. Retirement Homes

Retirement Homes are included as an individual use within each of the residential districts. This discretionary use is proposed to be amended in the R1 Residential Low Density District to clarify that it will be allowed in a single family dwelling only. This change is supported by the Social Planning Department.

5. Places of Worship

Each Neighbourhood Area Structure Plan is required to have one site for a Place of Worship as well as one site for social care/daycare/retirement home. Place of Worship is not however listed in the Land Use Bylaw's land use table. This amendment will add the use to the land use tables.

6. Adult Oriented Businesses in Neighbourhood Commercial Sites

Based upon controversy in the City of Edmonton wherein an adult oriented business moved into a neighbourhood commercial site, Inspections and Licensing, Planning and legal staff have reviewed the C3 zoning in terms of adult oriented business. It was the opinion of all staff that the small C3 sites (0.038 ha – 0.4 ha in size) would not be appropriate for adult oriented businesses. The small size of the C3 centres could easily be dominated by an adult only use, which may impact negatively on the neighbourhood and other tenants. There have been no applications related to locating an adult oriented business in the C3 District. It is proposed that this use be prohibited from the C3 District.

7. Office Use/Commercial Service Facility

In order to clarify Council's intent to maintain the downtown as the primary location for office use, legal counsel has recommended an amendment to the general purpose of the C1 District and an amendment to the definition of commercial service facility. These amendments will provide a better explanation of the land use bylaw's intent if the bylaw is challenged through the legal system. A small change to the definition of office is proposed deleting reference to financial outlets to avoid a conflict with the definition for commercial service facility. The definition for Commercial Service Facility has been combined with the definition for "personal service" and made more explicit in its intent. The term personal service has been deleted from the land use bylaw.

8. Duplicate Uses in the C2 Regional Shopping Centre District

The C2 Regional Shopping Centre District allows up to 5% office to be located in the shopping centre. This office use is duplicated in both the permitted use list and a discretionary use list. This bylaw amendment will eliminate the duplication by deleting the discretionary use and allowing 10% as a permitted use.

9. Remove Office/Add Medical and Health to the C2 District Shopping Centre District

The C2 District Centres have been functioning as a larger scale neighbourhood commercial development with a grocery store, retail and medical facilities. At the request of Save-on Foods, we have reviewed the uses in the district and compared

them with the commercial demands and function of the centre. After discussions with the shopping centre owners, we are proposing to remove "Office in total, not to exceed 10% of the gross leasable area of the whole shopping centre) and replace it with "Health and Medical Services". This amendment will mean that no non medical or health related offices such as lawyers, accountants or consulting offices may be located in District Shopping Centres however there will be not limit to the number of health and medical Services allowed. This amendment will mean that the District Shopping centres will be treated in the same manner as C3 sites and will serve a multi-neighbourhood function in terms of providing medical services. This amendment has been reviewed for consistency with the Municipal Development Plan and the Greater Downtown Action Plan and would not conflict with either plan.

10. Exceptions

Two of the existing "Exceptions" in the Land Use Bylaw are no longer required. The security suite in a car wash facility is no longer required as the site was acquired by Woody's RV Sales and the former security quarters is now used for storage. The sales and service of mobile homes on the M&K Homes site is no longer required because the site has been rezoned to the C4 Commercial (Major Arterial) District which already allows this use.

11. Neighbourhood Commercial District Site Size

The maximum site area of the C3 District is being increased from 0.25 ha to 0.405 ha. This reflects the new Neighbourhood Planning and Design Guidelines and Standards adopted by the City of Red Deer and reflects market demands of larger commercial sites in neighbourhoods.

12. Definitions

In order to clarify items in the land use bylaw, four new definitions have been added for institutional housing, Day Care Adult, Gross Leasable Area and Hostel.

"Institutional Housing" means any public or non profit housing which is designed for the treatment or care of persons who are in an institutional setting such as a monastery, nunnery or religious retreat or for residents incapable of independent living.

"Hostel" means short term lodging for travelers where patrons pay for accommodation.

"Day Care Adult" means a facility providing care and/or supervision for 7 or more adults for more than three but less than 24 consecutive hours in a day.

"Gross Leasable Area" or "GLA" means the sum of the areas of the all plans of a building measured to the glass line, or where there is no glass line to the outside surface of the exterior walls, or where the buildings are separated by firewalls to the center line of the common firewall, and includes all floors totally or partially including basements, mezzanines and upper floors and all mechanical equipment areas.

Based upon the new definition, it is proposed to move "hostel" to a discretionary use in the C1 District.

Day Care Adult will be added to all districts as an optional use for the Day Care, Social Care or Retirement Home site which is designated in a Neighbourhood Area Structure Plan.

13 Vehicle Weight

In order to protect city roadways and to preserve the residential character of neighbourhoods, the city has a limitation on the weight of commercial vehicles in residential areas. After a review by the Inspections and Licensing Department and Engineering Services Department, these departments have recommended that the limit be increased from 2040 kilograms to 4000 kilograms. This will bring the city into the mid range of limits in other cities. A memo explaining this change from the Inspections and Licensing Department is attached.



Frank Wong,
Planning Assistant

Attachments

LUB 3156/N-2003

Data: 264044

Main: 264353

Company Name	Address	Owner/Address	
Inglewood Station Inc.	8 7887 50 Avenue	RED DEER, AB T4P 1M8	
817486 Alberta Ltd.	90 Boyce Street	RED DEER, AB T4R 1L3	
Murray Hill Developments Ltd.	9833 110 Street N W	EDMONTON, AB T5K 2P5	
Hoedel Holdings Ltd.	49 Archer Drive	RED DEER, AB T4R 3B2	
Rosalie Mary Kuhnen	3518 50 Avenue	RED DEER, AB T4N 3Y4	
Salvatore & Mitzi Gentile	4129 36 Street	RED DEER, AB T4N 0S7	
844981 Alberta Ltd.	3757 43 Avenue	RED DEER, AB T4N 3B7	
Victoria Station Inc.	8 7887 50 Avenue	RED DEER, AB T4P 1M8	
Cedarwood Veterinary Services Ltd.	7644 50 Avenue	RED DEER, AB T4P 2A8	
Shirley Sik Yee Choi	2446 Autumn Hill Crescent	GLOUCESTER, ON K1B 4M5	
Clifford Joseph & Jean Mary	11 Boone Crescent	ORLEANS, ON K1V 9M5	
Cedarwood Veterinary Services Ltd.	7644 50 Avenue	RED DEER, AB T4P 2A8	
Highland Park Plaza Inc.	5 88 Howarth Street	RED DEER, AB T4N 6V9	
Scotty's Eastside Ltd.	19 Warwick Drive	RED DEER, AB T4N 6L4	
Eastview Gas & Wash Ltd.	5 88 Howarth Street	RED DEER, AB T4N 6V9	
Roy Porkka Leasing Ltd. & 172965 Canada Limited	Maxine Porkka P.O. Box 422	8 5202 Farrell Avenue Don Mills Station	RED DEER, AB TORONTO, ON
Fas Gas Realty Ltd.	236 4919 59 Street	RED DEER, AB T4N 6C9	
Petro Canada Inc.	150 6 Av S W	CALGARY, AB T2P 3Y7	
Lynn Chobotar	R R 4	RED DEER, AB T4N 5E4	
Gregory Alan Little	4436 33 Street	RED DEER, AB T4N 0N4	
7 Eleven Canada Inc.	3185 Willingdon Gr	BURNABY, BC V5G 4P3	
Danson Properties Ltd.	66 Wiltshire Blvd	RED DEER, AB T4N 6L2	
George & Mary Kiemele	6004 53 Avenue	RED DEER, AB T4N 4L6	
Parviz Zomorodi	33 4250 54 Avenue	RED DEER, AB T4N 6W9	
607118 Alberta Ltd.	5501 45 Avenue	RED DEER, AB T4N 3L7	
Big Mountain Development Corp.	3440 Bow Trail SW	CALGARY, AB T3C 2E6	
Glendale Plaza Inc.	5 88 Howarth Street	RED DEER, AB T4N 6V9	
Johnstone Park Station Inc.	C/O 7883 50 Avenue	RED DEER, AB T4P 1M8	
Bower Plaza Inc.	1 2851 John Street	MARKHAM, ON L3R 5R7	
WEI's Holdings Ltd.	5115 50 Avenue	RED DEER, AB T4N 4B3	
United Petroleum Sales Ltd.	c/o Mohawk Canada Ltd.	707 8 Avenue SW	CALGARY, AB T2P 1A8
LM Inc.	204 4929 50 Street	RED DEER, AB T4N 1X9	
BNS Investments Ltd.	49 Archer Drive	RED DEER, AB T4R 3B2	
Jim Patterson Developments Ltd.	Attn: Paul Meloche	1055 W Hastings Street 16 th Floor	VANCOUVER, B.C.
Highland Park Plaza Inc.	4716 60 Street	RED DEER, AB T4N 7C7	
Fanta Homes Ltd.	4915 54 Street	RED DEER, AB T4N 2G7	
858631 Alberta Ltd.	2 6315 Horn Street	RED DEER, AB T4N 6H5	
Red Deer Liberty Christian	1B 6315 Horn Street	RED DEER, AB T4N 6H5	
Brian Ogilvie Holding Ltd.	4716 60 Street	RED DEER, AB T4N 7C7	
The Benevolent and Protective	Order of Elks Red Deer	Box 611	RED DEER, AB T4N 1A8
382188 Alberta Ltd.	c/o Realty Investment	216 3722 - 57 Avenue	RED DEER, AB T4N 1A8
Preston Parks	10 Orwell Close	RED DEER, AB T4N 5J2	

Date: March 28, 2003

To: Norma Lovell, Assessment


From: Cheryl Adams
City Clerk's Department

Re: LUB Amendment 3156/N-2003 Various Amendments - C3 & C2

Please provide **Bev Greter** with the names and addresses of the subject property owners and ~~all contiguous/adjacent property owners~~ as outlined on the attached map.

It would be helpful if the lists could be received at your earliest convenience in order to process the letters within the required time period. I have attached the map that appeared on the Council agenda for your reference.

Thanks Norma.


Cheryl Adams
City Clerks' Office

Attach.



Council Decision – March 24, 2003

City Clerk's Department

DATE: March 25, 2003
TO: Frank Wong, Parkland Community Planning Services
FROM: Kelly Kloss, City Clerk
SUBJECT: Land Use Bylaw Amendment 3156/N-2003
Various Items to Improve Clarity of the Land Use Bylaw

Reference Report:

Parkland Community Planning Services, dated March 13, 2003

Bylaw Readings:

Land Use Bylaw Amendment 3156/N-2003 was given first reading. A copy of the bylaw is attached.

Report Back to Council: Yes

A Public Hearing will be held on Tuesday, April 22, 2003 at 7:00 p.m. in Council Chambers during Council's regular meeting.

Comments/Further Action:

Land Use Bylaw Amendment 3156/M-2003 provides clarification to the Land Use Bylaw for the following:

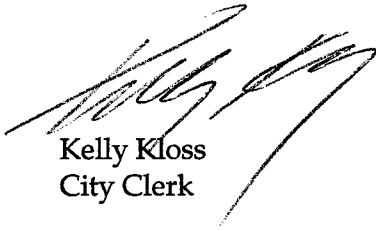
- Conflict between the Municipal Government Act and the Land Use Bylaw related to Heritage Preservation.
- Social Care Residences: Discretionary Use/Addition of Social Care Residences
- Cross Reference to Figure 9 – Vehicle Sight Lines on Corner Lots
- Retirement Homes – Clarification of Discretionary Use in R1 Residential Low Density District
- Places of Worship – Addition to the Land Use Tables
- Prohibiting of Adult Oriented Business in C3 District (Small Neighbourhood Commercial Sites)
- Office Use / Commercial Service Facility – Clarification to General Purpose of C1 District
- Duplicate Uses in the C2 Regional Shopping Centre District
- Remove Office/Add Medical and Health to the C2 District Shopping Centre District
- Exceptions – Two Exceptions no longer required: Security Suite in a Car Wash Facility and Sales & Service of Mobile Homes on the M & K Homes site.
- Neighbourhood Commercial District Site Size – Increase maximum site area of the C3 District
- Definitions – Addition of Four New Definitions: Institutional Housing, Day Care Adult, Gross Leasable Area and Hostel.

...2/

Preston Parks

- - Vehicle Weight – Increase of Limits on Weight of Commercial Vehicles in Residential Areas

This office will now proceed with the advertising for a Public Hearing. The City will be responsible for the advertising costs in this instance.



Kelly Kloss
City Clerk

/chk

/attach.

- c Director of Development Services
Inspections & Licensing Manager
Land & Economic Development Manager
C. Adams, Administrative Assistant
B. Greter, Clerk Steno, City Clerk's

BYLAW NO. 3156/N-2003

Being a bylaw to amend Bylaw No. 3156/96, the Land Use Bylaw of the City of Red Deer.

COUNCIL OF THE CITY OF RED DEER, ALBERTA, ENACTS AS FOLLOWS:

- 1 That Section 10 Plans and Information Required is amended by adding the new subsection (1)(d) as follows:

"10 (1)(d) if a building or site is identified in the Heritage Significance District Subsection 221(7), and where the demolition of the existing building or site is proposed, the applicant shall submit the comments of the Heritage Preservation Committee as required under Section 221(5)"
- 2 That Section 199 R3 Residential (Multiple Family) District, Permitted Uses (subject to any Area Structure Plan or Area Redevelopment Plan) is amended by deleting Subsection (4) "Social Care Residences".
- 3 That Section 200 be amended by adding the following

"200 (16) Social Care Residence"
- 4 That Subsection 177(5) R1 Residential Low Density District Regulations be deleted in whole and replaced with the following:

"177 (5) Side Yard: Detached dwelling: minimum 1.5 m
Notwithstanding the setbacks noted above, where the building flanks a public roadway, the setback on the flanking side shall be in accordance with Schedule A Figure 9."
- 5 That Subsection 176(6) Discretionary Uses, subject to any applicable Area Structure Plan or Area Redevelopment Plan) is amended by deleting "Retirement Home" and replacing it with "Retirement Home in a Single Family Dwelling".
- 6 That Subsections 176(7), 182(6), 192(11) and 200(13) Discretionary Uses (subject to any applicable Area Structure Plan or Area Redevelopment Plan) are deleted and replaced in whole by the following:

"176 (7) Day Care Facility, Day Care Adult, Social Care Residence, Retirement Home, or Place of Worship or Assembly on sites which are so designated in an Area Structure Plan or Area Redevelopment Plan."

"182 (6) Day Care Facility, Day Care Adult, Social Care Residence, Retirement Home, or Place of Worship or Assembly on sites which are so designated in an Area Structure Plan or Area Redevelopment Plan."

"192 (11) Day Care Facility, Day Care Adult, Social Care Residence, Retirement Home, or Place of Worship or Assembly on sites which are so designated in an Area Structure Plan or Area Redevelopment Plan."

"200 (13) Day Care Facility, Day Care Adult, Social Care Residence, Retirement Home, or Place of Worship or Assembly on sites which are so designated in an Area Structure Plan or Area Redevelopment Plan."

- 7 That Section 115 Permitted Uses, subject to any applicable Area Structure Plan or Area Redevelopment Plan is amended by deleting 115 (1) and replacing it with

"115 (1) Merchandise Sales and/or rental, servicing the neighbourhood only, excluding

- all uses where the primary focus is adult oriented merchandise and/or entertainment
- motor vehicles
- machinery
- fuel and
- liquor, beer or wine sales"

8. That Section 2 is amended by deleting the definitions for "Commercial Service Facility" and "Office" and substituting the following:

"Commercial Service Facility" means a facility in which services are provided commercially to individuals, and without limiting the generality of the foregoing, may include

- services related to the care and appearance of the body such as a massage business, beauty shop, barber shop, tanning salon or fitness centre
- cleaning and repair of personal effects such as shoe repair, dry cleaning or laundering outlet
- care of small animals such as a small animal veterinary clinic or dog grooming salon
- funeral home, financial or insurance services outlet, real estate agency, travel agency commercial school or day care

but does not include office."

"Office" means a development that provides professional, management, administrative, consulting and health care services, such as the offices of doctors, lawyers, accountants, engineers, architects, clerical, secretarial, employment, telephone answering and similar office support services."

- 9 That Section 2 is amended by adding in alphabetical order the following definitions:

"Institutional Housing" means any public or non profit housing which is designed for the treatment or care of persons who are in an institutional setting such as a monastery, nunnery or religious retreat or for residents incapable of independent

living but does not include a social care residence or retirement home.

"Hostel" means short term lodging for travelers where patrons pay for accommodation.

"Day Care Adult" means a facility providing care and/or supervision for 7 or more adults for more than three but less than 24 consecutive hours in a day.

"Gross Leasable Area" or "GLA" means the sum of the areas of the all plans of a building measured to the glass line, or where there is no glass line to the outside surface of the exterior walls, or where the buildings are separated by firewalls to the center line of the common firewall, and includes all floors totally or partially including basements, mezzanines and upper floors and all mechanical equipment areas.

10 Section 96(4) is amended by deleting "hostel".

11 Section 97 is amended by adding:

"97 (15) Hostel"

12 That Section 150(4)(b) is amended by deleting the term "personal service".

13 That Section 95 is amended by deleting the "General Purpose" and substituting the following:

"95 General Purpose

This district is located in the central area of the city with excellent road access, access to transit and a good pedestrian environment. In accordance with the Area Redevelopment Plan, this district is intended to act as the main office area for the city and provide a wide range of commercial, institutional, cultural and residential development. Generally, the land uses are to serve the city and region as a whole."

14 That Sections 97 and 104 be amended by adding "Social Care Residence" as a discretionary use;

"97 (15) Social Care Residence
104 (18) Social Care Residence"

15 That Subsection 109(8) "Office in total not to exceed 5% of the gross leasable area of the whole shopping centre" be deleted in whole.

16 That Subsection 108(4) "Office in total not to exceed 5% of the gross leasable area of the whole shopping centre" be deleted in whole and the following use be substituted:

"108 (4) Office in total not to exceed 10% of the gross leasable area of the whole shopping centre"

17 That Section 54 Exceptions Respecting Land Use is amended by deleting Subsections 54(4)(g) and 54(4)(i) in whole.

18 That Subsection 117(9) C3 Commercial (Neighbourhood Convenience) District Regulations be deleted and replaced in whole with the following:

"117 (9)	Site Area	minimum	378m ²
		maximum	4047m ² "

19 That Subsection 111(7) C2 Commercial (District Shopping Centre) District Regulations be deleted and replaced in whole with the following:

"111 (7) Health and Medical Services

20 That Section 44 be deleted and replaced in whole with the following:

"Except for one commercial vehicle of tare weight, not exceeding 4000 kg which may be parked in the rear yard, no motor vehicle other than a passenger vehicle shall be parked on a site in any residential district for longer than is necessary to load or unload the same."

READ A FIRST TIME IN OPEN COUNCIL this 24th day of March 2003.

READ A SECOND TIME IN OPEN COUNCIL this day of 2003.

READ A THIRD TIME IN OPEN COUNCIL this day of 2003.

AND SIGNED BY THE MAYOR AND CITY CLERK this day of 2003.

MAYOR

CITY CLERK



CITY CLERK'S DEPARTMENT

FILE

April 23, 2002

Mr. P. Parks
10 Orwell Close
Red Deer, AB T4N 5J2

Dear Preston:

***Land Use Bylaw Amendment 3156/N-2003
Various Items to Improve Clarity of the Land Use Bylaw***

At the City of Red Deer Council Meeting held April 22, 2003, a Public Hearing was held with respect to *Land Use Bylaw Amendment 3156/N-2003*. Following the Public Hearing, *Land Use Bylaw Amendment 3156/N-2003*, as amended, was given second and third readings, a copy of which is attached.

Council pass the following resolution with respect to Land Use Bylaw Amendment 3156/N-2003:

Resolved that Council of the City of Red Deer, agrees to amend Land Use Bylaw Amendment 3156/N-2003 by deleting the following section:

"20 That Section 44 be deleted and replaced in whole with the following:

"Except for one commercial vehicle of tare weight, not exceeding 4000 kg which may be parked in the rear yard, no motor vehicle other than a passenger vehicle shall be parked on a site in any residential district for longer than is necessary to load or unload the same."

Land Use Bylaw Amendment 3156/N-2003 provides clarification to the Land Use Bylaw for the following:

- Conflict between the Municipal Government Act and the Land Use Bylaw related to Heritage Preservation.
- Social Care Residences: Discretionary Use/ Addition of Social Care Residences
- Cross Reference to Figure 9 – Vehicle Sight Lines on Corner Lots
- Retirement Homes – Clarification of Discretionary Use in R1 Residential Low Density District
- Places of Worship – Addition to the Land Use Tables
- Prohibiting of Adult Oriented Business in C3 District (Small Neighbourhood Commercial Sites)

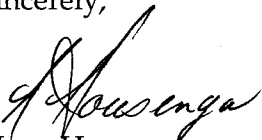
.. 2/

Mr. P. Parks
April 23, 2003
Page 2

- Office Use / Commercial Service Facility – Clarification to General Purpose of C1 District
- Duplicate Uses in the C2 Regional Shopping Centre District
- Remove Office/Add Medical and Health to the C2 District Shopping Centre District
- Exceptions – Two Exceptions no longer required: Security Suite in a Car Wash Facility and Sales & Service of Mobile Homes on the M & K Homes site.
- Neighbourhood Commercial District Site Size – Increase maximum site area of the C3 District
- Definitions – Addition of Four New Definitions: Institutional Housing, Day Care Adult, Gross Leasable Area and Hostel.

Please contact Joyce Boon, Permit & Licensing Supervisor, at 342-8192, should you have any questions or require further clarification.

Sincerely,



Nona Housenga
Deputy City Clerk

NH/chk
/attach.

c Parkland Community Planning Services
 Inspections & Licensing Manager
 C. Adams, Administrative Assistant



City Clerk's Department

FILE

Council Decision – April 22, 2003

DATE: April 23, 2003
TO: Frank Wong, Parkland Community Planning Services
FROM: Nona Housenga, Deputy City Clerk
SUBJECT: Land Use Bylaw Amendment 3156/N-2003
Various Items to Improve Clarity of the Land Use Bylaw

Reference Report:

City Clerk, dated March 25, 2003 and Parkland Community Planning Services, dated March 13, 2003

Resolutions:

Resolved that Council of the City of Red Deer, agrees to amend Land Use Bylaw Amendment 3156/N-2003 by deleting the following section:

"20 That Section 44 be deleted and replaced in whole with the following:

"Except for one commercial vehicle of tare weight, not exceeding 4000 kg which may be parked in the rear yard, no motor vehicle other than a passenger vehicle shall be parked on a site in any residential district for longer than is necessary to load or unload the same."

Bylaw Readings:

Land Use Bylaw Amendment 3156/N-2003, as amended, was given second and third readings. A copy of the bylaw is attached.

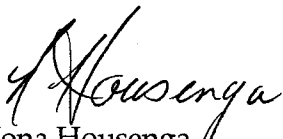
Report Back to Council: No

Comments/Further Action:

Land Use Bylaw Amendment 3156/M-2003 provides clarification to the Land Use Bylaw for the following:

- Conflict between the Municipal Government Act and the Land Use Bylaw related to Heritage Preservation.
- Social Care Residences: Discretionary Use/Addition of Social Care Residences
- Cross Reference to Figure 9 – Vehicle Sight Lines on Corner Lots
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- Remove Office/Add Medical and Health to the C2 District Shopping Centre District
- Exceptions – Two Exceptions no longer required: Security Suite in a Car Wash Facility and Sales & Service of Mobile Homes on the M & K Homes site.
- Neighbourhood Commercial District Site Size – Increase maximum site area of the C3 District
- Definitions – Addition of Four New Definitions: Institutional Housing, Day Care Adult, Gross Leasable Area and Hostel.

This office will amend the Land Use Bylaw and distribute copies in due course.



Nona Housenga
Deputy City Clerk
/chk
attchs.

c Director of Development Services
 Inspections and Licensing Manager
 Land & Economic Development Manager
 City Assessor
 D. Kutinsky, Graphics Designer
 C. Adams, Administrative Assistant
 B. Greter, City Clerk's, Clerk Steno

BYLAW NO. 3156/N-2003

Being a bylaw to amend Bylaw No. 3156/96, the Land Use Bylaw of the City of Red Deer.

COUNCIL OF THE CITY OF RED DEER, ALBERTA, ENACTS AS FOLLOWS:

- 1 That Section 10 Plans and Information Required is amended by adding the new subsection (1)(d) as follows:

"10 (1)(d) if a building or site is identified in the Heritage Significance District Subsection 221(7), and where the demolition of the existing building or site is proposed, the applicant shall submit the comments of the Heritage Preservation Committee as required under Section 221(5)"
- 2 That Section 199 R3 Residential (Multiple Family) District, Permitted Uses (subject to any Area Structure Plan or Area Redevelopment Plan) is amended by deleting Subsection (4) "Social Care Residences".
- 3 That Section 200 be amended by adding the following

"200 (16) Social Care Residence"
- 4 That Subsection 177(5) R1 Residential Low Density District Regulations be deleted in whole and replaced with the following:

"177 (5) Side Yard: Detached dwelling: minimum 1.5 m
Notwithstanding the setbacks noted above, where the building flanks a public roadway, the setback on the flanking side shall be in accordance with Schedule A Figure 9."
- 5 That Subsection 176(6) Discretionary Uses, subject to any applicable Area Structure Plan or Area Redevelopment Plan) is amended by deleting "Retirement Home" and replacing it with "Retirement Home in a Single Family Dwelling".
- 6 That Subsections 176(7), 182(6), 192(11) and 200(13) Discretionary Uses (subject to any applicable Area Structure Plan or Area Redevelopment Plan) are deleted and replaced in whole by the following:

"176 (7) Day Care Facility, Day Care Adult, Social Care Residence, Retirement Home, or Place of Worship or Assembly on sites which are so designated in an Area Structure Plan or Area Redevelopment Plan."

"182 (6) Day Care Facility, Day Care Adult, Social Care Residence, Retirement Home, or Place of Worship or Assembly on sites which are so designated in an Area Structure Plan or Area Redevelopment Plan."

"192 (11) Day Care Facility, Day Care Adult, Social Care Residence, Retirement Home, or Place of Worship or Assembly on sites which are so designated in an Area Structure Plan or Area Redevelopment Plan."

"200 (13) Day Care Facility, Day Care Adult, Social Care Residence, Retirement Home, or Place of Worship or Assembly on sites which are so designated in an Area Structure Plan or Area Redevelopment Plan."

- 7 That Section 115 Permitted Uses, subject to any applicable Area Structure Plan or Area Redevelopment Plan is amended by deleting 115 (1) and replacing it with

"115 (1) Merchandise Sales and/or rental, servicing the neighbourhood only, excluding

- all uses where the primary focus is adult oriented merchandise and/or entertainment
- motor vehicles
- machinery
- fuel and
- liquor, beer or wine sales"

8. That Section 2 is amended by deleting the definitions for "Commercial Service Facility" and "Office" and substituting the following:

"Commercial Service Facility" means a facility in which services are provided commercially to individuals, and without limiting the generality of the foregoing, may include

- services related to the care and appearance of the body such as a massage business, beauty shop, barber shop, tanning salon or fitness centre
- cleaning and repair of personal effects such as shoe repair, dry cleaning or laundering outlet
- care of small animals such as a small animal veterinary clinic or dog grooming salon
- funeral home, financial or insurance services outlet, real estate agency, travel agency commercial school or day care

but does not include office."

"Office" means a development that provides professional, management, administrative, consulting and health care services, such as the offices of doctors, lawyers, accountants, engineers, architects, clerical, secretarial, employment, telephone answering and similar office support services."

- 9 That Section 2 is amended by adding in alphabetical order the following definitions:

"Institutional Housing" means any public or non profit housing which is designed for the treatment or care of persons who are in an institutional setting such as a monastery, nunnery or religious retreat or for residents incapable of independent

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“Hostel” means short term lodging for travelers where patrons pay for accommodation.

“Day Care Adult” means a facility providing care and/or supervision for 7 or more adults for more than three but less than 24 consecutive hours in a day.

“Gross Leasable Area” or “GLA” means the sum of the areas of the all plans of a building measured to the glass line, or where there is no glass line to the outside surface of the exterior walls, or where the buildings are separated by firewalls to the center line of the common firewall, and includes all floors totally or partially including basements, mezzanines and upper floors and all mechanical equipment areas.

10 Section 96(4) is amended by deleting “hostel”.

11 Section 97 is amended by adding:

“97 (15) Hostel”

12 That Section 150(4)(b) is amended by deleting the term “personal service”.

13 That Section 95 is amended by deleting the “General Purpose” and substituting the following:

“95 General Purpose

This district is located in the central area of the city with excellent road access, access to transit and a good pedestrian environment. In accordance with the Area Redevelopment Plan, this district is intended to act as the main office area for the city and provide a wide range of commercial, institutional, cultural and residential development. Generally, the land uses are to serve the city and region as a whole.”

14 That Sections 97 and 104 be amended by adding “Social Care Residence” as a discretionary use;

“97 (15) Social Care Residence
104 (18) Social Care Residence”

15 That Subsection 109(8) “Office in total not to exceed 5% of the gross leasable area of the whole shopping centre” be deleted in whole.

16 That Subsection 108(4) “Office in total not to exceed 5% of the gross leasable area of the whole shopping centre” be deleted in whole and the following use be substituted:


- "108 (4) Office in total not to exceed 10% of the gross leasable area of the whole shopping centre"
- 17 That Section 54 Exceptions Respecting Land Use is amended by deleting Subsections 54(4)(g) and 54(4)(i) in whole.
- 18 That Subsection 117(9) C3 Commercial (Neighbourhood Convenience) District Regulations be deleted and replaced in whole with the following:
- | | | | |
|----------|-----------|---------|----------------------|
| "117 (9) | Site Area | minimum | 378m ² |
| | | maximum | 4047m ² " |
- 19 That Subsection 111(7) C2 Commercial (District Shopping Centre) District Regulations be deleted and replaced in whole with the following:
- "111 (7) Health and Medical Services


READ A FIRST TIME IN OPEN COUNCIL this 24th day of March 2003.

READ A SECOND TIME IN OPEN COUNCIL this 22nd day of April 2003.

READ A THIRD TIME IN OPEN COUNCIL this 22nd day of April 2003.

AND SIGNED BY THE MAYOR AND CITY CLERK this 22nd day of April 2003.


MAYOR


Deputy CITY CLERK

**City Clerk's Department**

DATE: March 25, 2003
TO: City Council
FROM: City Clerk
SUBJECT: Road Closure Bylaw 3308/2003 (Plan 892-3301 – Kentwood Drive)
Road Closure Bylaw 3309/2003 (Plan 892-0111 – Area Required for Road)
City of Red Deer / Laebon Developments Ltd.

History

At the March 24, 2003 Council Meeting, Council gave first reading to Road Closure Bylaws 3308/2003 and 3309/2003.

As part of a Land Sale and Option to Purchase Agreement with Laebon Developments, the City will sell part of Road Plan 892-0111 and some of the C & E lands in Kentwood. The area is approximately 2.8 acres and will be used for residential development. In order to adjust the area designated for road (Kendrew Drive – formerly Kentwood Drive) the existing Road Plan will be closed and a new Road Plan will be registered.

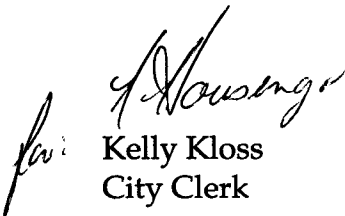
Public Consultation Process

Public Hearings have been advertised for Tuesday, April 22, 2003 at 7:00 p.m. in the Council Chambers during Council's regular meeting. The owners of the properties bordering the site have been notified by letter of the Public Hearing.

Recommendations

That following the Public Hearings, Council proceed with:

- (a) Second and third readings of Road Closure Bylaw 3308/2003
- (b) Second and third readings of Road Closure Bylaw 3309/2003.


Kelly Kloss
City Clerk

/chk

Memo

Date: March 14th, 2003

To: Kelly Kloss, City Clerk

From: Howard Thompson, Land & Economic Development Officer

Re: Road Closure - Road plan 892-0111 shown as "Area required for road," and Plan 892-3301 shown as "Kentwood Drive"

The City of Red Deer has entered into a Land Sale and Option to Purchase Agreement with Laebon Developments Ltd. to sell part of Road plan 892-0111 and some of the C&E lands in Kentwood. The area is approximately 2.8 acres and is shown on the attached sketch. The land will be used for residential development and no rezoning is required.

The engineering services department has completed the alignment design for Kendrew Drive (formerly Kentwood Dr.), the alignment calls for adjustment of the area designated for road. The land surveyor advises that the best way to accomplish this is to close the existing road plan and register the new one. The survey plan to be registered will; define the MR parcel adjacent to the rail line, define the area required for Kendrew Drive, define the future residential (Laebon) lands, subdivide the neighborhood commercial site from the multifamily site, Dissolve a PUL lot into the commercial site, and consolidate all parts of the proposed road closures into the appropriate adjacent lands.

In order for both parties to complete the sale and to facilitate the registration of proper lands for Kendrew Dr. City Councils' approval of two road closure bylaws are required. City administration supports the road closure, as it is considered to be surplus to the City's needs.

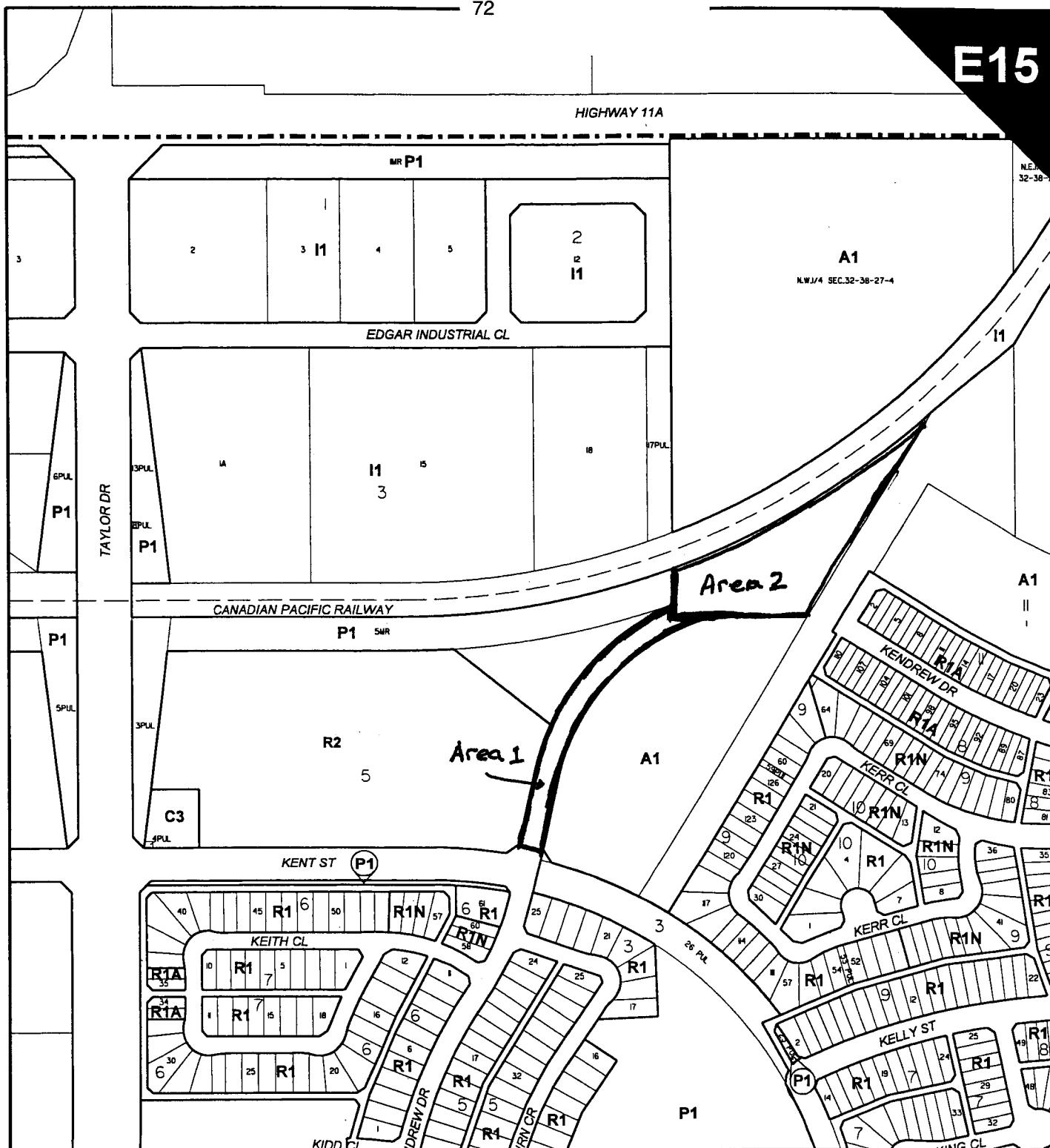
RECOMMENDATION

Land and Economic Development recommend that City Council give first reading to Bylaws closing the following:

1. All that portion of Plan 892-3301 shown as "Kentwood Drive," containing 0.60 ha. more or less
2. All that portion of plan 892-0111 shown as "Area required for road," containing 1.39 ha. more or less



Howard S. Thompson
Land & Economic Development Manager



Part Six of the Bylaw
outlines the Land Use
District Definitions

refer to the Index Map
for the Legend



NORTH
Scale 1:5,000

© The City of Red Deer,
Engineering Department

The City of Red Deer

Land Use Bylaw 3156/96

Amendments to NW 1/4 Sec 32

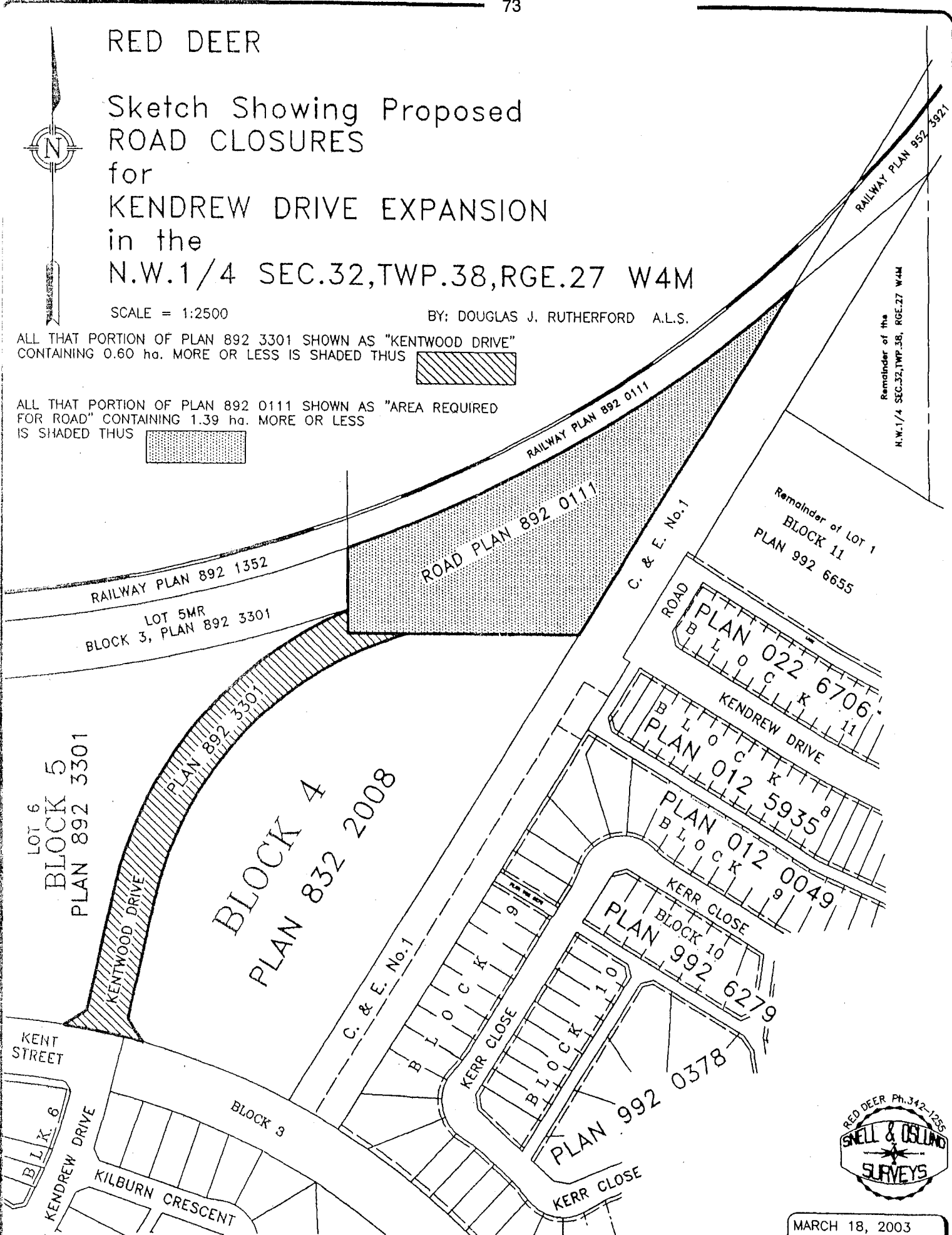
3156 / BB-98	Sept 8, 1998
3156 / D-99	Mar 29, 1999
3156 / J-2000	Apr 10, 2000
3156 / JJ-2000	Oct 23, 2000
3156 / Q-2001	May 22, 2001
3156 / T-2001	May 22, 2001
3156 / O-2002	May 21, 2002
3156 / FF-2002	July 15, 2002

D16	E16	F16
D15	E15	F15
D14	E14	F14

NW 1/4 Sec 32
Twp 38- Rge 27 - W4th

printed on
September 12, 2002

BY: DOUGLAS J. RUTHERFORD A.L.S.



MARCH 18, 2003
JOB No.: 25-208B

**ROAD CLOSURE BYLAWS 3308 & 3309/2003
KENTWOOD**

DESCRIPTION: Road closures to provide for realignment of Kendrew Drive & provide for residential development

FIRST READING: March 24, 2003

FIRST PUBLICATION: April 4, 2003

SECOND PUBLICATION: April 11, 2003

PUBLIC HEARING & SECOND READING: April 22, 2003

THIRD READING: April 22, 2003

LETTERS REQUIRED TO PROPERTY OWNERS: YES ☒ NO ☐

DEPOSIT? YES ☐ \$ _____ NO ☒ **BY:** City

ACTUAL COST OF ADVERTISING:

\$ 279.⁴⁰ X 2

TOTAL: \$ 458.⁸⁰

MAP PREPARATION:

\$ 38.⁻

TOTAL COST:

\$ 496.⁸⁰

LESS DEPOSIT RECEIVED:

\$ _____

AMOUNT OWING/ (REFUND):

\$ _____

INVOICE NO.:

(Account No. 59.5901)



Council Decision – April 22, 2003

City Clerk's Department

DATE: April 23, 2003
TO: Howard Thompson, Land & Economic Development Officer
FROM: Nona Housenga, Deputy City Clerk
SUBJECT: Road Closure Bylaw 3308/2003 (Plan 892-3301 – Kentwood Drive)
Road Closure Bylaw 3309/2003 (Plan 892-0111 – Area Required for Road)
City of Red Deer / Laebon Developments Ltd.

Reference Report:

City Clerk, dated March 25, 2003 and Land & Economic Development Officer, dated March 14, 2003

Bylaw Readings:

Road Closure Bylaw 3308/2003 and Road Closure Bylaw 3309/2003 were given second and third readings. Copies of the bylaws are attached.

Report Back to Council: No

Comments/Further Action:

As part of a Land Sale and Option to Purchase Agreement with Laebon Developments, the City will sell part of Road plan 892-0111 and some of the C & E lands in Kentwood. The area is approximately 2.8 acres and will be used for residential development. In order to adjust the area designated for road (Kendrew Drive – formerly Kentwood Drive) the existing road plan will be closed and a new road plan will be registered. Certified copies of the Road Closure Bylaws are attached for your information.

A handwritten signature in cursive script, appearing to read 'N. Housenga'.

Nona Housenga
Deputy City Clerk

/chk
attchs.

- c Director of Development Services
- Inspections and Licensing Manager
- Land & Economic Development Manager
- City Assessor
- D. Kutinsky, Graphics Designer
- C. Adams, Administrative Assistant
- B. Greter, City Clerk's, Clerk Steno

BYLAW NO. 3308/2003

Being a bylaw to close portions of road in the City of Red Deer, as described herein.

COUNCIL OF THE CITY OF RED DEER, ALBERTA, ENACTS AS FOLLOWS:

1 The following portion of roadway in the City of Red Deer is hereby closed:

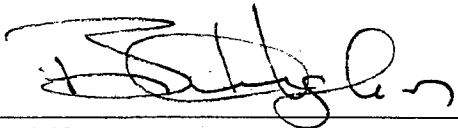
"All that portion of Plan 892-3301 shown as "Kentwood Drive",
containing 0.60 ha. more or less."

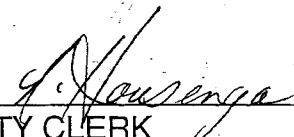
READ A FIRST TIME IN OPEN COUNCIL this 24th day of March 2003.

READ A SECOND TIME IN OPEN COUNCIL this 22nd day of April 2003.

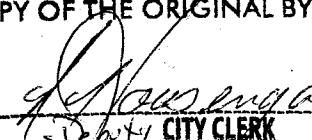
READ A THIRD TIME IN OPEN COUNCIL this 22nd day of April 2003.

AND SIGNED BY THE MAYOR AND CITY CLERK this 22nd day of April 2003.


D/MAYOR


Deputy CITY CLERK

CERTIFIED TO BE A TRUE AND CORRECT
COPY OF THE ORIGINAL BYLAW.


Deputy CITY CLERK

BYLAW NO. 3309/2003

Being a bylaw to close portions of road in the City of Red Deer, as described herein.

COUNCIL OF THE CITY OF RED DEER, ALBERTA, ENACTS AS FOLLOWS:

1 The following portion of roadway in the City of Red Deer is hereby closed:

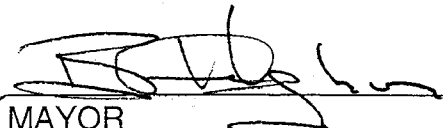
"All that portion of Plan 892-0111 shown as "Area required for road", containing 1.39 ha. more or less."

READ A FIRST TIME IN OPEN COUNCIL this 24th day of March 2003.

READ A SECOND TIME IN OPEN COUNCIL this 22nd day of April 2003.

READ A THIRD TIME IN OPEN COUNCIL this 22nd day of April 2003.

AND SIGNED BY THE MAYOR AND CITY CLERK this 22nd day of April 2003.


MAYOR

CERTIFIED TO BE A TRUE AND CORRECT
COPY OF THE ORIGINAL BYLAW.


Deputy CITY CLERK


Deputy CITY CLERK

Date: March 28, 2003

To: Norma Lovell, Assessment


From: Cheryl Adams
City Clerk's Department

Re: Road Closure Bylaws 3308 & 3309/2003 Kentwood Drive (Plan 892-3301 & Plan 892-0111)

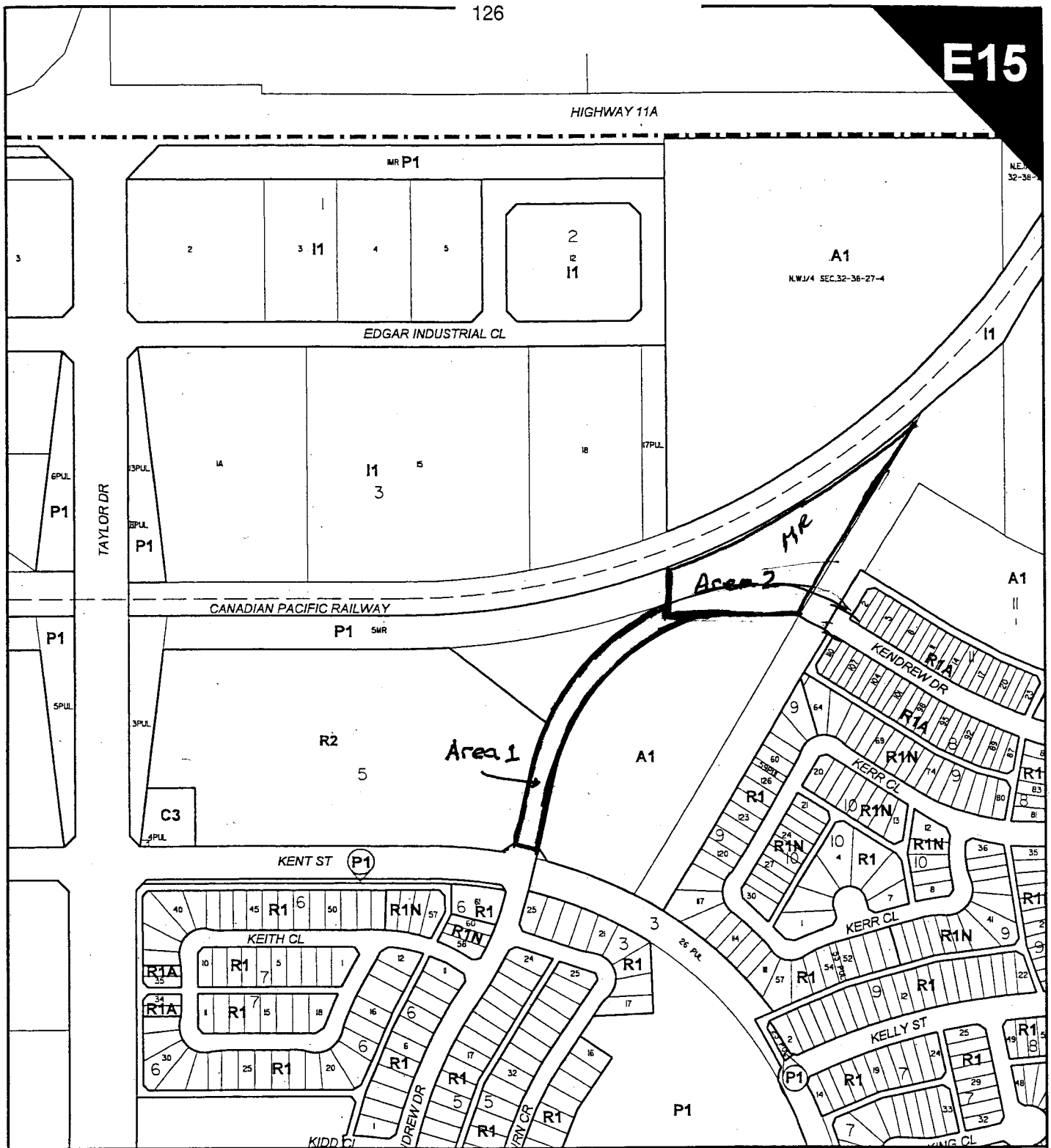
Please provide **Bev Greter** with the names and addresses of the subject property owners and all contiguous/adjacent property owners as outlined on the attached map.

It would be helpful if the lists could be received at your earliest convenience in order to process the letters within the required time period. I have attached the map that appeared on the Council agenda for your reference.

Thanks Norma.


Cheryl Adams
City Clerks' Office

Attach.



Part Six of the Bylaw
outlines the Land Use
District Definitions

refer to the Index Map
for the Legend



NORTH
Scale 1:5,000

© The City of Red Deer,
Engineering Department

The City of Red Deer

Land Use Bylaw 3156/96

Amendments to NW 1/4 Sec 32

3156 / BB-98	Sept 8, 1998
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3156 / FF-2002	July 15, 2002

D16	E16	F16
D15	E15	F15
D14	E14	F14

NW 1/4 Sec 32
Twp 38-Rge 27 - W4th

printed on
September 12, 2002

FILE

April 02, 2003

«OwnerName»

«OwnerAdd1»

«OwnerAdd2»

«OwnerAdd3»

Dear Sir/Madam:

**Re: Road Closure Bylaws 3308/2003 and 3309/2003
Kentwood Subdivision**

Red Deer City Council proposes to pass **Road Closure Bylaws 3308/2003 and 3309/2003** to provide for the alignment design for Kendrew Drive, Road Plan 892-3301 (formerly Kentwood Drive) and the sale of a portion of Road Plan 892-0111 (a portion of the C & E Trail lands). The result will be a realigned Kendrew Drive and residential development on the portion of C & E Trail lands. As a property owner in the Kentwood area you have an opportunity to ask questions and to let Council know your views.

The proposed bylaws may be inspected by the public at the City Clerk's Department, 2nd Floor of City Hall during regular office hours or for more details, contact the city planners at Parkland Community Planning Services 343-3394.

City Council will hear from any person claiming to be affected at a Public Hearing on **Tuesday, April 22, 2003** at 7:00 p.m. in Council Chambers, 2nd floor of City Hall. If you want your letter or petition included on the Council agenda you must submit it to the City Clerk by **Tuesday, April 15, 2003**. Otherwise, you may submit your letter or petition at the Council meeting or you can simply tell Council your views at the Public Hearing. Any submission will be public information. If you have any questions regarding the use of this information, please contact the City Clerk's Office at 342-8132.

Yours truly,



Kelly Kloss
City Clerk

Encl.

KENTWOOD
Road Closure Bylaws

Road Closure Bylaws 3308/2003 and 3309/2003 provide for the alignment design for Kendrew Drive, Road Plan 892-3301 (formerly Kentwood Drive) and the sale of a portion of Road Plan 892-0111 (a portion of the C & E Trail lands). The result will be a realigned Kendrew Drive and residential development on the portion of C & E Trail lands. The proposed bylaws may be inspected by the public at the City Clerk's Department, 2nd Floor of City Hall during regular office hours or for more details, contact the city planners at Parkland Community Planning Services 343-3394.

"Map"

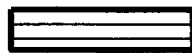
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Kelly Kloss
City Clerk

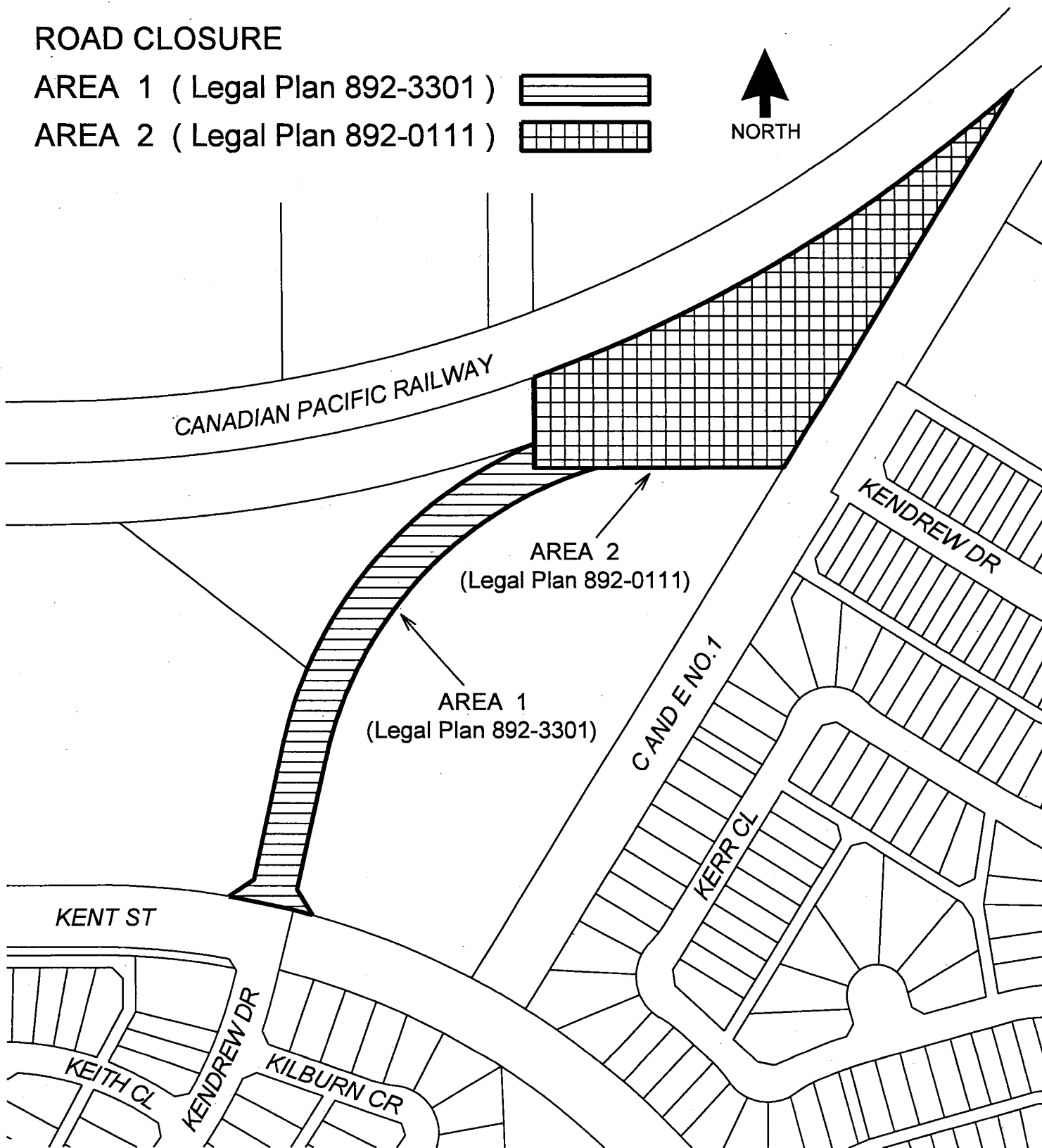
(Publication Dates: April 4 & 11, 2003)

ROAD CLOSURE

AREA 1 (Legal Plan 892-3301)



AREA 2 (Legal Plan 892-0111)



Main Doc. 264349.

Road Closure 330813309
Data Source: 264056

OwnerName	OwnerAdd1	OwnerAdd2	OwnerAdd
Mason Martin & Associates Inc.	Box 159	RED DEER, AB T4N 5E8	
Douglas John & Susan Heather	89 Kilburn Street	RED DEER, AB T4P 3T8	
Calgary & Edmonton Railway	2300 125 9 Avenue SE	CALGARY, AB T2P 0P8	
957292 Alberta Ltd.	1 5128 52 Street	RED DEER, AB T4N 6Y4	
Laebon Developments Ltd	1 5128 52 Street	RED DEER, AB T4N 6Y4	
Kent Dallas & Kimiko Dawn Yamada	169 Kerr Close	RED DEER, AB T4P 3Y1	
Corey Schnepf & Tammy Hillaby	173 Kerr Close	RED DEER, AB T4P 3Y1	
Rodney Mykietiak	177 Kerr Close	RED DEER, AB T4P 3Y1	
Alexandra Elizabeth Schultz	181 Kerr Close	RED DEER, AB T4P 3Y1	
Nicole Marie & Douglas Mark	Jendrasheske	185 Kerr Close	RED DEER, AB T4P 3Y1
Maurice Wayne Zdunich	189 Kerr Close	RED DEER, AB T4P 3V4	
Leonard Wipf	193 Kerr Close	RED DEER, AB T4P 3Y1	
Lorraine Ann Harvey	197 Kerr Close	RED DEER, AB T4P 3V4	
Larry & Gail Roy	201 Kerr Close	RED DEER, AB T4P 3V4	
Lee-Ann Shank	205 Kerr Close	RED DEER, AB T4P 3V4	
Laura A Hughes	209 Kerr Close	RED DEER, AB T4P 3V4	
Shannon Zsigrai	213 Kerr Close	RED DEER, AB T4P 3V4	
Walter Benjamin & Philomena Greif	217 Kerr Close	RED DEER, AB T4P 3V4	
Laebon Developments Ltd.	1 5128 52 Street	RED DEER, AB T4N 6Y4	
Kji Gene Rumohr & Dianne L.	225 Kerr Close	RED DEER, AB T4P 3V4	
Michael Mindle & Shaun Wilson	& Sheldon Hitchcock	229 KERR CL	RED DEER, AB T4P 3V4
Doug Shaw	233 Kerr Close	RED DEER, AB T4P 3V4	
Tanya & Barry & Mary Rubottom	230 Kendrew Drive	RED DEER, AB T4P 3Z1	
Randy & Shelley Sebry	49 Rogers Crescent	RED DEER, AB T4P 3K5	
Harpers Metals Inc.	8149 Edgar Industrial Close	RED DEER, AB T4P 3R4	
John & Ann Slemko & Bevan	Michael & Marcy Blaine	& JERROLD JOHN	BOX 906 Red Deer T4N
Gillmar Management Ltd. &	J. Alfred Ordman Prof.	BOX 1188	RED DEER, AB T4N 6S6 5H3



CARRY
Council Decision – March 24, 2003

City Clerk's Department

DATE: March 25, 2003
TO: Howard Thompson, Land & Economic Development Officer
FROM: Kelly Kloss, City Clerk
SUBJECT: Road Closure Bylaw 3308/2003 (Plan 892-3301 – Kentwood Drive)
Road Closure Bylaw 3309/2003 (Plan 892-0111 – Area Required for Road)
City of Red Deer / Laebon Developments Ltd.

Reference Report:

Land & Economic Development Manager, dated March 14, 2003

Bylaw Readings:

Road Closure Bylaw 3308/2003 and Road Closure Bylaw 3309/2003 were given first readings. Copies of the bylaws are attached.

Report Back to Council: Yes

Public Hearings will be held on Tuesday, April 22, 2003 at 7:00 p.m. in Council Chambers during Council's regular meeting.

Comments/Further Action:

As part of a Land Sale and Option to Purchase Agreement with Laebon Developments, the City will sell part of Road plan 892-0111 and some of the C & E lands in Kentwood. The area is approximately 2.8 acres and will be used for residential development. In order to adjust the area designated for road (Kendrew Drive – formerly Kentwood Drive) the existing road plan will be closed and a new road plan will be registered. The City will be responsible for the advertising costs in this instance.



Kelly Kloss
City Clerk

/chk

/attach.

c Director of Development Services

BYLAW NO. 3308/2003

Being a bylaw to close portions of road in the City of Red Deer, as described herein.

COUNCIL OF THE CITY OF RED DEER, ALBERTA, ENACTS AS FOLLOWS:

- 1 The following portion of roadway in the City of Red Deer is hereby closed:

“All that portion of Plan 892-3301 shown as “Kentwood Drive”,
containing 0.60 ha. more or less.”

READ A FIRST TIME IN OPEN COUNCIL this 24th day of March 2003.

READ A SECOND TIME IN OPEN COUNCIL this day of 2003.

READ A THIRD TIME IN OPEN COUNCIL this day of 2003.

AND SIGNED BY THE MAYOR AND CITY CLERK this day of 2003.

MAYOR

CITY CLERK

BYLAW NO. 3309/2003

Being a bylaw to close portions of road in the City of Red Deer, as described herein.

COUNCIL OF THE CITY OF RED DEER, ALBERTA, ENACTS AS FOLLOWS:

1 The following portion of roadway in the City of Red Deer is hereby closed:

“All that portion of Plan 892-0111 shown as “Area required for road”, containing 1.39 ha. more or less.”

READ A FIRST TIME IN OPEN COUNCIL this 24th day of March 2003.

READ A SECOND TIME IN OPEN COUNCIL this day of 2003.

READ A THIRD TIME IN OPEN COUNCIL this day of 2003.

AND SIGNED BY THE MAYOR AND CITY CLERK this day of 2003.

MAYOR

CITY CLERK

Memo

Date: March 14th, 2003

To: Kelly Kloss, City Clerk

From: Howard Thompson, Land & Economic Development Officer

Re: Road Closure - Road plan 892-0111 shown as "Area required for road," and Plan 892-3301 shown as "Kentwood Drive"

The City of Red Deer has entered into a Land Sale and Option to Purchase Agreement with Laebon Developments Ltd. to sell part of Road plan 892-0111 and some of the C&E lands in Kentwood. The area is approximately 2.8 acres and is shown on the attached sketch. The land will be used for residential development and no rezoning is required.

The engineering services department has completed the alignment design for Kendrew Drive (formerly Kentwood Dr.), the alignment calls for adjustment of the area designated for road. The land surveyor advises that the best way to accomplish this is to close the existing road plan and register the new one. The survey plan to be registered will; define the MR parcel adjacent to the rail line, define the area required for Kendrew Drive, define the future residential (Laebon) lands, subdivide the neighborhood commercial site from the multifamily site, Dissolve a PUL lot into the commercial site, and consolidate all parts of the proposed road closures into the appropriate adjacent lands.

In order for both parties to complete the sale and to facilitate the registration of proper lands for Kendrew Dr. City Councils' approval of two road closure bylaws are required. City administration supports the road closure, as it is considered to be surplus to the City's needs.

RECOMMENDATION

Land and Economic Development recommend that City Council give first reading to Bylaws closing the following:

1. All that portion of Plan 892-3301 shown as "Kentwood Drive," containing 0.60 ha. more or less
2. All that portion of plan 892-0111 shown as "Area required for road," containing 1.39 ha. more or less



Howard S. Thompson
Land & Economic Development Manager

Plan Showing a Proposed Subdivision of
LOT 6, BLOCK 5, PLAN 892 3301
KENTWOOD DRIVE, PLAN 892 3301
BLOCK 4, PLAN 832 2008
LOT 4-PUL, BLOCK 5, PLAN 892 2866

N.1/2 SEC.32,TWP.38, RGE.27 W4M

BY: DOUGLAS J. RUTHERFORD A.L.S.

FROM: KENTWOOD DRIVE, PLAN 892 3301	=	0.599 ha.	1.48 Acs.
C. & E. No.1	=	1.639 ha.	4.05 Acs.
LOT 6, BLOCK 5, PLAN 892 3301	=	6.379 ha.	15.76 Acs.
ROAD PLAN 892 0111	=	1.391 ha.	3.44 Acs.
BLOCK 4, PLAN 832 2008	=	2.982 ha.	7.37 Acs.
LOT 4-PUL, BLOCK 5, PLAN 892 2866	=	0.004 ha.	0.01 Acs.
<hr/>			
TOTAL	=	12.994 ha.	32.11 Acs.



N.E.1/4 SEC.32,TWP.38, RGE.27 W4M



MARCH 19, 2003
JOB No.: 25-208



City Clerk's Department

FILE

Council Decision – April 22, 2003

DATE: April 23, 2003
TO: Howard Thompson, Land & Economic Development Officer
FROM: Nona Housenga, Deputy City Clerk
SUBJECT: Road Closure Bylaw 3308/2003 (Plan 892-3301 – Kentwood Drive)
Road Closure Bylaw 3309/2003 (Plan 892-0111 – Area Required for Road)
City of Red Deer / Laebon Developments Ltd.

Reference Report:

City Clerk, dated March 25, 2003 and Land & Economic Development Officer, dated March 14, 2003

Bylaw Readings:

Road Closure Bylaw 3308/2003 and Road Closure Bylaw 3309/2003 were given second and third readings. Copies of the bylaws are attached.

Report Back to Council: No

Comments/Further Action:

As part of a Land Sale and Option to Purchase Agreement with Laebon Developments, the City will sell part of Road plan 892-0111 and some of the C & E lands in Kentwood. The area is approximately 2.8 acres and will be used for residential development. In order to adjust the area designated for road (Kendrew Drive – formerly Kentwood Drive) the existing road plan will be closed and a new road plan will be registered. Certified copies of the Road Closure Bylaws are attached for your information.

A handwritten signature in cursive script, appearing to read 'N. Housenga'.

Nona Housenga
Deputy City Clerk
/chk
attchs.

- c Director of Development Services
- Inspections and Licensing Manager
- Land & Economic Development Manager
- City Assessor
- D. Kutinsky, Graphics Designer
- C. Adams, Administrative Assistant
- B. Greter, City Clerk's, Clerk Steno

BYLAW NO. 3308/2003

Being a bylaw to close portions of road in the City of Red Deer, as described herein.

COUNCIL OF THE CITY OF RED DEER, ALBERTA, ENACTS AS FOLLOWS:

1 The following portion of roadway in the City of Red Deer is hereby closed:

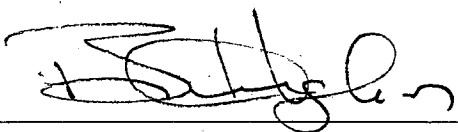
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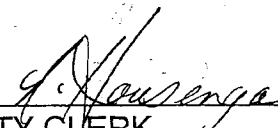
READ A FIRST TIME IN OPEN COUNCIL this 24th day of March 2003.

READ A SECOND TIME IN OPEN COUNCIL this 22nd day of April 2003.


READ A THIRD TIME IN OPEN COUNCIL this 22nd day of April 2003.

AND SIGNED BY THE MAYOR AND CITY CLERK this 22nd day of April 2003.


D/MAYOR


Deputy CITY CLERK

CERTIFIED TO BE A TRUE AND CORRECT
COPY OF THE ORIGINAL BYLAW.


Deputy CITY CLERK

BYLAW NO. 3309/2003

Being a bylaw to close portions of road in the City of Red Deer, as described herein.

COUNCIL OF THE CITY OF RED DEER, ALBERTA, ENACTS AS FOLLOWS:

1 The following portion of roadway in the City of Red Deer is hereby closed:

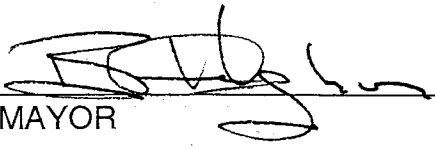
"All that portion of Plan 892-0111 shown as "Area required for road", containing 1.39 ha. more or less."

READ A FIRST TIME IN OPEN COUNCIL this 24th day of March 2003.

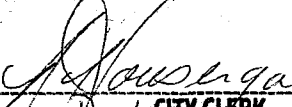
READ A SECOND TIME IN OPEN COUNCIL this 22nd day of April 2003.

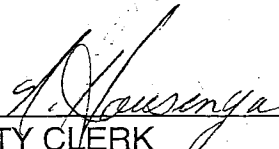
READ A THIRD TIME IN OPEN COUNCIL this 22nd day of April 2003.

AND SIGNED BY THE MAYOR AND CITY CLERK this 22nd day of April 2003.


MAYOR

CERTIFIED TO BE A TRUE AND CORRECT
COPY OF THE ORIGINAL BYLAW.


Deputy CITY CLERK


Deputy CITY CLERK

Date: April 13, 2003
To: City Clerk
From: Director of Corporate Services
Subject: 2002 Audited Annual Report

Enclosed with the Council agenda is the 2002 audited Annual Report.

Section 276 (3) of the Municipal Government Act states 'Each municipality must make its financial statements, or a summary of them, and the auditor's report of the financial statements available to the public in the manner the council considers appropriate by May 1 of the year following the year for which the financial statements have been prepared.'

Each year the Annual Report is presented to Council for information and approval to make the report available to the public.

Mick Davies of the City's audit firm of Collins Barrow will present the report and answer any questions.

Requested Action

Acceptance of the City's 2002 audited Annual Report for publication.



Rodney J. Burkard, BA, CA.
Director of Corporate Services

Att.

DATE: APRIL 14, 2003

TO: CITY CLERK

FROM: TREASURY SERVICES MANAGER

SUBJECT: ANNUAL FINANCIAL STATEMENTS

The attached audited financial statements are provided because they are required to meet the statutory requirements of the Municipal Government Act and to demonstrate that we are meeting our responsibility of 'due diligence' in reporting the financial affairs of the City of Red Deer. However, they are very difficult to interpret because of a number of factors:

1. **Scope** - The Statements include not just tax-supported operations, but also utility and self funded operations, plus a number of related agencies that are required to be consolidated under the rules of the Public Sector Accounting Board, plus Capital Fund activities.
2. **Unusual Items** – This year there were a couple of very unusual items that created some significant variances:
 - a. About \$4.7 million in accumulated E.L.&P surpluses and \$5.3 million in current year E.L.&P surpluses and depreciation that were transferred to the Capital Projects Reserve. The accumulated amount shows as a transfer from operating reserves, and is then added to the current year amount and shown as a transfer to capital, and then as a transfer from the Capital Fund to reserves.
 - b. About \$25 million in accumulated and current year Subdivision/Land Bank surpluses that were transferred from the Capital Fund to a Subdivision Reserve. This shows as a reduction in the Capital Fund, and an unbudgeted transfer to reserves.
 - c. Even though the Land Sales budget was amended a number of times during the year, it was such a busy year that land sales surpassed even the revised \$14 million budget by almost \$1 million
3. **Municipal Accounting** – Alberta Municipal Affairs prescribes certain methods of accounting that are in themselves confusing. For example:
 - a. Depreciation on utility and fleet assets of about \$5.1 million must be shown instead as a transfer to reserves or to capital.
 - b. Municipal Affairs requires that payment of debt principal be shown as an operating 'expense' while in a more business like accounting model they are not. For the Water and Wastewater utilities, this totaled about \$1.5 million
 - c. Land sale revenue must be recorded as operating revenue, while the cost of servicing new subdivisions is recorded as capital expenditures.
 - d. The net of land sales and admin costs is, therefore, shown as a transfer to capital.

As you can see, these factors make it difficult to report clearly and concisely on what is actually a complex set of specialized and dissimilar businesses. This has created the need for separate and specific reports dealing with distinct issues, such as the recent operating variance report provided to Council, and reports related to subdivision/land bank issues, reserves balances, etc.

City Clerk
Page 2
April 14, 2003

We are continuing to modify the budgeting and reporting processes to try to add clarity, but there is a limit to what can be done, given the nature of a consolidated statement and the related requirements.

Our auditors from Collins Barrow will be in attendance and they, or I, will be happy to answer any questions or concerns.

Gary Mullin, Manager
Treasury Services

Comments:

We support the recommendation of the Director of Corporate Services to accept the City of Red Deer's 2002 Audited Financial Report for publication. The audited statements combine various municipal operations including those funded through taxation as well as the various utilities. In addition, the Red Deer Public Library, the River Bend Golf Course, the Red Deer Downtown Business Association and the Normandeau Cultural and Natural History Society's operations are also consolidated into the financial statements of the City of Red Deer. As a result of these combinations and consolidations, City Council may find it challenging to relate to the numbers presented because generally we deal with these operations independently.

"B. Hughes"
Deputy Mayor

"N. Van Wyk"
City Manager



COUNCIL MEETING OF APRIL 22ND , 2003

ATTACHMENT

DOCUMENT STATUS: PUBLIC

**REFERS TO: CITY OF RED DEER
2002 AUDITED ANNUAL REPORT**



ANNUAL REPORT 2002

**The Corporation of The City of Red Deer
Alberta, Canada**



ANNUAL REPORT

For the year ended December 31, 2002

**The Corporation of The City of Red Deer
Alberta, Canada**

Prepared by Corporate Services

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INTRODUCTORY INFORMATION

CITY COUNCIL

MAYOR G. SURKAN

Councillor J. Dawson
Councillor M. Flewwelling
Councillor V. Higham
Councillor B. Hughes

Councillor D. Moffat
Councillor L. Pimm
Councillor D. Rowe
Councillor L. Watkinson-Zimmer

CITY MANAGER

N. Van Wyk

CORPORATE SERVICES DIRECTOR

R. Burkard

Treasury Services Manager

G. Mullin

City Assessor

M. Chilibeck

Information Technology Manager

D. Newton

City Clerk

K. Kloss

COMMUNITY SERVICES DIRECTOR

C. Jensen

Social Planning Manager

B. Jeffrey

Recreation, Parks & Culture Manager

H. Jeske

Transit Manager

K. Joll

Officer in Charge

(R.C.M.P.) - City Detachment

Supt. J. Steele

DEVELOPMENT SERVICES DIRECTOR

B. Jeffers

Engineering Manager

K. Haslop

Public Works Manager

P. Goranson

Fire Chief/Emergency Services Manager

J. MacDonald

Electric Light & Power Manager

A. Roth

Land & Economic Development Officer

H. Thompson

Inspections & Licensing Manager

G. Scott

Personnel Manager

G. Howell

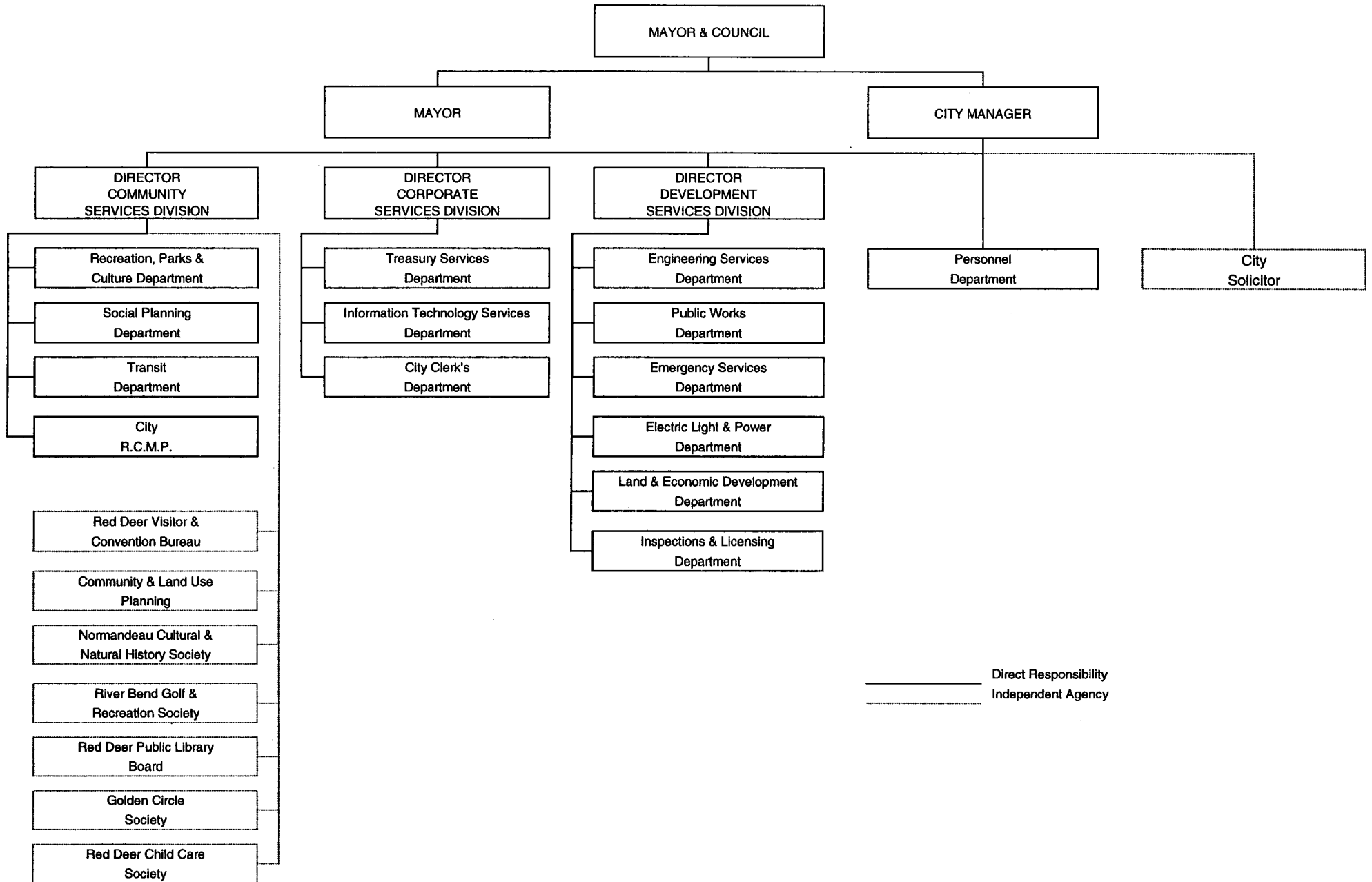
City Solicitor

Chapman Riebeek

City Auditor

Collins Barrow

THE CITY OF RED DEER ORGANIZATIONAL CHART



CITY PROFILE

The City of Red Deer is a thriving, modern city of over 70,000 people located between Calgary and Edmonton. The City provides its citizens with a wide range of services, some funded primarily by property taxes, and others operating as self funding utilities.

GENERAL OPERATIONS - The City's GENERAL OPERATIONS, funded primarily through property taxes include:

COMMUNITY SERVICES - The Community Services Division co-ordinates the delivery of recreation, culture, parks, transit, and social services in Red Deer through the Recreation, Parks & Culture, Transit, and Social Planning departments. Services include development and maintenance of the city's extensive parks and open space system, playground and rink maintenance, operation of the city's two cemeteries, operation of a wide variety of recreational and cultural activities and facilities, and the co-ordination of day care, special transportation, and family and community support services. Transit offers fixed transit routes throughout the City, an after hours Dial-A-Bus system, and some charter services. The Community Services Division is also responsible for policing and planning, as follows:

POLICE SERVICES - The RCMP, under contract to The City, provides police services including general investigation, traffic, community policing and victim services. The City provides a building, furnishings, and a number of municipal employees to support the RCMP in providing these police services.

PLANNING SERVICES - Planning services are provided by Parkland Community Planning Services.

CORPORATE SERVICES - The Corporate Services Division provides financial and information services to The City, through the Information Technology, Treasury Services and City Clerk's departments. Services include administering and co-ordinating City budgets, the City's insurance program, risk management, long term borrowing, accounting, accounts payable and receivable, purchasing and stores, information systems operations and support, assessing and levying property and business taxes, and many other financial and administrative services.

DEVELOPMENT SERVICES - The Development Services Division includes the Engineering, Public Works, Land & Economic Development, Inspections & Licensing, Emergency Services, and Electric Light & Power departments. In addition to providing engineering services, roadway and bridge maintenance, sidewalk repair, and meter maintenance, the division is also responsible for the operation of the water, wastewater, solid waste utilities and recycling program, and the operation of The City's Equipment Pool and Electric Utility. Emergency Services provides a number of services including Fire Suppression, Emergency Medical Services and Fire Prevention. The department operates out of four fire stations located in the city.

OTHER - The City also has a Personnel department which provides service to all departments. Legal services are provided to The City by a local law firm.

SELF FUNDING UTILITIES - The City operates a number of self funding utilities.

WATER UTILITY - The City obtains water from the Red Deer River, and provides water treatment and distribution through a water treatment plant to a system of water reservoirs, booster stations and a water distribution system. Services include water main maintenance, hydrant and valve inspection, hydrant and valve repair, and water meter maintenance. The utility is funded primarily through utility charges to customers.

WASTEWATER UTILITY - The City provides a wastewater collection and treatment system through a series of wastewater lines and mains, and the operation of a wastewater treatment plant. The utility is funded through utility charges to customers.

PARKING UTILITY - The City provides parking in the downtown area, through on-street metered parking, and metered and spattered off street parking lots in a number of locations. The parking utility is administered by the Inspections and Licensing Department, and is funded primarily through fines and parking revenues.

SUBDIVISIONS - The City's Subdivision Fund provides extension of major services to new areas of the city, and recovers such costs through charges to developers connecting to these services. The City is also involved in the development and marketing of commercial, industrial and residential land in Red Deer. The Land & Economic Development Department is responsible for the co-ordination of the City's land development activities. Funding of the Subdivision Fund is primarily through the sale of commercial, industrial and residential land.

EQUIPMENT POOL - City equipment, such as trucks, sweepers, buses and graders are the responsibility of The City's Equipment Pool. Operating and maintenance costs are charged to the equipment pool, with such costs being recovered through user fees charged to departments using the equipment. These user fees include a surcharge to help provide for the eventual replacement of the equipment. These funds are held in an equipment replacement reserve.

SOLID WASTE UTILITY - The City provides solid waste collection recycling, and landfill operation within the solid waste utility. These services are largely carried out by contracts to the private sector. The City also has a household hazardous waste site at the landfill site that is available year round. The solid waste utility is funded through user fees.

ELECTRIC UTILITY - The City is an entitled electric distribution system which is subject to the obligations and entitlements set out in of the Electric Utilities Act of the Province of Alberta. The utility is not a retailer of electricity and only distributes electricity to the citizens of Red Deer through its distribution and transmission system comprised of substations, transformers, and overhead and underground distribution lines. This utility is operated by the Electric Light & Power department as a self supporting utility with funding provided through distribution service rates regulated by City Council and charged to customers.

REPORT FROM THE DIRECTOR OF CORPORATE SERVICES

For the year ended December 31, 2002

INTRODUCTION

I am pleased to submit The City of Red Deer's Consolidated Annual Financial Statements for the fiscal year ended December 31, 2002 in accordance with Section 276 of the Municipal Government Act of the Province of Alberta.

The preparation and presentation of the Financial Statements and related information in the Annual Report is the responsibility of the Management of The City of Red Deer. The statements have been prepared in conformity with Canadian generally accepted accounting standards for municipalities as established by the Public Sector Accounting Board and are consistent with other information presented in the Annual Report. The accounting firm of Collins Barrow has been appointed auditors by City Council, and is responsible to report directly to Council with their audit results.

The 2002 financial statements of The City of Red Deer have been prepared on a fund basis, consisting of an Operating Fund, Reserve Fund, and Capital Fund. These funds are briefly explained below.

Operating Fund – Day-to-day operating costs and revenues are recorded in the Operating Fund which has been divided into General Municipal Operations funded primarily by Taxation and the Self-Supported and Utility Operations funded primarily through user charges. Details of these funds are set out in Schedules A to K of this Annual Report. The specific funds are listed below:

General Municipal Operations (Funded by Taxation)

- Police & Protective
- Emergency Services
- Public Transit
- Transportation
- Social Planning
- Community Services
- Recreation, Parks & Culture
- Legislative & Administrative

Self Supported and Utility Operations

- Parking
- Equipment
- Water
- Wastewater
- Solid Waste Collection
- Solid Waste Disposal
- Recycling
- Subdivisions
- Electric Light & Power

Reserve Fund – If operating revenues exceed expenses, the resulting surplus is transferred to the Reserve Fund. Similarly, if additional revenues are required, transfers from the Reserve Fund are available. The Reserve Fund is divided into a number of individual reserve balances, based on their intended use within the overall categories of operating and capital. Details of reserves are set out in Schedule 3 and Note 10 of this Annual Report. Some of the more important reserves are as follows:

Operating Reserves

- Tax Stabilization
- Utility Stabilization
- Various other reserves

Capital Reserves

- Capital Projects
- Equipment Replacement
- Various other reserves

Capital Fund – The revenues and costs associated with building or buying new assets, like roads or recreation facilities, are recorded in the Capital Fund. Sources of revenue include grants from other governments, contributions from customers and developers, etc. A major source of funding for capital projects are two other funds, the Operating Fund and the Reserve Fund.



Box 5008
Red Deer, Alberta
T4N 3T4

The City of Red Deer

The results of the Operating Fund, Reserve Fund and Capital Fund have been combined to show the overall financial position and financial activities of The City. These combined results are shown at the beginning of the financial information section of the enclosed Annual Report, and are known as consolidated financial statements.

2002 FINANCIAL HIGHLIGHTS

OPERATING FUND

General Operations - The 2002 General Municipal Operations delivered a surplus in excess of \$2 million, resulting primarily from a record year of building permit fees, and Police staff vacancies primarily because of support at the G8 conference in Kananaskis.

Electric Utility – The Electric Light & Power surplus was \$4.5 million resulting from higher than expected load growth, and lower than expected transmission charges. Given that the Power Utility Stabilization Reserve was already at it's target of \$4 million, the additional \$4.5 million was transferred to the City's Capital Project Reserve.

Detail of tax supported operations for the year is provided in Schedules A and B of the enclosed financial statements, and details on individual utility operations are provided in Schedules C through K. Details of the transfers to reserves are set out in Note 10 of the enclosed financial statements.

CAPITAL FUND

Capital expenditures in 2002 amounted to \$28.5 million. Details by major category are shown on Schedule 2 of this Annual Report. These capital projects were financed without debt, on a pay-as-you-go basis, including transfers from other governments (grants), costs recovered from developers, transfers from reserves and an allocation from the Operating Fund.

RESERVE FUND

The City maintains a number of reserves. Some reserves have been established to provide for specific purposes, such as the replacement of The City's fleet of vehicles, while others are intended to assist in providing stability to future tax and utility rates.

Most of these reserves are discretionary, which means they can be expended based on Council's decision. There are also non-discretionary reserves that must meet legislative requirements or contractual arrangements.

The year end balances in some of the more important reserves are as follows:

Tax Stabilization Reserves	\$ 5.7 million
Utility and Self-Supported Operations	19.2 million
Fleet Equipment Replacement	4.1 million
Capital Projects	16.7 million
Subdivision Surplus	25.7 million
Other Reserves	4.4 million
TOTAL RESERVES	\$ 75.8 million

Greater detail related to these reserves is set out in Schedule 3 and Note 10 of this annual report.

CONCLUSION

The year ended with The City of Red Deer maintaining its strong financial and economic position in relation to other cities in the Province, and across Canada.

In 1993 the municipal portion of property taxes on the sample home was \$811. By 2002 it had dropped to \$803. When these figures are restated to reflect the loss of purchasing power because of inflation, The City is actually receiving 19% less tax revenue than in 1993. Recent surveys indicate that Red Deer taxes and user fees are still the third lowest in the Province.

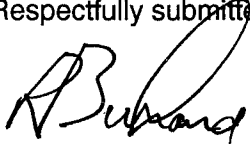
The City continues to operate without a business tax, which when combined with the low property taxes and user fees, makes Red Deer an ideal location to live, and to operate a business. The further impact of the strong economic growth of Central Alberta in 2002 added to the prosperity of the city.

The continued strong growth in Central Alberta placed pressures on the infrastructure of The City. As a result Council approved a 1% capital levy to ensure adequate capital funds are available for the many critical projects that are advancing more quickly than expected because of this strong growth.

At the end of 2002, The City had \$13.6 million in long-term outstanding debt, which is \$192 per capita. This is the lowest of the comparable cities in Alberta. By 2004, The City's long term outstanding debt is projected to decrease to \$8.1 million, down from \$78 million in 1983.

As The City moves forward into 2003, this very favorable financial position enables Council and Administration to set long-term plans that will maintain services, while ensuring a strong financial and competitive advantage.

Respectfully submitted,



Rodney J. Burkard, BA, CA.
Director of Corporate Services

Red Deer, Alberta
March 18, 2003

FINANCIAL INFORMATION

MANAGEMENT REPORT

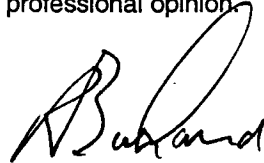
The accompanying consolidated financial statements and all information in this annual report are the responsibility of Management. The financial statements have been prepared by Management in accordance with Canadian generally accepted accounting principles for municipalities and include certain estimates that reflect Management's best judgements. Financial information contained throughout this annual report is consistent with these financial statements.

Management has developed and maintains an extensive system of internal control that provides reasonable assurance that all transactions are accurately recorded, that the financial statements realistically report the City's operating and financial results and that the City's assets are safeguarded. As well, it is the policy of the City to maintain the highest standard of ethics in all its activities. City Council has approved the information contained in the financial statements.

Collins Barrow, an independent firm of chartered accountants, was appointed by a vote of City Council to examine the consolidated financial statements and provide an independent professional opinion.



N. Van Wyk
City Manager



R. Burkard
Director of Corporate Services

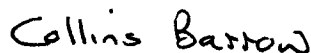
AUDITORS' REPORT

Her Worship the Mayor and Council
The City of Red Deer

We have audited the consolidated statement of financial position of The City of Red Deer as at December 31, 2002 and the consolidated statement of financial activities with change in fund balances and the consolidated statement of changes in financial position for the year then ended. These financial statements are the responsibility of The City's management. Our responsibility is to express an opinion on these financial statements based on our audit.

We conducted our audit in accordance with Canadian generally accepted auditing standards. Those standards require that we plan and perform an audit to obtain reasonable assurance whether the financial statements are free of material misstatement. An audit includes examining, on a test basis, evidence supporting the amounts and disclosures in the financial statements. An audit also includes assessing the accounting principles used and significant estimates made by management, as well as evaluating the overall financial statement presentation.

In our opinion, these consolidated financial statements present fairly, in all material respects, the financial position of The City of Red Deer as at December 31, 2002 and the results of its financial activities and the changes in its financial position for the year then ended in accordance with accounting principles for municipal governments established by the Canadian Institute of Chartered Accountants.



Red Deer, Alberta
March 27, 2003

Chartered Accountants

FINANCIAL STATEMENTS

THE CITY OF RED DEER
CONSOLIDATED STATEMENT OF FINANCIAL POSITION
 DECEMBER 31, 2002

STATEMENT 1

ASSETS

	<u>2002</u>	<u>2001</u>
Financial Assets		
Cash and Temporary Investments (Note 2)	\$ 18,211,523	\$ 8,820,547
Accounts Receivable (Note 3)	18,521,410	16,228,409
Land Held For Resale (Note 4)	4,729,125	5,448,115
Long Term Investments (Note 5)	60,003,786	50,897,833
Deferred Expense	546,105	842,634
Loan Receivable (Note 6)	1,071,225	969,127
	<u>103,083,174</u>	<u>83,206,665</u>
Physical Assets (Note 7)		
Capital Assets	587,477,449	566,253,453
Inventories	3,245,091	2,696,802
	<u>590,722,540</u>	<u>568,950,255</u>
Total Assets	<u>\$ 693,805,714</u>	<u>\$ 652,156,920</u>

LIABILITIES

Short Term Borrowing	\$ -	\$ 497,762
Accounts Payable and Accrued Liabilities	14,114,620	12,470,338
Deposits	480,737	477,713
Deferred Revenue (Note 8)	2,035,011	3,275,102
Long Term Debt (Note 9)	13,585,319	17,130,587
Total Liabilities	<u>30,215,687</u>	<u>33,851,502</u>

MUNICIPAL EQUITY

Equity in Capital Assets	578,621,255	554,570,981
Operating Fund - Schedule 1	900,823	1,050,819
Capital Fund - Schedule 2	8,991,231	22,296,102
Reserves - Schedule 3	75,076,718	40,387,516
	<u>663,590,027</u>	<u>618,305,418</u>
Total Municipal Equity	<u>\$ 693,805,714</u>	<u>\$ 652,156,920</u>

The accompanying notes form an integral part of these Financial Statements.

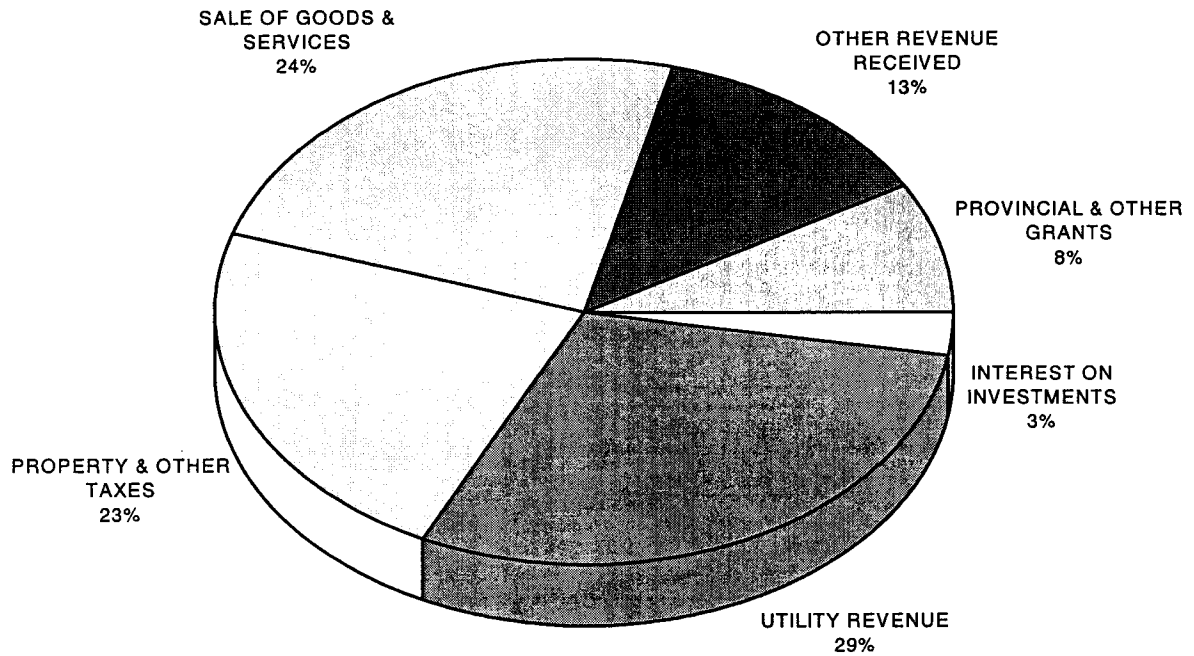
THE CITY OF RED DEER
CONSOLIDATED STATEMENT OF FINANCIAL ACTIVITIES
 FOR THE YEAR ENDED DECEMBER 31, 2002

STATEMENT 2

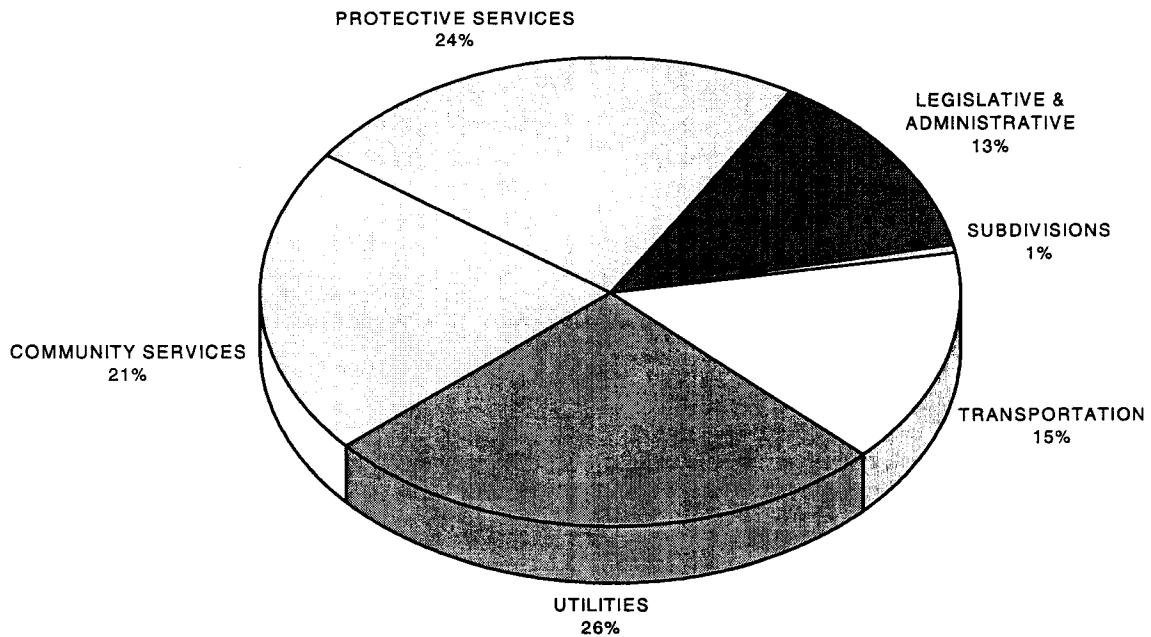
	<u>2002</u> <u>Budget</u>	<u>2002</u> <u>Actual</u>	<u>2001</u> <u>Actual</u>
REVENUES			
Property and Other Taxes - Schedule 4	\$ 55,052,680	\$ 55,442,174	\$ 51,467,819
Less: Education Requisitions	22,818,137	23,132,968	22,047,043
Net Municipal Property Taxes	32,234,543	32,309,206	29,420,776
Utility User Fees	38,793,638	42,207,081	39,000,509
Sale of Goods and Services	35,853,137	34,048,490	30,221,898
Government Transfers - Schedule 5	13,702,955	11,840,724	12,025,927
Other Revenues - Schedule 6	13,912,348	18,325,282	19,491,660
Investment Earnings	2,715,500	3,854,069	4,153,732
Total Revenues	<u>137,212,121</u>	<u>142,584,852</u>	<u>134,314,502</u>
EXPENDITURES - Schedule 7			
Operating			
Legislative and Administrative	12,255,497	11,750,999	10,396,921
Police and Other Protective	11,855,132	10,997,436	11,340,648
Fire and Ambulance	9,927,511	9,987,173	9,217,000
Public Transit	2,997,650	2,972,383	2,739,436
Transportation	11,570,037	10,316,701	10,219,125
Social Planning	1,922,892	2,162,202	1,747,626
Community	2,080,546	1,840,633	1,827,463
Recreation Parks and Culture	14,734,754	15,001,979	13,831,728
Parking	473,759	512,944	478,598
Equipment Pool	3,150,126	3,459,186	3,364,861
Water	3,942,682	3,988,159	3,750,183
Wastewater	2,750,913	3,066,268	2,735,143
Solid Waste Collection	3,053,838	3,123,531	2,929,312
Solid Waste Disposal	1,249,359	1,022,704	1,156,595
Recycling	888,571	863,731	912,150
Subdivisions	470,233	461,552	561,086
Electric Light and Power	9,346,204	7,740,008	6,807,988
Total Operating Expenditures	<u>92,669,704</u>	<u>89,267,589</u>	<u>84,015,863</u>
Total Capital Expenditures - Schedule 2	<u>46,907,144</u>	<u>28,537,660</u>	<u>40,210,361</u>
Total Expenditures	<u>139,576,848</u>	<u>117,805,249</u>	<u>124,226,224</u>
Excess (Deficiency) of Revenue Over Expenditures	(2,364,727)	24,779,603	10,088,278
Less: Debt Repayments	2,029,714	3,545,268	5,960,338
CHANGE IN FUND BALANCES	<u>\$ (4,394,441)</u>	<u>\$ 21,234,335</u>	<u>\$ 4,127,940</u>
Change in Fund Balances Consists of:			
Operating Fund - Schedule 1	795,168	(149,996)	517,465
Capital Fund - Schedule 2	-	(13,304,871)	2,349,201
Reserves - Schedule 3	(5,189,609)	34,689,202	1,261,274
	<u>\$ (4,394,441)</u>	<u>\$ 21,234,335</u>	<u>\$ 4,127,940</u>

The accompanying notes form an integral part of these Financial Statements.

OPERATING REVENUE 2002



OPERATING EXPENDITURES 2002



The accompanying notes form an integral part of these Financial Statements.

THE CITY OF RED DEER
CONSOLIDATED STATEMENT OF CHANGES IN FINANCIAL POSITION
 FOR THE YEAR ENDED DECEMBER 31, 2002

STATEMENT 3

	<u>2002</u>	<u>2001</u>
Cash provided by (used for)		
Operating Activities		
Excess of Revenues Over Expenditures	\$ 24,779,603	\$ 10,088,278
Net Changes in Non-Cash Working Capital		
Receivables	(2,293,001)	7,343,398
Loans Receivable (excluding Debt Related)	(102,098)	421,244
Inventories	(548,289)	405,476
Deferred Expense	296,529	(83,722)
Payables	1,644,282	(7,064,623)
Other Liabilities	(1,237,067)	(1,959,324)
	<u>22,539,959</u>	<u>9,150,727</u>
Investing Activities		
Investments Purchased	(50,745,452)	(56,328,556)
Proceeds on Disposals	41,639,499	48,894,456
	<u>(9,105,953)</u>	<u>(7,434,100)</u>
Financing Activities		
Long-term Debt Repayment	<u>(3,545,268)</u>	<u>(5,960,338)</u>
Change in Cash Position	9,888,738	(4,243,711)
Cash Position, Beginning of Year	8,322,785	12,566,496
Cash Position, End of Year	<u>18,211,523</u>	<u>8,322,785</u>
Cash Comprised of:		
Cash and Temporary Investments	18,211,523	8,820,547
Short Term Borrowing	-	(497,762)
	<u>\$ 18,211,523</u>	<u>\$ 8,322,785</u>

The accompanying notes form an integral part of these Financial Statements.

THE CITY OF RED DEER
SCHEDULE OF OPERATING FUND ACTIVITIES
 FOR THE YEAR ENDED DECEMBER 31, 2002

SCHEDULE 1

	2002 <u>Budget</u>	2002 <u>Actual</u>	2001 <u>Actual</u>
REVENUES			
Net Taxes for General Municipal Purposes - Schedule 4	\$ 32,234,543	\$ 32,309,206	\$ 29,420,776
Utility User Fees	38,793,638	42,207,081	39,000,509
Sale of Goods & Services - Schedule 6	24,146,137	25,596,039	21,916,942
Government Transfers	5,909,455	6,209,426	8,021,969
Other Revenues - Schedule 6	13,555,460	16,989,133	17,457,883
Investment Earnings	2,715,500	3,698,150	3,765,693
Total Revenues	<u>117,354,733</u>	<u>127,009,035</u>	<u>119,583,772</u>
EXPENDITURES			
Legislative & Administrative	12,255,497	11,750,999	10,396,921
Police & Other Protective	11,855,132	10,997,436	11,340,648
Fire & Ambulance	9,927,511	9,987,173	9,217,000
Public Transit	2,997,650	2,972,383	2,739,436
Transportation	11,570,037	10,316,701	10,219,125
Social Planning	1,922,892	2,162,202	1,747,626
Community	2,080,546	1,840,633	1,827,463
Recreation, Parks and Culture	14,734,754	15,001,979	13,831,728
Parking	473,759	512,944	478,598
Equipment Pool	3,150,126	3,459,186	3,364,861
Water	3,942,682	3,988,159	3,750,183
Wastewater	2,750,913	3,066,268	2,735,143
Solid Waste Collection	3,053,838	3,123,531	2,929,312
Solid Waste Disposal	1,249,359	1,022,704	1,156,595
Recycling	888,571	863,731	912,150
Subdivisions	470,233	461,552	561,086
Electric Light & Power	9,346,204	7,740,008	6,807,988
Total Expenditures	<u>92,669,704</u>	<u>89,267,589</u>	<u>84,015,863</u>
Excess of Revenues over Expenditures	<u>24,685,029</u>	<u>37,741,446</u>	<u>35,567,909</u>
Less: Debt Repayment	2,029,714	3,545,268	5,960,338
Transfers to Capital	18,874,291	33,645,526	23,864,479
OPERATING SURPLUS (DEFICIT)	<u>3,781,024</u>	<u>550,652</u>	<u>5,743,092</u>
Transfers from (to) Reserves	(2,985,856)	(700,648)	(5,225,627)
CHANGE IN FUND BALANCE	<u>\$ 795,168</u>	<u>(149,996)</u>	<u>517,465</u>
FUND BALANCE, BEGINNING OF YEAR		1,050,819	533,354
FUND BALANCE, END OF YEAR		<u>\$ 900,823</u>	<u>\$ 1,050,819</u>

The accompanying notes form an integral part of these Financial Statements.

THE CITY OF RED DEER
SCHEDULE OF CAPITAL FUND ACTIVITIES
 FOR THE YEAR ENDED DECEMBER 31, 2002

SCHEDULE 2

	2002 <u>Budget</u>	2002 <u>Actual</u>	2001 <u>Actual</u>
REVENUES			
Government Transfers	\$ 7,793,500	\$ 5,631,298	\$ 4,003,958
Return on Investments	-	155,919	388,039
Developer Contributions	11,707,000	8,452,451	8,304,956
Other Revenues - Schedule 6	356,888	1,336,149	2,033,777
	<u>19,857,388</u>	<u>15,575,817</u>	<u>14,730,730</u>
CAPITAL EXPENDITURES			
Subdivision Servicing	18,504,000	7,616,279	9,401,559
Roads and Bridges	11,040,000	5,289,226	5,620,945
Water and Wastewater	4,669,350	3,564,315	1,800,535
Recreation, Culture & Parks Facilities	3,569,190	1,413,372	9,472,295
Electrical Distribution	3,711,800	2,884,172	2,917,108
Equipment Purchases	3,002,200	2,678,610	3,839,069
Landfill Site	158,000	120,525	3,049,684
Other	2,252,604	4,971,161	4,109,166
	<u>46,907,144</u>	<u>28,537,660</u>	<u>40,210,361</u>
Excess Of Expenditures Over Revenues	<u>(27,049,756)</u>	<u>(12,961,843)</u>	<u>(25,479,631)</u>
INTERFUND TRANSFERS			
From (to) Reserves	8,175,465	(33,988,554)	3,964,353
From Operations	18,874,291	33,645,526	23,864,479
	<u>27,049,756</u>	<u>(343,028)</u>	<u>27,828,832</u>
CHANGE IN FUND BALANCE	<u>\$ -</u>	<u>(13,304,871)</u>	<u>2,349,201</u>
FUND BALANCE, BEGINNING OF YEAR		<u>22,296,102</u>	<u>19,946,901</u>
FUND BALANCE, END OF YEAR		<u>\$ 8,991,231</u>	<u>\$ 22,296,102</u>

The accompanying notes form an integral part of these Financial Statements.

THE CITY OF RED DEER
SCHEDULE OF RESERVES
 FOR THE YEAR ENDED DECEMBER 31, 2002

SCHEDULE 3

	2002 <u>Budget</u>	2002 <u>Actual</u>	2001 <u>Actual</u>
BALANCE, BEGINNING OF YEAR	<u>\$ 40,387,516</u>	<u>\$ 40,387,516</u>	<u>\$ 39,126,242</u>
Add / (Deduct)			
Net Transfer (to) from Operating Fund	2,985,856	700,648	5,225,627
Net Transfer (to) from Capital Fund	<u>(8,175,465)</u>	<u>33,988,554</u>	<u>(3,964,353)</u>
CHANGE IN RESERVE BALANCE	<u>(5,189,609)</u>	<u>34,689,202</u>	<u>1,261,274</u>
BALANCE, END OF YEAR (NOTE 10)	<u><u>\$ 35,197,907</u></u>	<u><u>\$ 75,076,718</u></u>	<u><u>\$ 40,387,516</u></u>

The accompanying notes form an integral part of these Financial Statements.

THE CITY OF RED DEER
SCHEDULE OF PROPERTY TAXES LEVIED
 FOR THE YEAR ENDED DECEMBER 31, 2002

SCHEDULE 4

	2002 <u>Budget</u>	2002 <u>Actual</u>	2001 <u>Actual</u>
TAXATION			
Real Property Taxes	\$ 51,336,846	\$ 52,747,122	\$ 48,605,404
Grants in Lieu of Taxes			
- Provincial Government	2,249,230	1,170,157	1,141,806
- Federal Government	229,545	231,386	224,805
Local Improvement Levies	391,000	385,682	421,175
Power, Pipelines, Cable TV and Other Taxes	846,059	907,827	1,074,629
	<u>55,052,680</u>	<u>55,442,174</u>	<u>51,467,819</u>
 LESS: REQUISITIONS (Note 1. m)			
Public Schools	20,022,935	20,294,710	19,270,487
Catholic Schools	2,795,202	2,838,258	2,776,556
	<u>22,818,137</u>	<u>23,132,968</u>	<u>22,047,043</u>
 Net Municipal Property Taxes	 <u>\$ 32,234,543</u>	 <u>\$ 32,309,206</u>	 <u>\$ 29,420,776</u>

The accompanying notes form an integral part of these Financial Statements.

THE CITY OF RED DEER
SCHEDULE OF GOVERNMENT TRANSFERS
 FOR THE YEAR ENDED DECEMBER 31, 2002

SCHEDULE 5

	2002 <u>Budget</u>	2002 <u>Actual</u>	2001 <u>Actual</u>
FEDERAL TRANSFERS			
Other Grants	<u>\$ 1,797,383</u>	<u>\$ 999,686</u>	<u>\$ 545,327</u>
PROVINCIAL TRANSFERS			
Transportation Grants	5,899,000	6,001,935	5,610,474
Capital Infrastructure Grants	904,500	369,934	-
Debenture Interest Grants	48,902	115,792	164,463
Other Grants	<u>4,839,517</u>	<u>4,016,139</u>	<u>4,017,202</u>
	<u>11,691,919</u>	<u>10,503,800</u>	<u>9,792,139</u>
LOCAL GOVERNMENT TRANSFERS			
Shared Cost Agreements and Grants	<u>213,653</u>	<u>337,238</u>	<u>1,688,461</u>
TOTAL GOVERNMENT TRANSFERS	<u>\$ 13,702,955</u>	<u>\$ 11,840,724</u>	<u>\$ 12,025,927</u>

The accompanying notes form an integral part of these Financial Statements.

THE CITY OF RED DEER
SCHEDULE OF CONSOLIDATED OTHER REVENUE
 FOR THE YEAR ENDED DECEMBER 31, 2002

SCHEDULE 6

	2002 <u>Budget</u>	2002 <u>Actual</u>	2001 <u>Actual</u>
OPERATING			
Equipment and Facility Rental	\$ 2,372,425	\$ 3,639,475	\$ 3,383,538
Electrical Transmission Recovery	2,905,000	3,010,855	4,677,895
Franchise Fees	1,511,910	1,331,120	1,339,942
Licenses and Permits	2,032,500	2,725,408	2,360,419
Parking and Traffic Fines	2,519,743	2,293,734	2,405,541
Penalties and Service Charges	454,900	641,918	467,428
Other	1,758,982	3,346,623	2,823,120
	<u>13,555,460</u>	<u>16,989,133</u>	<u>17,457,883</u>
CAPITAL			
Proceeds on Disposal of Capital Assets	245,800	835,889	1,101,299
Other	356,888	500,260	932,478
	<u>602,688</u>	<u>1,336,149</u>	<u>2,033,777</u>
TOTAL OTHER REVENUE	<u>\$ 14,158,148</u>	<u>\$ 18,325,282</u>	<u>\$ 19,491,660</u>

SCHEDULE OF SALE OF GOODS & SERVICES
 FOR THE YEAR ENDED DECEMBER 31, 2002

	2002 <u>Budget</u>	2002 <u>Actual</u>	2001 <u>Actual</u>
OPERATING			
Land Sales	\$ 15,853,000	\$ 16,573,345	\$ 14,169,428
Transit Revenue	2,072,955	2,232,300	2,109,697
Ambulance Revenue	850,000	980,942	872,954
User Fees	3,984,469	4,127,460	3,255,991
Other	1,385,713	1,681,992	1,508,872
TOTAL SALE OF GOODS & SERVICES	<u>\$ 24,146,137</u>	<u>\$ 25,596,039</u>	<u>\$ 21,916,942</u>

The accompanying notes form an integral part of these Financial Statements.

THE CITY OF RED DEER
SCHEDULE OF EXPENDITURES BY OBJECT
 FOR THE YEAR ENDED DECEMBER 31, 2002

SCHEDULE 7

	2002 <u>Budget</u>	2002 <u>Actual</u>	2001 <u>Actual</u>
EXPENDITURES			
Salaries, Wages & Benefits	\$ 43,605,033	\$ 42,912,418	\$ 39,304,409
Contracted Services	19,892,134	17,878,457	17,412,281
Purchases from Other Governments	7,871,388	7,195,717	7,591,172
Purchases of Materials & Supplies	10,384,236	11,110,756	9,229,053
Purchase of Power for Resale	5,861,000	4,779,121	4,108,751
Contributions to Municipal Agencies	2,797,902	2,721,650	2,368,194
Grants to Organizations	813,932	823,017	892,674
Financial Charges	1,223,745	1,845,367	2,477,047
Other Expenses	220,334	1,086	632,282
	<u>92,669,704</u>	<u>89,267,589</u>	<u>84,015,863</u>
Capital Assets Acquired	46,907,144	28,537,660	40,210,361
TOTAL EXPENDITURES	<u><u>\$ 139,576,848</u></u>	<u><u>\$ 117,805,249</u></u>	<u><u>\$ 124,226,224</u></u>

The accompanying notes form an integral part of these Financial Statements.

Notes to the Financial Statements

The City of Red Deer
NOTES TO FINANCIAL STATEMENTS
December 31, 2002

1. SIGNIFICANT ACCOUNTING POLICIES

The consolidated financial statements of The City of Red Deer are the representations of management prepared in accordance with local government accounting standards established by the Public Sector Accounting Board of the Canadian Institute of Chartered Accountants. These standards require management to make estimates and assumptions that affect the reported amounts of assets and liabilities, and disclosure of contingent assets and liabilities at the date of the financial statements, and the reported amounts of revenues and expenditures during the reporting period. Where measurement uncertainty exists, the financial statements have been prepared within reasonable limits of materiality. Actual results could differ from those estimates.

In particular there were significant accounting estimates made with regard to the costs and revenues associated with electrical services acquired and provided by The City. These estimates are based on the information available to The City, from the load settlement agents in Alberta, relative to the measurement of electrical consumption by the City and its residents in 2002. Electricity consumption has not been finalized for seven months in 2002.

Significant aspects of the accounting policies adopted by The City of Red Deer are as follows:

a) **Reporting Entity**

The consolidated financial statements reflect the assets, liabilities, revenues and expenditures, changes in fund balances and in financial position of the reporting entity which comprises all the organizations that are accountable for the administration of their financial affairs and resources to the Council and are owned or controlled by the municipality. The entities included are as follows:

City Municipal and Utility Operations

General municipal operations	Subdivision development
Water supply	Equipment pool
Wastewater treatment	Solid waste collection and disposal
Parking services	Electric power distribution

Societies and Boards

Red Deer Public Library	Red Deer Downtown Business Association
River Bend Golf Course	Normandeau Cultural and Natural History Society

The City owns certain assets funded by debenture debt that relate to Boards and Societies that are not considered to be under the City's control. The assets and debenture debt are reflected in the financial statements.

Interdepartmental and organizational transactions and balances are eliminated.

b) **Basis of Accounting**

i) **Revenues**

The accrual basis of accounting is followed for revenues except for:

- Parking fines which are recorded on a cash basis, and
- Government transfers which are recognized in the financial statements as revenues or capital finances acquired in the period that the events giving rise to the transfer occurred, providing the transfers are authorized, any eligibility criteria has been met by the City, and reasonable estimates of the amounts can be made.

Proceeds from land held for resale are recorded as operating fund revenues.

The City of Red Deer
NOTES TO FINANCIAL STATEMENTS
December 31, 2002

ii) **Expenditures**

Expenditures are recognized in the period the goods and services are acquired and a liability is incurred or transfers are due with the exception of pension expenditures as disclosed in note 1d.

c) **Fund Accounting**

Management funds consist of the operating, capital and reserve funds. Transfers between funds are recorded as adjustments to the appropriate equity account.

d) **Pension Expenditure**

The City participates in a multi-employer defined benefit pension plan. This plan is accounted for as a defined contribution plan.

e) **Investments**

Investments are initially recorded at cost. The cost is then adjusted to amortize any premiums or discounts over the term of the respective investments.

f) **Inventories**

Inventories of materials and supplies are valued at the lower of cost or net realizable value with cost determined by the average cost method.

Land held for resale is recorded at the lower of cost or net realizable value. Costs include the acquisition costs of the land and the improvements required to prepare the land for servicing such as clearing, stripping and levelling. Related development costs incurred to provide infrastructure such as water and wastewater services, roads, sidewalks and street lighting are recorded as capital assets under their respective function.

g) **Capital Assets**

Capital assets are reported as expenditures in the period they are acquired. Capital assets are capitalized in the capital fund at cost except for donated assets which are reported at estimated fair market value.

Government contributions for the acquisition of capital assets are reported as capital revenue and do not reduce the related capital asset costs.

Capital assets consist of general municipal and utility capital assets recorded at cost. Utility capital assets used in production of a service for resale are depreciated at rates designed to amortize the cost of the assets over their useful lives. The depreciation as calculated is reported as a reduction of equity in capital assets rather than as a charge to operations. General purpose capital assets, not related to a direct fee for service activity, are not depreciated.

Depreciation rates, on a straight line basis, are as follows:

Engineering Structures	2% to 5%
Buildings	1% to 2.5%
Equipment	10% to 100%
Mobile Equipment	3.3% to 14.3%

The City of Red Deer
NOTES TO FINANCIAL STATEMENTS
December 31, 2002

1. SIGNIFICANT ACCOUNTING POLICIES (Continued)

h) Equity in Capital Assets

Equity in capital assets represents the City's net investment in its total capital assets, land held for resale, and other capital assets, after deducting the portion financed by third parties through debenture debts or other long term capital borrowing.

i) Reserves for Future Expenditures

Reserves are established at the discretion of Council to set aside funds for future operating and capital expenditures. Transfers to and/or from reserves are reflected as an adjustment to the respective fund.

j) Landfill Closure and Post Closure Liability

Carefully planned and managed landfill sites are needed despite initiatives taken to reduce waste. These sites must be safely closed, and monitored to determine if environmental damage is being caused. Monitoring will continue until advised by Alberta Environmental Protection that it can be discontinued. Closure and post-closure cost estimates are based on landfill capacity used each year. Assumptions regarding these estimates are reviewed on a regular basis to take into account the progress made in waste management.

The old landfill site was permanently closed in 2002. This included covering the site with compacted clay and topsoil and installing groundwater monitoring wells. The landfill is not large enough to warrant a biogas recovery or monitoring program. Post-closure costs include regular inspection of the cover layer and annual groundwater and surface water monitoring.

The City of Red Deer's new waste management facility commenced operation in 2001 and is expected to provide capacity for 40 years. Closure activities will be on-going as the landfill reaches final design elevation. Post-closure care activities will involve leachate treatment and monitoring, surface water and groundwater monitoring, biogas monitoring, and landfill cover maintenance.

k) Local Improvement Charges

Construction costs associated with local improvement projects are recovered through annual special assessments collectible from property owners for work performed by the city. Taxpayers may elect to pay over a number of years or immediately prepay the outstanding local improvement charges. These amounts are recorded as revenue in the year they are paid.

l) Over and Under Levies

Over and under levies arise from the difference between the actual levy made to cover each requisition and the actual amount requisitioned. If the actual levy exceeds the requisition, the over levy is accrued as a liability and property tax revenue reduced. If the levy is less than the requisition amount, the under levy is accrued as a receivable and as property tax revenue. Tax rates are adjusted in the subsequent year for any over or under levies of the prior year.

m) Property Tax Requisitions

Property tax requisitions are amounts levied by organizations other than The City of Red Deer. The City of Red Deer is required by legislation to collect the requisitions.

The City of Red Deer
NOTES TO FINANCIAL STATEMENTS
December 31, 2002

2. CASH AND TEMPORARY INVESTMENTS

	<u>2002</u>	<u>2001</u>
Cash	\$ 4,589,304	\$ 820,547
Temporary Investments	<u>13,622,219</u>	<u>8,000,000</u>
	<u>\$ 18,211,523</u>	<u>\$ 8,820,547</u>

3. ACCOUNTS RECEIVABLE

Accounts Receivable are as follows:

	<u>2002</u>	<u>2001</u>
General Accounts Receivable	\$ 9,804,640	\$ 8,114,025
Utilities	6,063,843	5,318,708
Taxes & Grants in Lieu of Taxes	1,363,189	752,755
Other Governments	302,016	233,403
Interest on Investments	481,870	1,695,023
Other	<u>692,149</u>	<u>347,001</u>
	18,707,707	16,460,915
Allowance for Doubtful Accounts	<u>(186,297)</u>	<u>(232,506)</u>
	<u>\$ 18,521,410</u>	<u>\$ 16,228,409</u>

4. LAND HELD FOR RESALE

Land held for resale is categorized as follows:

	<u>2002</u>		<u>2001</u>	
	<u>Cost</u>	<u>Market Value</u>	<u>Cost</u>	<u>Market Value</u>
Undeveloped Land				
Residential	\$ 4,206,430	\$ 13,339,275	\$ 4,496,135	\$ 8,250,086
Industrial & Commercial	-	-	425,650	1,313,761
	<u>4,206,430</u>	<u>13,339,275</u>	<u>4,921,785</u>	<u>9,563,847</u>
Developed				
Residential	19,637	534,067	151,850	5,629,192
Industrial & Commercial	<u>503,058</u>	<u>6,814,690</u>	<u>374,480</u>	<u>4,074,700</u>
	<u>522,695</u>	<u>7,348,757</u>	<u>526,330</u>	<u>9,703,892</u>
	<u>\$ 4,729,125</u>	<u>\$ 20,688,032</u>	<u>\$ 5,448,115</u>	<u>\$ 19,267,739</u>

The City of Red Deer
NOTES TO FINANCIAL STATEMENTS
December 31, 2002

5. LONG TERM INVESTMENTS

<u>Type of Investment</u>	<u>2002</u>		<u>2001</u>	
	<u>Cost</u>	<u>Market Value</u>	<u>Cost</u>	<u>Market Value</u>
Federal Government	\$ 66,465,869	\$ 67,839,107	\$ 51,841,577	\$ 51,811,858
Provincial Government	2,622,219	2,643,966	6,695,699	6,818,400
Canadian Banks	4,000,000	4,000,000	-	-
Other	537,917	537,917	360,557	360,557
	<u>73,626,005</u>	<u>75,020,990</u>	<u>58,897,833</u>	<u>58,990,815</u>
Less Temporary Investments	<u>13,622,219</u>	<u>13,643,966</u>	<u>8,000,000</u>	<u>8,055,360</u>
	<u><u>\$ 60,003,786</u></u>	<u><u>\$ 61,377,024</u></u>	<u><u>\$ 50,897,833</u></u>	<u><u>\$ 50,935,455</u></u>

The investments consist of bonds and notes payable with interest rates of 3.28% to 8.75% and mature in periods from 2003 through 2016.

6. LOANS RECEIVABLE

	<u>2002</u>	<u>2001</u>
Red Deer Minor Hockey	\$ 298,269	\$ 422,867
Red Deer Gymnastics Club	491,356	514,660
Central Alberta Theatre	250,000	-
Red Deer and District Museum Society	<u>31,600</u>	<u>31,600</u>
Total	<u><u>\$ 1,071,225</u></u>	<u><u>\$ 969,127</u></u>

The City of Red Deer has undertaken a partnership agreement with Red Deer Minor Hockey and the Red Deer Gymnastics Club for space in the Collicutt Leisure Centre. The amount of the capital contribution plus interest, at the prevalent Alberta Municipal Financing Corporation rates, is recoverable from the Red Deer Minor Hockey and Red Deer Gymnastics Club.

The City of Red Deer provided a loan to the Central Alberta Theatre for the expansion of the Memorial Centre. The loan plus interest, at the prevalent Alberta Municipal Financing Corporation rates, is recoverable from the Central Alberta Theatre.

The City of Red Deer also made a loan to the Red Deer and District Museum Society for publishing a book on the history of Red Deer. This is an interest free loan to be repaid with proceeds from sales of the book.

Principal amounts due are as follows:

2003	306,184
2004	79,120
2005	45,398
2006	46,755
2007	48,195
Thereafter	545,573
	<u><u>\$ 1,071,225</u></u>

The City of Red Deer
NOTES TO FINANCIAL STATEMENTS
December 31, 2002

7. PHYSICAL ASSETS

Details of Physical Assets recorded are as follows:

	2002 <u>Cost</u>	2002 Accumulated <u>Amortization</u>	2002 Net Book <u>Value</u>
Engineering Structure	\$ 472,054,197	\$ 60,422,727	\$ 411,631,470
Buildings	104,283,435	14,716,836	89,566,599
Machinery and Equipment	78,283,406	19,716,876	58,566,530
Land	27,712,850	-	27,712,850
Total Capital Assets	682,333,888	94,856,439	587,477,449
Inventories	3,245,091	-	3,245,091
Total Physical Assets	<u>\$ 685,578,979</u>	<u>\$ 94,856,439</u>	<u>\$ 590,722,540</u>

	2001 <u>Cost</u>	2001 Accumulated <u>Amortization</u>	2001 Net Book <u>Value</u>
Engineering Structure	\$ 454,162,820	\$ 56,169,877	\$ 397,992,943
Buildings	100,766,197	13,902,789	86,863,408
Machinery and Equipment	73,421,212	18,803,612	54,617,600
Land	26,779,502	-	26,779,502
Total Capital Assets	655,129,731	88,876,278	566,253,453
Inventories	2,696,802	-	2,696,802
Total Physical Assets	<u>\$ 657,826,533</u>	<u>\$ 88,876,278</u>	<u>\$ 568,950,255</u>

8. DEFERRED REVENUE

Deferred Revenue consists of funds received which relate to future periods, as follows:

	<u>2002</u>	<u>2001</u>
Prov. Urban Transportation	\$ 567,447	\$ 2,206,300
Federal Provincial Infrastructure	5,407	5,407
Prepaid Taxes	189,005	-
Other	1,273,152	1,063,395
	<u>\$ 2,035,011</u>	<u>\$ 3,275,102</u>

9. LONG TERM DEBT

Long Term Debt consists of debentures payable primarily to the Alberta Municipal Financing Corporation (AMFC), a loan payable to Canada Mortgage and Housing (CMHC) for the construction of public housing units, and an agreement to reimburse a developer for trunk servicing costs.

Debentures are payable in annual amounts to the year 2008. Interest rates on these debentures range from 9.75% to 12.00%. The Province of Alberta provides an interest subsidy grant on debenture issues as follows:

The City of Red Deer
NOTES TO FINANCIAL STATEMENTS
December 31, 2002

9. LONG TERM DEBT (Continued)

<u>Debenture Issue</u>	<u>Subsidized Rate</u>
January 1, 1974 - March 31, 1980	8%
April 1, 1980 - March 31, 1981	9%
April 1, 1981 - March 31, 1982	11%

Debentures approved after March 31, 1983 are not eligible for subsidy. Effective May, 1993 the Interest Subsidy Grant was reduced by 40%.

The loan payable to CMHC was issued January 1, 1972 for a term of 50 years at an interest rate of 8.25%, with an annual repayment of interest and principal of \$26,925.

The agreement to reimburse a developer for trunk servicing costs was entered into in 1998 for a period of ten years at 0% interest, with annual payments of \$152,976.

Principal and interest amounts due are as follows:

	<u>Principal</u>	<u>Interest</u>	<u>Total</u>
2003	2,839,547	1,465,946	4,305,493
2004	2,608,998	1,151,223	3,760,221
2005	2,895,329	864,891	3,760,220
2006	3,081,132	545,001	3,626,133
2007	1,450,914	203,684	1,654,598
Thereafter	709,399	222,681	932,080
	<u>\$ 13,585,319</u>	<u>\$ 4,453,426</u>	<u>\$ 18,038,745</u>

Details of long term debt by function are as follows:

<u>Function</u>	<u>Outstanding Beginning of Year</u>	<u>2002 Repayment</u>	<u>Outstanding End of Year</u>
General Administrative	\$ 102,629	\$ 11,259	\$ 91,370
Roads, Walks and Lighting	6,743,734	966,536	5,777,198
Airport	5,833	719	5,114
Water Supply	1,187,233	819,525	367,708
Wastewater	5,174,465	760,396	4,414,069
Day Care	92,421	70,045	22,376
Public Housing	261,222	4,931	256,291
Subdivisions	2,694,510	805,597	1,888,913
Recreation	868,540	106,260	762,280
	<u>\$ 17,130,587</u>	<u>\$ 3,545,268</u>	<u>\$ 13,585,319</u>

The City of Red Deer
NOTES TO FINANCIAL STATEMENTS
December 31, 2002

Debt Limits

Section 276(2) of the Municipal Government Act requires that debt and debt limits as defined by Alberta Regulation 255/2000 for The City of Red Deer be disclosed as follows:

	<u>2002</u>	<u>2001</u>
Total Debt Limit	\$ 205,585,368	\$ 195,693,541
Total Debt	<u>13,585,319</u>	<u>17,130,587</u>
Debt Limit Available	<u>192,000,049</u>	<u>178,562,954</u>
Service on Debt Limit	\$ 34,264,228	\$ 32,615,590
Service on Debt	<u>5,072,712</u>	<u>8,079,643</u>
Service on Debt Limit Available	<u>\$ 29,191,516</u>	<u>\$ 24,535,947</u>

10. RESERVES

Details of Reserves by function are as follows:

	<u>Balance Beginning of Year</u>	<u>Net Transfers to Reserves</u>	<u>Balance End of Year</u>
Operating Reserves			
Perpetual Care	\$ 675,564	\$ 43,675	\$ 719,239
Future Expenditures	3,979,153	(1,394,372)	2,584,781
Airport	391,877	(1,765)	390,112
Parking	884,884	944,784	1,829,668
Landfill Reserves	1,685,695	1,894,497	3,580,192
Power Utility	7,135,818	(2,539,318)	4,596,500
Water Utility	5,312,215	1,662,510	6,974,725
Wastewater Utility	1,984,046	(687,936)	1,296,110
Solid Waste Utility	505,984	385,633	891,617
Waste Mgmt. And Coll. Utility	895,933	(895,933)	-
Tax Rate Stabilization	<u>4,369,686</u>	<u>1,288,873</u>	<u>5,658,559</u>
Total Operating Reserves	<u>27,820,855</u>	<u>700,648</u>	<u>28,521,503</u>
Capital Reserves			
Equipment Replacement	4,205,400	(94,730)	4,110,670
Capital Projects	7,365,184	9,299,280	16,664,464
Subdivision Surplus	-	24,954,544	24,954,544
Public	<u>996,077</u>	<u>(170,540)</u>	<u>825,537</u>
Total Capital Reserves	<u>12,566,661</u>	<u>33,988,554</u>	<u>46,555,215</u>
Total Reserves	<u>\$ 40,387,516</u>	<u>\$ 34,689,202</u>	<u>\$ 75,076,718</u>

The City of Red Deer
NOTES TO FINANCIAL STATEMENTS
December 31, 2002

10. RESERVES (Continued)

On December 2, 2002 Council approved the establishment of a subdivision reserve into which current and future subdivision surpluses will be transferred. Subdivision surpluses to December 31, 2001 were \$16,054,336 and were included in the Capital fund balance. 2002 subdivision surpluses transferred to the reserve amounted to \$8,900,208.

11. LOCAL AUTHORITIES PENSION PLAN

Employees of The City of Red Deer participate in the Local Authorities Pension Plan (LAPP), which is one of the plans covered by the Alberta Public Sector Pension Plans Act. The Plan covers approximately 125,550 employees of approximately 401 non-government employer organizations such as municipalities, hospitals, and schools (non-teachers). It is financed by employer and employee contributions and investment earnings of the LAPP Fund.

The City of Red Deer is required to make current service contributions to the Plan of 5.025% of pensionable payroll up to the year's maximum pensionable earnings under the Canada Pension Plan, and 6.900% on pensionable earnings above this amount.

Employees of The City of Red Deer are required to make current service contributions of 4.025% of pensionable salary up to the year's maximum pensionable earnings under the Canada Pension Plan, and 5.900% on pensionable salary above this amount.

Total contributions by The City of Red Deer to the Local Authorities Pension Plan in 2002 were \$1,640,645 (2001 - \$1,520,239). Total contributions by the employees of The City of Red Deer to the Local Authorities Pension Plan in 2002 were \$1,340,021 (2001 - \$1,322,046).

At December 31, 2001, the Plan disclosed an actuarial surplus of \$634.96 million.

12. COMMITTEMENTS

Red Deer College – The City is committed to annual payments of \$100,000, through to 2010, for building the Information Commons.

Capital Environmental Alberta Inc. Contract – The City is committed to a solid waste collection contract that is based on a percentage of the utility billing until October 31, 2003. The estimated annual contract cost is \$2,775,000.

Canadian Waste Systems Ltd. Contract – The City is committed to a recycling contract that is based on a percentage of the utility billing until October 31, 2003. The estimated annual contract cost is \$800,000.

RCMP Contract – The City is committed to paying 90% of the operating costs for the RCMP through to March 31, 2012.

Red Deer Regional Airport Authority – The City is committed to providing funding to the Authority in order to assist with the operation of the airport until 2009. The estimated total cost is \$1,500,000 with a minimum annual payment of \$142,500.

Recreation Levy's – The City is committed to spending recreation related funds for capital projects. The estimated total cost is \$4 million. There is no fixed timeline for making these expenditures.

ATCO I-tek – The City is committed to a billing, meter reading, collection and customer care contract for water, wastewater, garbage and recycling utilities until December 2003. The estimated annual cost is \$1 million.

The City of Red Deer
NOTES TO FINANCIAL STATEMENTS
December 31, 2002

13. FINANCIAL INSTRUMENTS

The City's financial instruments consist of cash and temporary investments, receivables, long term investments, bank overdraft, accounts payable, accrued liabilities and long-term debt. It is management's opinion that the City is not exposed to significant interest, currency or credit risk arising from these financial instruments other than electric utility receivables, which are discussed below. Unless otherwise noted, the fair value of these financial instruments approximates their carrying value.

The City relies on third party power retailers to collect and remit the distribution tariff charged City residents and businesses to access the electric distribution system of the City. To reduce the risk of default by these retailers of funds collected for the City management requires all retailers to post prudential requirements. These prudential requirements can be letters of credit, a guarantee from a suitable guarantor or a cash deposit. The amount of credit is to be equal to the value of the services provided or 75 days of the estimated value of services which ever is less. These credit requirements are monitored to ensure adequate coverage of the risk exposure.

14. SALARY AND BENEFITS DISCLOSURE

Disclosure of salaries and benefits for elected municipal officials, the chief administrative officer and designated officers as required by provincial regulations is as follows:

	2002				2001	
	No. of Persons	Salary (1)	Benefits & Allowances (2)	Total	No. of Persons	Total
Mayor:	1				1	
G. Surkan		67,297	11,519	78,817		76,356
Councillors:	8				10	
J. Dawson		19,674	6,461	26,136		25,563
M. Flewwelling		18,445	6,424	24,869		25,820
B. Hughes		19,645	7,924	27,569		24,140
J. Volk		0	0	0		19,846
V. Higham		18,672	3,462	22,135		4,238
B. Hull		0	0	0		19,139
D. Rowe		20,257	6,481	26,739		4,479
D. Moffat		19,007	6,442	25,449		23,377
L. Pimm		19,170	6,447	25,617		24,136
L. Watkinson-Zimmer		18,189	6,456	24,645		23,892
City Manager	1	129,207	17,722	146,929	1	150,754
Designated Officers	4	393,505	46,153	439,658	5	470,184

(1) Salary includes regular base pay, bonuses, overtime, lump sum payments, gross honoraria and any other direct cash remuneration.

(2) Employer's share of all employee benefits and contributions or payments made on behalf of employees including pension, health care, dental coverage, group life insurance, long and short term disability plans, professional memberships, tuition and car allowance.

The City of Red Deer
NOTES TO FINANCIAL STATEMENTS
December 31, 2002

15. LANDFILL CLOSURE AND POST CLOSURE LIABILITY

The accrued liability for closure and post-closure care of the City's landfill is recognized over the life of the cell, using the net present value of the total estimated costs of closure and post-closure care prorated on the basis of the current capacity, in cubic meters, utilized over the total estimated capacity of the site. The net present value of the estimated closure and post closure costs were calculated using a rate of return equal to 8%.

The following summarizes the total net present value for the estimated costs of closure and post-closure care:

	Old Site	New Site Phase 1
Old Site Closure Costs	\$ 172,651	\$ -
Estimated Closure Costs	-	946,200
Estimated Post-Closure Costs	607,420	1,022,292
Total Estimated Costs	780,071	1,968,492
Amount accrued to December 31, 2002	607,420	149,972
Closure / Post-Closure Disbursements to December 31, 2002	172,651	-
Balance of Estimated Costs to Accrue	\$ -	\$ 1,818,520

The old site reached its capacity in 2002 and was permanently closed. Post-closure care is required for a minimum period of 25 years and related post-closure care disbursements are to be deducted from the liability when they are made. Management estimates Phase 1 of the new site has approximately 2,383 thousand cubic metres of landfill capacity remaining. With an estimated annual utilization of 200 thousand cubic metres Phase I has approximately thirteen year's of life remaining. It is estimated that post-closure care should be required for a minimum period of 25 years.

16. CONTINGENCIES

Insurance Agreement

The City is a member of a reciprocal insurance agreement known as the Alberta Local Authorities Reciprocal Insurance Exchange (ALARIE), licensed by the Superintendent of Insurance of Alberta on October 1, 1990 and dissolved on December 31, 2002.

A portion of prior year payments, in excess of the cost of purchasing liability insurance, has been accumulated in a self insurance fund administered by ALARIE. Any balance of the self-insurance fund will be utilized for the settlement of the joint venture claims liability outstanding. If there is a residual balance in the fund, it will be refunded to City in the summer of 2003.

SUPPLEMENTARY FINANCIAL STATEMENTS

Operating Detail - General Funds

GENERAL
STATEMENT OF REVENUE & EXPENDITURE
FOR THE YEAR ENDED DECEMBER 31, 2002

	<u>Legislative & Administrative</u>	<u>Police & Protective</u>	<u>Emergency Services</u>	<u>Public Transit</u>
REVENUES				
Sales of Goods & Services	\$ 84,056	\$ 82,777	\$ 1,044,545	\$ 2,232,300
Other Revenue from Own Sources	2,716,301	4,456,156	751,524	24
Provincial Government Transfers	30,108	43,352	-	-
Other Government Transfers	-	-	112,084	-
Transfers from Operating (Schedule L)	11,528,831	89,934	3,560	2,128
	<u>14,359,296</u>	<u>4,672,219</u>	<u>1,911,713</u>	<u>2,234,452</u>
EXPENDITURES				
Salaries, Wages & Benefits	5,792,512	2,727,828	8,977,085	2,682,387
Contracted Services	3,379,147	915,756	475,391	201,839
Purchases from Other Governments	-	7,195,717	-	-
Purchases of Materials & Supplies	430,267	145,705	534,698	88,159
Contribution to Municipal Agencies	-	-	-	-
Grants to Organizations	65,121	12,400	-	-
Financial Charges	110,895	-	-	-
Other	195,865	31	-	-
Transfer to Operating (Schedule L)	307,875	23,263	265,953	1,731,584
Net Transfer to Capital	12,496,973	86,256	315,399	28,800
	<u>22,778,655</u>	<u>11,106,956</u>	<u>10,568,526</u>	<u>4,732,769</u>
	(8,419,359)	(6,434,737)	(8,656,813)	(2,498,317)
Less: Debt Repayment	<u>11,259</u>	<u>-</u>	<u>-</u>	<u>-</u>
OPERATING SURPLUS (DEFICIT)				
BEFORE TAXES & OTHER REVENUE	<u>\$ (8,430,618)</u>	<u>\$ (6,434,737)</u>	<u>\$ (8,656,813)</u>	<u>\$ (2,498,317)</u>
TAXES AND OTHER MUNICIPAL REVENUE				
Net Taxes for General Purposes (Schedule B)				
General Municipal Revenue (Schedule B)				
OPERATING DEFICIT				
Net Transfer (to) from Reserves				
SURPLUS AFTER TRANSFERS				

Note: Interfund transactions have not been eliminated.

SCHEDULE A

<u>Transportation</u>	<u>Social Planning</u>	<u>Community Services</u>	<u>Recreation, Parks & Culture</u>	<u>2002 Total</u>	<u>2001 Total</u>
\$ 540,417	\$ -	\$ 256,045	\$ 4,127,460	\$ 8,367,600	\$ 7,142,357
636,798	41,656	21,722	3,277,050	11,901,231	10,617,359
887,565	1,541,674	251,433	494,401	3,248,533	3,362,814
-	52,357	642,726	38,465	845,632	2,006,038
1,437,624	9,995	-	233,740	13,305,812	14,102,192
<u>3,502,404</u>	<u>1,645,682</u>	<u>1,171,926</u>	<u>8,171,116</u>	<u>37,668,808</u>	<u>37,230,760</u>
4,998,857	362,581	527,605	10,458,175	36,527,030	33,282,735
2,191,567	95,468	455,090	2,653,735	10,367,993	10,633,063
59,514	-	-	-	7,255,231	7,591,172
1,784,338	9,426	61,815	3,378,142	6,432,550	4,955,146
-	-	-	500	500	-
719,861	1,689,222	886,033	171,531	3,544,168	3,260,867
676,274	5,504	29,012	148,117	969,802	1,268,837
(54,196)	-	3,492	(904)	144,288	258,122
1,395,425	-	53,834	1,191,067	4,969,001	5,572,140
286,415	(6,000)	60,652	549,614	13,818,109	3,416,531
<u>12,058,055</u>	<u>2,156,201</u>	<u>2,077,533</u>	<u>18,549,977</u>	<u>84,028,672</u>	<u>70,238,613</u>
(8,555,651)	(510,519)	(905,607)	(10,378,861)	(46,359,864)	(33,007,853)
<u>967,255</u>	<u>70,045</u>	<u>4,930</u>	<u>106,259</u>	<u>1,159,748</u>	<u>2,977,073</u>
<u>\$ (9,522,906)</u>	<u>\$ (580,564)</u>	<u>\$ (910,537)</u>	<u>\$ (10,485,120)</u>	<u>(47,519,612)</u>	<u>(35,984,926)</u>
				32,681,171	29,785,750
				<u>4,964,926</u>	<u>4,907,520</u>
				(9,873,515)	(1,291,656)
				<u>9,723,519</u>	<u>1,809,121</u>
				<u>\$ (149,996)</u>	<u>\$ 517,465</u>

Note: Interfund transactions have not been eliminated.

THE CITY OF RED DEER
GENERAL TAX & OTHER REVENUES - DETAILS
 FOR THE YEAR ENDED DECEMBER 31, 2002

SCHEDULE B

NET TAXES FOR GENERAL MUNICIPAL PURPOSES

	2002 <u>Actual</u>	2001 <u>Actual</u>
Net Property Taxes	\$ 31,923,524	\$ 28,999,601
Local Improvement Levies	385,682	421,175
	32,309,206	29,420,776
Transfer of Local Improvement Levies to Utilities	(207,000)	(189,627)
Transfer from City Departments in Lieu of Taxes	578,965	554,601
Net Taxes for General Municipal Purposes	<u>\$ 32,681,171</u>	<u>\$ 29,785,750</u>

GENERAL MUNICIPAL REVENUES

	2002 <u>Actual</u>	2001 <u>Actual</u>
Penalties and Costs on Taxes	\$ 251,476	\$ 206,239
Franchises	1,230,613	1,240,679
Return on Investments	1,912,991	1,877,082
Other Revenue from Own Sources	59,979	73,653
Provincial Unconditional Grants	1,509,867	1,509,867
General Municipal Revenues	<u>\$ 4,964,926</u>	<u>\$ 4,907,520</u>

Note: Interfund transactions have not been eliminated.

Operating Detail - Utility Funds

THE CITY OF RED DEER

SCHEDULE C

PARKING**STATEMENT OF REVENUE, EXPENSES & TRANSFERS
FOR THE YEAR ENDED DECEMBER 31, 2002**

	<u>2002</u>	<u>2001</u>
REVENUES		
Fees	\$ 355,695	\$ 356,506
Fines	598,273	581,026
Transfers from Operating (Schedule L)	171,698	201,315
Provincial Grants	-	281
Other	725,482	474,240
	<u>1,851,148</u>	<u>1,613,368</u>
EXPENSES		
Administration	410,825	376,504
Meter & Lot Maintenance	102,562	99,180
Transfers to Operating (Schedule L)	453,087	467,327
Debt Charges	-	2,914
Transfers to Capital	1,751	1,866,100
	<u>968,225</u>	<u>2,812,025</u>
	882,923	(1,198,657)
Less: Debt Repayment	-	30,773
OPERATING SURPLUS (DEFICIT)	882,923	(1,229,430)
NET TRANSFER FROM (TO) RESERVE	(882,923)	1,229,430
	<u>\$ -</u>	<u>\$ -</u>

Note: Interfund transactions have not been eliminated.

THE CITY OF RED DEER

SCHEDULE D

EQUIPMENT**STATEMENT OF REVENUE, EXPENSES & TRANSFERS
FOR THE YEAR ENDED DECEMBER 31, 2002**

	<u>2002</u>	<u>2001</u>
REVENUES		
Transfers from Operating (Schedule L)	\$ 5,892,805	\$ 5,685,464
Other Rentals & Recoveries	950,729	1,025,827
Provincial Grants	513,421	1,021,332
Other	90,620	96,422
	<u>7,447,575</u>	<u>7,829,045</u>
EXPENSES		
Salaries, Wages & Benefits	1,091,949	1,024,858
Parts & Supplies	898,129	815,371
Fuel & Oil	688,412	784,957
Radio Rental	132,047	129,669
Insurance	109,999	90,186
Other Operating Costs	538,649	519,773
Debt Charges	-	49
Transfers to Operating (Schedule L)	1,807,948	1,550,092
Transfer to Capital - Depreciation	647,965	1,159,448
Transfer to Capital - Minor Capital	1,384,673	1,719,676
	<u>7,299,771</u>	<u>7,794,079</u>
	147,804	34,966
Less: Debt Repayment	-	2,466
OPERATING SURPLUS (DEFICIT)	147,804	32,500
NET TRANSFER FROM (TO) RESERVE	(147,804)	(32,500)
	<u>\$ -</u>	<u>\$ -</u>

Note: Interfund transactions have not been eliminated.

THE CITY OF RED DEER

SCHEDULE E

WATER**STATEMENT OF REVENUE, EXPENSES & TRANSFERS
FOR THE YEAR ENDED DECEMBER 31, 2002**

	<u>2002</u>	<u>2001</u>
REVENUES		
Residential	\$ 4,470,289	\$ 4,121,272
Commercial	3,866,989	3,584,809
Service Connection Fees	37,805	32,745
Penalties & Charges	26,505	19,344
Provincial Grants	10,821	22,711
Local Improvement Levies	162,200	151,839
Other	278,415	348,572
Transfers from Operating (Schedule L)	691,245	507,026
	<u>9,544,269</u>	<u>8,788,318</u>
EXPENSES		
Administration	250,245	229,212
Purification & Treatment	2,734,513	2,370,606
Distribution	941,920	937,870
Pumping	636	4,107
Debt Charges	60,844	208,388
Transfers to Operating (Schedule L)	2,062,917	1,830,969
Net Transfer to Capital	1,319,712	829,075
	<u>7,370,787</u>	<u>6,410,227</u>
	2,173,482	2,378,091
Less: Debt Repayment	<u>819,526</u>	<u>1,240,398</u>
OPERATING SURPLUS (DEFICIT)	1,353,956	1,137,693
NET TRANSFER FROM (TO) RESERVES	(1,353,956)	(1,137,693)
	<u>\$ -</u>	<u>\$ -</u>

Note: Interfund transactions have not been eliminated.

THE CITY OF RED DEER

SCHEDULE F

WASTEWATER**STATEMENT OF REVENUE, EXPENSES & TRANSFERS
FOR THE YEAR ENDED DECEMBER 31, 2002**

	<u>2002</u>	<u>2001</u>
REVENUES		
Residential	\$ 3,852,700	\$ 3,529,676
Commercial	3,280,518	2,949,074
Penalties & Charges	22,589	16,200
Provincial Grants	56,008	63,602
Local Improvement Levies	44,800	37,788
Other	263,860	280,830
Transfers from Operating (Schedule L)	67,426	60,099
	<u>7,587,901</u>	<u>6,937,269</u>
EXPENSES		
Administration	245,227	214,316
Collection	1,992,502	1,564,080
Treatment and Disposal	297,316	347,383
Debt Charges	531,224	609,365
Transfers to Operating (Schedule L)	1,623,208	1,622,774
Net Transfer to Capital	2,965,083	893,750
	<u>7,654,560</u>	<u>5,251,668</u>
	(66,659)	1,685,601
Less: Debt Repayment	<u>760,397</u>	<u>685,960</u>
OPERATING SURPLUS (DEFICIT)	(827,056)	999,641
NET TRANSFER FROM (TO) RESERVES	827,056	(999,641)
	<u>\$ -</u>	<u>\$ -</u>

Note: Interfund transactions have not been eliminated.

THE CITY OF RED DEER

SCHEDULE G

SOLID WASTE COLLECTION**STATEMENT OF REVENUE, EXPENSES & TRANSFERS
FOR THE YEAR ENDED DECEMBER 31, 2002**

	<u>2002</u>	<u>2001</u>
REVENUES		
Residential	\$ 1,637,026	\$ 1,557,219
Commercial	2,003,197	1,915,786
Penalties & Charges	11,556	8,808
Other	2,815	386
Transfers from Operating (Schedule L)	47,189	40,828
	<u>3,701,783</u>	<u>3,523,027</u>
EXPENSES		
Administration	52,743	51,350
Collection	3,070,788	2,877,962
Transfers to Operating (Schedule L)	600,543	616,437
	<u>3,724,074</u>	<u>3,545,749</u>
OPERATING SURPLUS (DEFICIT)	(22,291)	(22,722)
NET TRANSFER FROM (TO) RESERVES	<u>22,291</u>	<u>22,722</u>
	<u>\$ -</u>	<u>\$ -</u>

Note: Interfund transactions have not been eliminated.

THE CITY OF RED DEER
SOLID WASTE DISPOSAL
STATEMENT OF REVENUE, EXPENSES & TRANSFERS
FOR THE YEAR ENDED DECEMBER 31, 2002

SCHEDULE H

	<u>2002</u>	<u>2001</u>
REVENUES		
Fees	\$ 2,680,944	\$ 2,521,118
Provincial Grants	-	-
Transfer from Operating (Schedule L)	<u>11,748</u>	<u>15,748</u>
	<u>2,692,692</u>	<u>2,536,866</u>
EXPENSES		
Disposal Costs	1,078,851	951,864
Landfill Closure Provision	(56,938)	204,495
Debt Charges	792	236
Transfers to Operating (Schedule L)	455,278	420,323
Transfer to Capital	<u>158,000</u>	<u>2,812,000</u>
	<u>1,635,983</u>	<u>4,388,918</u>
OPERATING SURPLUS (DEFICIT)	1,056,709	(1,852,052)
NET TRANSFER FROM (TO) RESERVES	<u>(1,056,709)</u>	<u>1,852,052</u>
	<u>\$ -</u>	<u>\$ -</u>

Note: Interfund transactions have not been eliminated.

THE CITY OF RED DEER

SCHEDULE I

RECYCLING**STATEMENT OF REVENUE, EXPENSES & TRANSFERS
FOR THE YEAR ENDED DECEMBER 31, 2002**

	<u>2002</u>	<u>2001</u>
REVENUES		
Residential	\$ 688,277	\$ 644,516
Multi-Family Residential	220,533	219,990
Penalties & Charges	2,860	2,050
Other	226,008	211,523
Transfers from Operating (Schedule L)	105,000	105,000
	<u>1,242,678</u>	<u>1,183,079</u>
EXPENSES		
Recycling Costs	863,732	912,150
Transfers to Operating (Schedule L)	181,649	172,773
	<u>1,045,381</u>	<u>1,084,923</u>
OPERATING SURPLUS (DEFICIT)	197,297	98,156
NET TRANSFER FROM (TO) RESERVES	<u>(197,297)</u>	<u>(98,156)</u>
	<u>\$ -</u>	<u>\$ -</u>

Note: Interfund transactions have not been eliminated.

THE CITY OF RED DEER

SCHEDULE J

SUBDIVISIONS**STATEMENT OF REVENUE, EXPENSES & TRANSFERS
FOR THE YEAR ENDED DECEMBER 31, 2002**

	<u>2002</u>	<u>2001</u>
REVENUES		
Lot Sales	\$ 16,573,345	\$ 14,169,428
Debenture Interest Subsidy	<u>25,146</u>	<u>35,324</u>
	<u>16,598,491</u>	<u>14,204,752</u>
EXPENSES		
Administration	173,977	168,419
Debt Charges	287,576	392,667
Transfers to Operating (Schedule L)	1,001,204	1,000,067
Transfer to Capital	<u>14,327,483</u>	<u>11,620,682</u>
	<u>15,790,240</u>	<u>13,181,835</u>
	808,251	1,022,917
Less: Debt Repayment	<u>805,597</u>	<u>1,023,667</u>
OPERATING SURPLUS (DEFICIT)	2,654	(750)
NET TRANSFER FROM (TO) RESERVES	<u>(2,654)</u>	<u>750</u>
	<u>\$ -</u>	<u>\$ -</u>

Note: Interfund transactions have not been eliminated.

THE CITY OF RED DEER

SCHEDULE K

ELECTRIC LIGHT & POWER**STATEMENT OF REVENUE, EXPENSES & TRANSFERS
FOR THE YEAR ENDED DECEMBER 31, 2002**

	<u>2002</u>	<u>2001</u>
REVENUES		
Residential	\$ 7,365,966	\$ 5,763,398
Commercial	12,032,999	12,077,640
Penalties & Charges	266,970	159,283
Transmission Cost Recovery	1,820,000	1,890,000
Energy Cost Recovery for 2000	855	1,597,895
Customer Valuation Rights	1,190,000	1,190,000
Other	278,182	484,023
Transfer from Capital	74,301	-
Transfers from Operating (Schedule L)	37,665	41,908
	<u>23,066,938</u>	<u>23,204,147</u>
EXPENSES		
Transmission Charge	4,779,121	4,108,751
Administration	1,677,130	1,477,589
Customer Billing & Collection	515,096	477,764
Distribution & Maintenance	768,660	743,883
Transfers to Operating (Schedule L)	7,175,753	7,506,678
Transfer in Lieu of Taxes	519,009	554,600
Transfer to Capital	-	463,169
	<u>15,434,769</u>	<u>15,332,434</u>
OPERATING SURPLUS (DEFICIT)	7,632,169	7,871,713
NET TRANSFER FROM (TO) RESERVES	(7,632,169)	(7,871,713)
	<u>\$ -</u>	<u>\$ -</u>

Note: Interfund transactions have not been eliminated.

CITY OF RED DEER
INTERNAL CHARGES & TRANSFERS
FOR THE YEAR ENDED DECEMBER 31, 2002

	<u>GENERAL</u>	<u>PARKING</u>	<u>EQUIPMENT FUND</u>	<u>WATER</u>	<u>WASTE WATER</u>
TRANSFERS FROM OPERATING					
TRANSFERS					
Utilities Administration	\$ 2,025,963	\$ -	\$ -	\$ -	\$ -
Subdivision Interest	200,000	-	-	-	-
Tax Relief - Land Bank	502,308	-	-	-	-
Utilities Billing Cost	1,060,269	-	-	-	-
Other	8,818,325	171,698	3,900	516,681	-
	<u>12,606,865</u>	<u>171,698</u>	<u>3,900</u>	<u>516,681</u>	<u>-</u>
INTERNAL COST RECOVERIES					
Equipment Rental	-	-	4,513,173	-	-
Utilities on City Facilities	-	-	-	144,193	67,426
Labour Recharge	132,311	-	1,082,327	-	-
Other	566,636	-	293,405	30,371	-
	<u>698,947</u>	<u>-</u>	<u>5,888,905</u>	<u>174,564</u>	<u>67,426</u>
TOTAL	<u><u>\$ 13,305,812</u></u>	<u><u>\$ 171,698</u></u>	<u><u>\$ 5,892,805</u></u>	<u><u>\$ 691,245</u></u>	<u><u>\$ 67,426</u></u>
TRANSFER TO OPERATING					
TRANSFERS					
Utilities Administration	\$ -	\$ -	\$ -	\$ 846,273	\$ 720,064
Subdivision Interest	-	-	-	-	-
Tax Relief - Land Bank	-	-	-	-	-
Utilities Billing Cost	-	-	-	276,000	276,000
Other	545,569	430,959	94,527	575,063	451,765
	<u>545,569</u>	<u>430,959</u>	<u>94,527</u>	<u>1,697,336</u>	<u>1,447,829</u>
INTERNAL CHARGES					
Equipment Rental	3,546,968	14,243	418,644	233,233	144,985
Utilities on City Facilities	231,398	-	3,726	885	19,961
Labour Recharge	37,909	320	1,172,766	639	-
Other	607,157	7,565	118,285	130,824	10,433
	<u>4,423,432</u>	<u>22,128</u>	<u>1,713,421</u>	<u>365,581</u>	<u>175,379</u>
TOTAL	<u><u>\$ 4,969,001</u></u>	<u><u>\$ 453,087</u></u>	<u><u>\$ 1,807,948</u></u>	<u><u>\$ 2,062,917</u></u>	<u><u>\$ 1,623,208</u></u>

SCHEDULE L

<u>SOLID WASTE COLLECTION</u>	<u>SOLID WASTE DISPOSAL</u>	<u>RECYCLING</u>	<u>SUBDIVISIONS</u>	<u>ELECTRIC LIGHT & POWER</u>	<u>TOTAL</u>
\$ -	\$ -	\$ -	\$ -	\$ -	\$ 2,025,963
-	-	-	-	-	200,000
-	-	-	-	-	502,308
-	-	-	-	-	1,060,269
-	-	105,000	-	37,665	9,653,269
-	-	105,000	-	37,665	13,441,809
-	-	-	-	-	4,513,173
47,189	-	-	-	-	258,808
-	-	-	-	-	1,214,638
-	11,748	-	-	-	902,160
47,189	11,748	-	-	-	6,888,779
-	-	-	-	-	-
<u>\$ 47,189</u>	<u>\$ 11,748</u>	<u>\$ 105,000</u>	<u>\$ -</u>	<u>\$ 37,665</u>	<u>\$ 20,330,588</u>
\$ 368,741	\$ -	\$ 90,881	\$ -	\$ 4	\$ 2,025,963
-	-	-	200,000	-	200,000
-	-	-	502,308	-	502,308
178,569	-	36,000	-	293,700	1,060,269
47,556	398,695	43,679	298,655	6,766,801	9,653,269
594,866	398,695	170,560	1,000,963	7,060,505	13,441,809
5,677	28,497	10,402	-	110,524	4,513,173
-	-	-	-	2,838	258,808
-	2,707	56	241	-	1,214,638
-	25,379	631	-	1,886	902,160
5,677	56,583	11,089	241	115,248	6,888,779
-	-	-	-	-	-
<u>\$ 600,543</u>	<u>\$ 455,278</u>	<u>\$ 181,649</u>	<u>\$ 1,001,204</u>	<u>\$ 7,175,753</u>	<u>\$ 20,330,588</u>

STATISTICAL INFORMATION

TAX AND OTHER STATISTICS

1998 - 2002

	<u>2002</u>	<u>2001</u>
Population	70,593	68,308
Assessed Valuation	\$ 4,260,102,996	\$ 3,944,145,200
Per Capita Assessed Valuation	\$ 60,347	\$ 57,741
Mill Rates (Commercial)		
Municipal	10.739	10.789
Education Foundation	7.010	7.343
Other	0.373	0.379
	<u>18.122</u>	<u>18.511</u>
Taxes Paid by the Largest Single Taxpayer	\$ 941,197	\$ 882,567
Percent of Taxes	1.70%	1.77%
Property Taxes		
Current Levy	\$ 55,442,174	\$ 49,895,155
Current Collected	\$ 54,369,044	\$ 49,245,016
Percent of Current Levy	98.1%	98.7%
Gross Tax Collections	\$ 55,180,185	\$ 49,883,763
Taxes Outstanding	\$ 1,175,157	\$ 913,168
Reserves Balance	\$ 75,076,718	\$ 40,387,516
Long Term Debt		
Tax Supported Long Term Debt	\$ 6,914,629	\$ 8,074,378
Self Supported Long Term Debt	6,670,690	9,056,209
Total Gross Long Term Debt	<u>\$ 13,585,319</u>	<u>\$ 17,130,587</u>
Legal Debt Limit	205,585,368	195,693,541
Tax Supported Debt as a % of Assessment	0.2%	0.2%
Gross Tax Supported Debt per Capita	\$ 98	\$ 118
Total Gross Debt per Capita	\$ 192	\$ 251
Debt Service Costs (Gross)		
Tax Supported Long Term Debt	\$ 1,871,926	\$ 3,947,373
Self Supported Long Term Debt	3,200,786	4,132,270
	<u>\$ 5,072,712</u>	<u>\$ 8,079,643</u>
Operating Debt Costs % of Operating Expenses	5.68%	9.62%

<u>2000</u>	<u>1999</u>	<u>1998</u>
65,701	63,940	60,075
\$ 3,531,178,600	\$ 3,299,790,700	\$ 2,787,117,500
\$ 53,746	\$ 51,608	\$ 46,394
10.946	11.574	10.855
9.736	10.510	9.892
0.383	0.376	0.405
<u>21.065</u>	<u>22.460</u>	<u>21.152</u>
\$ 1,003,652	\$ 1,034,469	\$ 987,798
2.00%	2.11%	2.18%
\$ 50,204,512	\$ 48,929,033	\$ 45,364,612
\$ 49,589,616	\$ 48,231,774	\$ 44,805,373
98.8%	98.6%	98.8%
\$ 50,384,402	\$ 48,773,666	\$ 46,137,144
\$ 901,776	\$ 1,081,666	\$ 926,299
\$ 39,126,242	\$ 42,896,264	\$ 55,886,255
\$ 11,082,224	\$ 14,104,523	\$ 17,198,313
12,008,701	14,668,093	17,238,514
<u>\$ 23,090,925</u>	<u>\$ 28,772,616</u>	<u>\$ 34,436,827</u>
203,101,187	193,214,867	183,965,235
0.3%	0.4%	0.6%
\$ 169	\$ 221	\$ 286
\$ 351	\$ 450	\$ 573
\$ 4,273,329	\$ 4,777,587	\$ 4,803,080
4,183,875	4,368,723	4,467,712
<u>\$ 8,457,204</u>	<u>\$ 9,146,310</u>	<u>\$ 9,270,792</u>
8.13%	10.22%	10.83%

FILE



Council Decision – April 22, 2003

City Clerk's Department

DATE: April 23, 2003
TO: Rod Burkard, Director of Corporate Services
FROM: Nona Housenga, Deputy City Clerk
SUBJECT: 2002 Audited Annual Report

Reference Report:

Director of Corporate Services, dated April 13, 2003

Resolutions:

Resolved that Council of The City of Red Deer having considered the report from the Director of Corporate Services, dated April 13, 2003 Re: 2002 Audited Annual Report , hereby agrees to receive and approve the 2002 Audited Annual Report for publication as presented to Council on April 22, 2003.

Report Back to Council: No

A handwritten signature in cursive script, appearing to read 'N. Housenga'.

Nona Housenga
Deputy City Clerk
/chk

c Treasury Services Manager

**Assessment and Tax Section****DATE:** April 7, 2002**TO:** Kelly Kloss
City Clerk**FROM:** Norm Ford
Tax Collector**SUBJECT:** 2003 SUPPLEMENTARY ASSESSMENT BYLAW

In 2002, Council approved the implementation of a Supplementary Assessment & Tax Program. The attached document provides some background regarding this program.

In accordance with Section 313 of The Municipal Government Act, a supplementary assessment bylaw must be passed each year prior to May 1 to continue supplementary assessment and taxation. In 2003, Council budgeted \$300,000 in municipal revenue from supplementary taxation.

RECOMMENDATION

Recommend that Council grant three readings to the attached Supplementary Assessment Bylaw.

A handwritten signature in black ink, appearing to read 'Norm Ford'.

Norm Ford
Tax Collector

NF/ngl

Enc.

c. Rod Burkard, Director of Corporate Services

What is property assessment?

Property assessment is an estimate of the market value of property (land, buildings and other improvements). Market value is the most probable price that a property would sell for on the open market and is not necessarily the actual purchase price.

Assessments for existing and new properties are calculated annually in December for taxation in the following year. Properties where buildings are in the process of being constructed do not get assessed at their full value.

What is supplementary assessment?

Supplementary assessment determines the increase in value of a property where a new home, building or renovations are completed or occupied during the current year.

What is supplementary tax?

Supplementary tax is determined by multiplying the supplementary assessment (increase in value) by the tax rate and prorating this amount based on the number of months the building has been completed or occupied for the year.

Why have supplementary assessment and tax?

Supplementary assessment and tax provides for equity among property owners. When new homes and buildings are completed or occupied, the owners receive municipal services. Supplementary tax contributes towards the cost of providing these services.

How does supplementary assessment and tax work?

When the increased value of new homes, buildings and major additions has been determined, an additional supplementary assessment and tax notice will be sent for the additional taxes for the year.

When is the supplementary assessment and tax notice sent out?

Annual assessment and tax notices are sent out in May. Supplementary notices will be sent out starting in September. Supplementary taxes are levied only in the year the newly constructed building is completed or occupied. Property owners will be required to pay the supplementary tax in full within 60 days of mailing.

Comments:

We concur with the recommendations of the Tax Collector that Council give three readings to the 2003 Supplementary Assessment Tax Bylaw.

"B. Hughes"
Deputy Mayor

"N. Van Wyk"
City Manager

FILE



City Clerk's Department

Council Decision – April 22, 2003

DATE: April 23, 2003
TO: Norm Ford, Tax Collector
FROM: Nona Housenga, Deputy City Clerk
SUBJECT: 2003 Supplementary Assessment Bylaw – Bylaw 3311/2003

Reference Report:

Tax Collector, dated April 7, 2003

Bylaw Readings:

Bylaw 3311/2003 – 2003 Supplementary Assessment Tax Bylaw was given three readings. A copy of the bylaw is attached.

Report Back to Council: No

A handwritten signature in cursive script, appearing to read 'N. Housenga'.

Nona Housenga
Deputy City Clerk

/chk
/attach.

c Director of Corporate Services
 Treasury Services Manager

BYLAW NO. 3311/2003

Being a bylaw to authorize the preparation of supplementary assessments within The City of Red Deer for 2003.

WHEREAS, The City of Red Deer wishes to require the preparation of supplementary assessments for improvements for the purpose of imposing a tax;

AND WHEREAS, the Municipal Government Act provides that this Bylaw must be passed before May 1 of the year that the Bylaw applies;

NOW THEREFORE Council enacts:


- 1 That a supplementary assessment shall be prepared for all improvements in 2003.
- 2 That this Bylaw does not authorize the preparation of supplementary assessments for linear property.

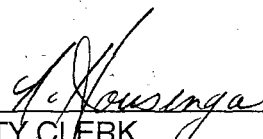
READ A FIRST TIME IN OPEN COUNCIL this 22nd day of April 2003.

READ A SECOND TIME IN OPEN COUNCIL this 22nd day of April 2003.

READ A THIRD TIME IN OPEN COUNCIL this 22nd day of April 2003.

AND SIGNED BY THE MAYOR AND CITY CLERK this 22nd day of April 2003.


D/ MAYOR


DEPUTY CITY CLERK

**Assessment and Tax Section**

DATE: April 14, 2003

TO: Kelly Kloss
City Clerk

FROM: Norm Ford
Tax Collector

SUBJECT: 2003 Tax Rate Bylaw

LEGISLATION

The Tax Rate Bylaw provides for the collection of revenue through property taxation for the following organizations:

- City of Red Deer: Municipal Services
- Red Deer Public Library: Library Service Requisition
- Province of Alberta: Education Requisition
- Piper Creek Foundation: Seniors' Housing Requisition

The Municipal Government Act requires Council to approve a Bylaw before municipal taxes can be collected. The City of Red Deer also collects requisitions through property taxation on behalf of the three other organizations listed above.

HISTORY

The City of Red Deer's annual budget process consists of three main components:

1. Administration prepares the budget;
2. Council reviews and approves the budget that includes the portion to be collected through property taxes;
3. Council sets the rates used to collect the property taxes through a Tax Rate Bylaw.

Although Council has already approved the 2003 budget, it must take one final step and pass a Tax Rate Bylaw to collect the revenue required through property taxation. The bylaw can now be passed because the property assessment is finalized, and the school requisition is available from the Province.

DISCUSSION

The 2003 Tax Rate Bylaw is broken down into four main components, as follows:

1. Municipal Taxes

As part of the 2003 budget review, Council approved municipal tax revenues of \$34,825,375 which takes into consideration assessment growth and a tax increase.

City Clerk
 Page 2
 2003 Tax Rate Bylaw
 April 14, 2003

2. Red Deer Public Library

The library requisition for 2003 is \$1,773,000, representing an increase of 8.2% from 2002. Council reviewed the Library budget as part of the 2003 budget deliberations.

3. Piper Creek Foundation

The Piper Creek Foundation is responsible for providing housing to senior citizens. According to legislation, the Piper Creek Foundation may requisition an amount equal to the annual deficit for the previous year or may request an amount to establish or continue a reserve fund. The requisition for 2003 is \$21,796, which is their deficit from the previous year. This amounts to less than \$1.00 per property and therefore will be included with the municipal tax levy on the property tax notice for the sake of efficiency.

4. Education Taxes

The Province of Alberta has requested the following education requisition which represents an 8.1% increase from 2002.

Public School:	21,795,831
Separate School:	<u>2,970,962</u>
Total Education Tax:	24,766,793

The assessment and tax notices will be mailed on or about May 16, 2003. This allows the optimum amount of time for taxpayers to receive their tax notice and provide for payment. In 2003, the due date for payment of taxes is Monday, June 30.

RECOMMENDATION

That Council gives three readings to the 2003 Tax Rate Bylaw.



Norm Ford
 Tax Collector

NF/ngl

Council to set 2003 municipal tax rate bylaw

1. Council approved its budget in January, why is it only setting the tax rate now?

When Council sets the annual budget, it decides what level of funding the City will collect through municipal taxes in that fiscal year. The bylaw to collect these taxes can only be generated when the final assessed value of properties is known. As well, because the bylaw contains three other components: the provincial education requisition; the Red Deer Public Library requisition; and the Piper Creek Foundation requisition, all information must be available before it can be approved. The library and Piper Creek Foundation requisitions were dealt with during the budget process, but provincial education requisition amounts are only received from the Province in April.

2. How much revenue will The City collect through property taxes this year?

The City will collect over \$34.5 million through property taxes and an additional \$300,000 through supplementary property taxes this year. Supplementary tax is paid on any new construction that is completed during the budget year.

3. During the budget process, The City estimated tax revenue of \$2,150,000 from • growth in the assessment base. Has that estimate changed now that the property assessment is finalized?

The actual revenue from new property assessment growth will be \$1,950,000, which is about \$200,000 less than the growth revenue estimated at budget time. This shortfall in growth revenue means the tax increase will be slightly more at 7.3% rather than the 6.67% estimated at budget time.

4. Council approved a 6.67 per cent tax increase during the budget process. How will a tax increase of 7.3 per cent impact residential taxes?

The tax increase of 7.3 per cent is the overall increase for the three main classes of properties (residential, multi-family residential, and non-residential) that contribute to the City's total taxes.

Although the overall tax increase will be slightly higher than estimated at budget time, the tax increase on residential properties will be less than expected because growth in residential properties was higher than projected (8.5 per cent rather than seven per cent).

Since assessments are based on market value, a number of factors influence the final assessed value of a home making it difficult to show an example that gives the exact dollar increase applicable to any particular residential home.

The following estimates have been prepared as examples to give a general idea of the tax increase for 2003. A home valued at \$100,000 will pay an additional \$32 in the municipal portion of property tax, a home valued at \$150,000 will pay an additional \$48, and a home valued at \$200,000 will pay an additional \$64. These increases are slightly less than

indicated in the Council's Budget Strategy document that was published following the 2003 budget process.

5. Do all property taxes that I pay go directly to The City?

Although The City is responsible for collecting the entire sum of property taxes, only 57 per cent will stay within the municipal budget in 2003. Forty per cent goes to the Province to fund education, 3 per cent is directed to the public library, and .04 per cent goes to the Piper Creek Foundation, a foundation that is responsible for providing housing to senior citizens. The Piper Creek Foundation requisition was dealt with as a request during the budget process. Legislation allows the Foundation to request the amount of the previous year's deficit. When the actual tax notices are prepared, the Piper Creek Foundation requisition is included with the municipal tax amount rather than being a separate line item.

6. I know The City portion of property tax is increasing this year, but what about the library and school portion?

Both the provincial education and library portion of property taxes will also increase this year. The library requisition will increase by 8.2 per cent for a total of \$1,773,000 being directed to the Red Deer Public Library. The provincial education requisition will increase by 8.1 per cent for a total of \$24,766,793 being directed to fund education.

7. When can citizens expect to receive their tax notice?

The City mails out tax notices around May 16, 2003.

8. When are property taxes due?

Property taxes are due on Monday June 30, 2003.

9. Is it too late to sign up for the Tax Installment Plan (TIP) program?

TIP is a program that allows citizens to pay property taxes on a monthly basis rather than in a lump sum payment in the middle of the year. The total amount of property taxes owing is divided by 12 and automatically deducted from the homeowner's bank account monthly.

Citizens wishing to pay their taxes on a monthly basis can sign up for the program to pay their 2003 taxes before June 30. At the time they register, they will be required to pay the entire portion of taxes already owing for 2003 (in May it would be five months worth of tax). The remaining balance of annual municipal taxes will automatically be deducted from their bank account on a monthly basis.

Once registered in the program, citizens continue to pay property taxes on a monthly basis from one fiscal year to the next. There is no need to reregister in the program.

Comments:

We concur with the Tax Collector that Council give three readings to the 2003 Tax Rate Bylaw.

"B. Hughes"
Deputy Mayor

"N. Van Wyk"
City Manager



City Clerk's Department

Council Decision – April 22, 2003

DATE: April 23, 2003
TO: Norm Ford, Tax Collector
FROM: Nona Housenga, Deputy City Clerk
SUBJECT: 2003 Tax Rate Bylaw – Bylaw 3312/2003

Reference Report:

Tax Collector, dated April 14, 2003

Bylaw Readings:

Bylaw 3312/2003 – 2003 Tax Rate Bylaw was given three readings. A copy of the bylaw is attached.

Report Back to Council: No

A handwritten signature in cursive script, appearing to read 'N. Housenga'.

Nona Housenga
Deputy City Clerk

/chk

/attach.

c Director of Corporate Services
 Treasury Services Manager

BYLAW NO. 3312/2003

Being a bylaw to authorize the rates of taxation to be levied against assessable property within The City of Red Deer for the 2003 taxation year.

WHEREAS, Council, at their meeting of January 22, 2003 passed a budget resolution which provided for the collection of \$34,825,375 being raised by general municipal taxation;

AND WHEREAS, the requisitions that the The City of Red Deer is required to collect on behalf of other organizations are:

Alberta School Foundation Fund (Public)	
Residential/Farmland	\$13,819,127
Non-residential	\$ 7,976,704
Opted Out School Boards (Separate)	
Residential/Farmland	\$ 2,303,809
Non-residential	\$ 667,153
Red Deer Public Library	\$ 1,773,000
Piper Creek Foundation	\$ 21,796

AND WHEREAS, the Council of The City of Red Deer is authorized to classify assessed property, and to establish different rates of taxation in respect to each class of property, subject to the Municipal Government Act, chapter M26 1, Revised Statutes of Alberta, 1994;

AND WHEREAS, the assessed value of all property in the Municipality of Red Deer as shown on the assessment roll is:

	<u>Assessment</u>
Single Family Residential	\$3,217,096,300
Multiple Family Residential	396,445,600
Non-residential	1,267,177,800
Farmland	<u>1,155,000</u>
	\$ 4,881,874,700

AND WHEREAS, Council has passed Bylaw 3311/2003 being a Bylaw authorizing the supplementary assessment of new construction;

NOW THEREFORE Council authorizes the:

1. Levy of tax rates, as set out in this bylaw, on the assessed value of all property as shown on the assessment roll of The City of Red Deer; and
2. Levy of tax rates, as set out in this bylaw, on the assessed value of all property subject to Supplementary Assessment Bylaw 3311/2003.

	Tax Levy	Assessment	Tax Rate
General Municipal			
Single Family Residential	\$17,760,940	\$3,217,096,300	.005521
Multiple Family Residential	2,786,030	396,445,600	.007028
Commercial/Industrial/Farmland	14,278,405	1,268,332,800	.011258
Total	\$34,825,375	\$ 4,881,874,700	

Alberta School Foundation Fund (Public School)

Residential/Farmland	\$13,819,127	\$3,073,331,894	.004497
Non-residential	7,976,704	1,162,922,223	.006859
Total	\$21,795,831	\$ 4,236,254,117	

Opted-Out School Boards (Separate)

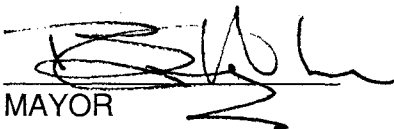
Residential/Farmland	\$2,303,809	\$512,360,205	.004497
Non-residential	667,153	97,264,074	.006859
Total	\$2,970,962	\$609,624,279	
 Red Deer Public Library	 \$1,773,000	 \$4,881,874,700	 .000363
Piper Creek Foundation	\$ 21,796	\$4,881,874,700	.0000045

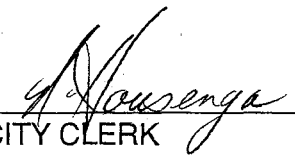
READ A FIRST TIME IN OPEN COUNCIL this 22nd day of April 2003.

READ A SECOND TIME IN OPEN COUNCIL this 22nd day of April 2003.

READ A THIRD TIME IN OPEN COUNCIL this 22nd day of April 2003.

AND SIGNED BY THE MAYOR AND CITY CLERK this 22nd day of April 2003.

0/ 
MAYOR


Deputy CITY CLERK



City Clerk's Department

DATE: April 14, 2003
TO: City Council
FROM: City Clerk
SUBJECT: Resolutions for the 2003 AUMA Annual Convention
September 24 – 27, 2003 in Calgary

AUMA is requesting submission of resolutions by Municipalities to be considered at the 2003 AUMA Convention to be held September 24 – 27, 2003 in Calgary.

Attached are the following resolutions for Council's consideration:

- 1) Child Care
- 2) Funding for Libraries
- 3) Insurance Policies & Premiums

The Senior Management Team has reviewed and approved these resolutions.

Recommendation

That Council approve the above resolutions for forwarded to the Alberta Urban Municipalities Association (AUMA).


Kelly Kloss
City Clerk

/chk
/attach.

AUMA RESOLUTION

Child Care

Whereas many Albertans recognize parents as the preferred child care provider, economic reality is that most parents need to work outside the home to be financially viable. This reliance on outside child care is likely to continue, given the following increased pressures on the Alberta family:

- An increasing number of single parents;
- Minimum wage that has not kept up with the rising cost of living, requiring parents to work outside the home, often at more than one employment position;
- A competitive workplace requiring shift work, more overtime hours, and the need for adult education to remain competitive;
- The increasing cost associated with the need to commute from rural communities to the larger municipalities for higher paying jobs or to attend school;

Whereas childcare is a responsibility of the federal and provincial governments; and,

Whereas decisions made with regard to operating allowances and subsidy rates that determine the affordability of licensed childcare impact the quality of life for Alberta families; and,

Whereas economic support to childcare from the Province of Alberta is still below 1989 levels despite recent announcements from Alberta Children's Services; and,

Whereas Alberta villages, towns and cities have a responsibility to their citizens to provide a high quality of life and often witness first hand the impacts of economic policies established by other orders of government,

Therefore be it resolved that the Alberta Urban Municipalities Association urge the Government of Canada and the Province of Alberta to increase their funding commitments to quality childcare through the re-instatement of operating allowances to stabilize licensed childcare operations and support to childcare subsidies to make licensed childcare more affordable to more Alberta families.

AUMA RESOLUTION

Child Care

Background Information

Across Alberta, childcare spaces, funding and staffing are reaching critical levels. Regulated spaces in Alberta (approved family day homes or licensed daycares) have been on a steady decline since 1989, despite our population of children aged 0-12 continuing to increase. In many Alberta communities, licensed childcare is extremely limited and in some cases non-existent. Alberta went from 81,855 licensed spaces in September 1989 to just 25,793 in March 2003. In 2001 there were regulated spaces available for only 9.1% of the population of children aged 0 –12 in Alberta.

The following example illustrates the harsh economic reality for about 19.9% of Alberta households with children, those headed by a single parent. In this Red Deer example, the single parent is female, working 37.5 hours/week, and caring for one infant and one toddler:

	@ Minimum Wage of \$5.90/hour	@ Wage of \$11.00/hour	@ Wage of 14.40/hour (average for female Albertans in 1996)
Net Monthly Income (after mandatory deductions)	\$867.00	\$1464.90	\$1837.02
Average Monthly Child Care Fees in Alberta	\$1148.00	\$1148.00	\$1148.00
Maximum Provincial Subsidy per Month	\$600.00	Nil	Nil
Average Monthly Rent for a 2 bedroom apartment	\$691.00	\$691.00	\$691.00
Amount Leftover for All Other Living Expenses (utilities, food, transportation, medical care, etc.)	<\$372.00>	<\$374.10>	<\$1.98>

We can only assume those parents that cannot afford regulated spaces are accessing private care arrangements that may or may not be of high quality, and that may or may not meet the early development needs of their children.

The Alberta government reduced its overall support (in subsidies and operating allowance) for childcare in Alberta by \$9.1 Million between 1989 and 2001. While the recent announced investment to child care of \$5.6 million over the next three years is appreciated, it is not enough to keep our child care centers from closing, to maintain dedicated staff and interest in the profession, nor is it enough to keep children from being at risk when parents don't have adequate childcare choices.

As Minister Iris Evans stated in a news release December 16, 2002: "Alberta's children deserve to be cherished and cared for in quality child care settings that contribute to their social and personal development." The positive social and economic impacts of an appropriately funded childcare system in Alberta will reflect equally on both large and small urban municipalities.

Sources:

City of Red Deer Community Profile and Demographic Analysis: Part One, June 2000

Early childhood education and care in Canada: Provinces and Territories 1998, Childcare Resource and Research Unit 2000.

Early childhood education and care in Canada 2001, Childcare Resource and Research Unit, December 2002.

Handicapped Housing Society of Alberta, Dec/02 Statistics

Statistics Canada, 1996 and 2001

Status of Child Care in Red Deer Report, March 2003

Ministry of Children's Services, Child Care Resources, 2003

AUMA Resolution

Funding for Libraries

Whereas the provincial government has moved in the strategic direction of public libraries being technologically involved in online borrowing, inter-library loans, sharing resources and public access to internet, and

Whereas public libraries should all be key participants in the Alberta SuperNet project, along with hospitals and schools whose connectivity is being funded by their respective government departments, and

Whereas the Government of Alberta has invested a significant amount of project funding to build the Alberta Public Library Electronic Network, and

Whereas public libraries are an important window to the world of online information for all Albertans and are a cost-effective vehicle to provide citizens with online information from all levels of government, and

Whereas the provincial per capita amount to support ongoing library operations, including access and extensive use of technology, was cut in 1993 and has been frozen since,

Therefore Be It Resolved that the Alberta Urban Municipalities Association requests that the Government of Alberta support Alberta Community Development's Funding Request to provide additional ongoing funding, specifically to assist libraries in addressing operational costs related to the implementation of SuperNet, inter-library loans, computer borrowing and other technologically related service,

And Further Be It Resolved that the Alberta Urban Municipalities Association requests that the current funding for public libraries of \$4.29 per capita be increased by not less than a further \$3.00 per capita; thus, ensuring the support and sustainability necessary for electronic access for all Albertans.

AUMA RESOLUTION

Funding for Libraries

Background

Over the past several years, the provincial government has been committed to moving in the direction of electronic access to information for all Albertans. Public libraries have been one of the primary tools that that Province has identified in meeting their goals. Public libraries across Alberta now have the ability for patrons to participate in online borrowing, inter-library loans (done from your own homes), and access to computer terminals at the libraries for Internet users. The result of this technological approach to service, through direction from the Province, has been very successful for library users; however, the impact on the libraries is significant. The increase in inter-library loans takes up a significant amount of staff time, particularly in small public libraries, with the processing of books to send to other libraries and the receiving of books from other libraries. In addition, staff time is also spent assisting library users to access the Internet, and in supervising youth who are using the Internet. This staff time was previously spent in attending to operations at the local library. The result is that staff cannot manage to program and address general operations along with the demands generated by the new technology and electronic access.

In addition, there are significant costs to libraries in ensuring adequate computer terminals, maintaining computer upgrades and in ensuring staff are trained to use the technology and are, thus, able to assist library users. Connectivity to SuperNet is also cost prohibitive to the majority of libraries in Alberta. In small libraries in particular, the projected costs of connecting to SuperNet cannot be afforded within their small budgets, where municipalities and fundraising provide the majority of the revenue. While Alberta Learning and Alberta Health and Wellness will pay for schools and hospitals to connect to SuperNet, Alberta Community Development is not paying for libraries to connect.

The Alberta Community Development Funding Request is attached for information.

LIBRARY FUNDING REQUEST

Libraries are community based, supported and highly trusted by Albertans.

Libraries have been creative in developing new and better service options for Albertans to access information required for their learning, their businesses and their leisure. They are looking for solutions that impact ALL ALBERTANS, regardless of age, economic or social circumstances. Libraries support a wide range of government priorities including health information, curriculum support, lifelong learning, business and career development, children's and adult literacy, rural development, tourism, Service Alberta and the SuperNet. They have a track record of leveraging funds to create innovative solutions to problems.

Libraries need:

An increase in operating grants

- The per capita rate for grants to libraries was cut in 1993 and has been frozen since.
- Libraries in small centres are seeing a decrease in their operating grants.
- Population loss in rural centres is affecting provincial and local grant funding.
- Libraries have stretched their dollars as far as possible; worked harder and smarter to create incredible efficiencies, all while costs for core services and operations have risen steadily.
- An increase in the operating grants is needed to accommodate inflation since 1993, networked services and the increasing demands of library users.

Ongoing operating costs of the SuperNet

- The library community applauds the Government of Alberta's commitment to the SuperNet.
- Connection costs for the SuperNet are beyond the capacity of most smaller libraries.
- The opportunities created by this initiative will not be realized without the full participation of all libraries.

Access to electronic information resources – The Alberta Virtual Library

- All Albertans need access to quality information to succeed.
- A searchable electronic collection of *credible, reliable* information, including full-text references, magazines, newspapers, encyclopedias and more, will ensure that Albertans have access to the information they need anywhere, anytime.

Replacement of integrated library software and computer equipment.

- Libraries must keep up with current technology to serve their users and participate in province-wide networking initiatives.
- Out of date systems no longer meet expectations for fast, user-friendly access to the information owned by the library as well as links to external resources.
- A library's catalogue and borrowing software is the very core of its ability to function.
- Replacement of this hardware and software requires an enormous investment beyond the capability of most libraries' funding.

These initiatives have the support of local library and library system boards, municipalities, including the Alberta Urban Municipalities Association, provincial organizations, and academic and higher learning institutions. A majority of MLAs has expressed support to their constituents.

AUMA RESOLUTION

Insurance Policies & Premiums

Whereas Provincial Family and Community Support Services (FCSS) funds are directed to community volunteer agencies through both urban and rural Alberta municipalities of all populations, to carry out preventive social programs; and

Whereas volunteer agencies carry a number of insurance coverage policies, including, directors/officers, vehicle, property, volunteers and participants liability, supplementary health, disability, group life and others; and

Whereas all types of insurance are subject to significant increases in premium costs and furthermore options are more limited as carriers remove products from their lines; and

Whereas volunteer agency budgets, including those funded by FCSS, are significantly impacted by insurance costs and cannot sustain such increases; and

Whereas there is an urgent need for coordinated provincial support to address these increasing costs and lack of available insurance products; and

Whereas the Alberta Urban Municipalities Association supports the Alberta Municipal Insurance Exchange (MUNIX) as a means for subscribing municipalities to control insurance costs; and

Whereas there is a need for the Alberta Urban Municipalities Association support to address issues related to insurance costs and availability to FCSS funded and other volunteer agencies.

Therefore be it resolved that the Alberta Urban Municipalities Association commit to aggressively addressing the issues of insurance costs and availability on a provincial basis to FCSS funded and other community non-profit agencies, through appropriate research and development of collaborative strategies, and

Further be it resolved that the Alberta Urban Municipalities Association initiate discussion with the Province to cooperate with AUMA to implement appropriate strategies to address the issues of insurance.

Background Information

Volunteer community agencies provide critical services for citizens and form an integral part of our communities' social fabric. FCSS has a long history in supporting and funding preventive social programs through volunteer agencies in Alberta. The loss of this sector would have devastating and long lasting effects on the quality of life in communities of all sizes.

With the increasing liability issues faced by agencies, as they take on more significant social and governance roles, volunteer Boards have responded by adding broader insurance coverage to their portfolios. Volunteers increasingly are not willing to take on such liability risks without sufficient insurance coverage.

During the past year, many agencies have requested increases in funding to pay for rising insurance costs. In some cases policy premiums have increased by over 500%. Often such premium increases are accompanied by reduced coverage.

Now, more than ever, insurance companies are no longer providing certain policies because the risks associated with such products are considered too high. When at one time you might have a choice of fifty providers for a certain policy, now only one or two companies will even carry it.

The Alberta Urban Municipalities Association supports the Alberta Municipal Insurance Exchange (MUNIX) as a means for subscribing municipalities to control insurance costs. Perhaps this model can provide the basis for a similar insurance purchase strategy for FCSS funded and other volunteer based agencies.

It is critical that the AUMA collaboratively engage in problem solving with the province to address the issues of insurance premium costs and availability for the volunteer agencies carrying out vital social programs in our communities.

Comments:

We concur with the recommendations of the City Clerk that Council approve the resolutions to be forwarded to the Alberta Urban Municipalities Association.

"B. Hughes"
Deputy Mayor

"N. Van Wyk"
City Manager

Christine Kenzie

From: Char Rausch
Sent: April 07, 2003 10:53 AM
To: Colleen Jensen
Cc: Christine Kenzie
Subject: RE: AUMA Resolutions

Thanks Colleen! Char ...

Charlaine L. Rausch, Assistant
Corporate Planning & Communications

-----Original Message-----

From: Colleen Jensen
Sent: Monday, April 07, 2003 10:38 AM
To: Char Rausch
Subject: RE: AUMA Resolutions

I will be sending the library one down today. The other two will come down from Social Planning sometime this week. These are the only three.

CJ

-----Original Message-----

From: Char Rausch
Sent: April 07, 2003 8:45 AM
To: Colleen Jensen
Cc: Christine Kenzie
Subject: AUMA Resolutions

Good Morning Colleen:

This is just to confirm the resolutions/topics that your area will be submitting to City Clerk's:

- (a) Funding for Libraries
- (b) Insurance - Municipal
- ✓ (c) Child Care.

Have I missed any? Char ...

Charlaine L. Rausch, Assistant
Corporate Planning & Communications

Christine Kenzie

To: Char Rausch
Subject: RE: Regional Partnerships - Draft AUMA Resolution

Backup

Thanks Char.

C. Kenzie

-----Original Message-----

From: Char Rausch
Sent: April 07, 2003 10:56 AM
To: Christine Kenzie
Cc: Norbert Van Wyk
Subject: Regional Partnerships - Draft AUMA Resolution

Good Morning Christine:

*phone call from Char
- Norbert not submitting a
resolution - April 1/03*

The City Manager will be submitting an AUMA resolution directly to you. There will be no need for that one to be considered by SMT. There should be four in total with Colleen Jensen's I believe. Thanks. Char ...

(3)

Charlaine L. Rausch, Assistant
Corporate Planning & Communications

Christine Kenzie

From: Kelly Kloss
Sent: April 04, 2003 9:56 AM
To: Christine Kenzie
Subject: FW: AUMA RESOLUTION - Insurance

Here is an AUMA resolution. Please set up a date for them to be discussed at SMT and maybe send out a reminder to Department Heads about so they know when we will be taking it to SMT. Thanks

Kelly

-----Original Message-----

From: Barbara Jeffrey
Sent: April 03, 2003 6:31 PM
To: Kelly Kloss
Subject: AUMA RESOLUTION - Insurance

Barbara Jeffrey
Social Planning Department
City of Red Deer
(403) 342 8101



2003 AUMA
resolution - Insuran.

The first of two. I am away for two weeks but Linda Carritt is finishing the changes and running it by Colleen next week. It is on day care. You will really like it!

Christine Kenzie

From: Char Rausch
Sent: March 31, 2003 10:26 AM
To: Christine Kenzie
Cc: Bryon Jeffers; Char Rausch; Colleen Jensen; Gail Surkan; Grant Howell; Norbert Van Wyk; Rod Burkard
Subject: RE: 2002 Status of AUMA Convention Resolutions

Hi Christine:

At SMT last week we discussed the following draft resolutions:

- ✓ 1. Insurance Policies and Premiums;
- ✓ 2. Funding for Libraries.

Colleen Jensen will now be submitting the resolutions to your office. Still to come, "Regional Partnerships" from the City Manager and Director of Development Services. This one will go to SMT first and then be forwarded on to your office. Thanks. Char ...

Charlaine L. Rausch, Assistant
Corporate Planning & Communications

-----Original Message-----

From: Christine Kenzie
Sent: Monday, March 31, 2003 8:21 AM
To: Senior Management Team; Department Heads; 'Bev Hughes'; 'Dennis Moffat'; 'Diana Rowe'; 'Jeffrey Dawson'; 'Larry Pimm'; 'Lorna Watkinson-Zimmer'; 'Morris Flewwelling'; 'Vesna Higham'
Subject: 2002 Status of AUMA Convention Resolutions

For your information, the Government's responses to the 2002 AUMA Convention policies and resolutions as well as AUMA's follow-up comments can be found on AUMA's web site at www.munilink.net.

Christine Kenzie
City Clerk's
342.8201

Christine Kenzie

To: Councillors; Directors; Department Heads; Paul Meyette; Don Simpson
Subject: Request for Resolutions for 2003 AUMA Annual Convention

A reminder: If you have not already forwarded AUMA resolutions to the City Clerk's office - the deadline for submissions is **APRIL 11, 2003**. The resolutions are to be reviewed by SMT prior to going to Council for approval. The deadline for The City's submission to AUMA is May 31, 2003.

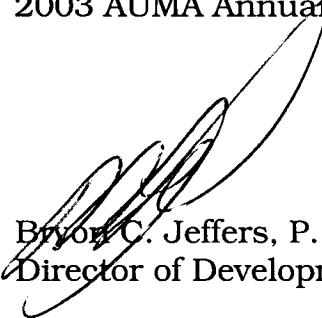
Thanks.

Christine Kenzie
City Clerk's
342.8201

Development Services

Date: March 3, 2003
To: City Clerk
From: Director of Development Services
Re: 2003 AUMA Convention Resolutions

The Engineering Services Manager and I have no resolutions to submit for the 2003 AUMA Annual Convention.



Bryon C. Jeffers, P. Eng.
Director of Development Services

/emr

c. Engineering Services Manager

AUMA Resolution Red Deer City Council

WHEREAS the provincial government has moved in the strategic direction of public libraries being technologically involved in online borrowing, inter-library loans, sharing resources and public access to internet, and

WHEREAS public libraries should all be key participants in the Alberta SuperNet project, along with hospitals and schools whose connectivity is being funded by their respective government departments, and

WHEREAS the Government of Alberta has invested a significant amount of project funding to build the Alberta Public Library Electronic Network, and

WHEREAS public libraries are an important window to the world of online information for all Albertans and are a cost-effective vehicle to provide citizens with online information from all levels of government, and

WHEREAS the provincial per capita amount to support ongoing library operations, including access and extensive use of technology, was cut in 1993 and has been frozen since,

THEREFORE BE IT RESOLVED that the Alberta Urban Municipalities Association requests that the Government of Alberta support Alberta Community Development's Funding Request to provide additional ongoing funding, specifically to assist libraries in addressing operational costs related to the implementation of SuperNet, inter-library loans, computer borrowing and other technologically related service,

AND FURTHER BE IT RESOLVED that the Alberta Urban Municipalities Association requests that the current funding for public libraries of \$4.29 per capita be increased by not less than a further \$3.00 per capita; thus, ensuring the support and sustainability necessary for electronic access for all Albertans.

Background

Over the past several years, the provincial government has been committed to moving in the direction of electronic access to information for all Albertans. Public libraries have been one of the primary tools that that Province has identified in meeting their goals. Public libraries across Alberta now have the ability for patrons to participate in online borrowing, inter-library loans (done from your own homes), and access to computer terminals at the libraries for Internet users. The result of this technological approach to service, through direction from the Province, has been very successful for library users; however, the impact on the libraries is significant. The increase in inter-library loans takes up a significant amount of staff time, particularly in small public libraries, with the processing of books to send to other libraries and the receiving of books from other libraries. In addition, staff time is also spent assisting library users to access the Internet,

and in supervising youth who are using the Internet. This staff time was previously spent in attending to operations at the local library. The result is that staff cannot manage to program and address general operations along with the demands generated by the new technology and electronic access.

In addition, there are significant costs to libraries in ensuring adequate computer terminals, maintaining computer upgrades and in ensuring staff are trained to use the technology and are, thus, able to assist library users. Connectivity to SuperNet is also cost prohibitive to the majority of libraries in Alberta. In small libraries in particular, the projected costs of connecting to SuperNet cannot be afforded within their small budgets, where municipalities and fundraising provide the majority of the revenue. While Alberta Learning and Alberta Health and Wellness will pay for schools and hospitals to connect to SuperNet, Alberta Community Development is not paying for libraries to connect.

The Alberta Community Development Funding Request is attached for information.

DRAFT

AUMA RESOLUTION

Insurance Policies & Premiums

Docs # 266612

Whereas Provincial Family and Community Support Services are directed to community volunteer agencies through both urban and rural municipalities of all populations, to carry out preventive social services;

Whereas volunteer agencies carry a number of insurance coverage policies, including, directors/officers, vehicle, property, volunteers and participants liability, supplementary health, disability, group life and others; and

Whereas all types of insurance are subject to significant increases in premium costs and furthermore options are more limited as carriers remove products from their lines; and

Whereas volunteer agency budgets, including those funded by FCSS, are significantly impacted by insurance costs and cannot sustain such increases; and

Whereas there is an urgent need for coordinated provincial support to address these increasing costs and lack of available insurance products; and

Whereas the Alberta Urban Municipalities Association supports the Alberta Municipal Insurance Exchange (MUNIX) as a means for subscribing municipalities to control insurance costs; and

Whereas there is a need for the Alberta Urban Municipalities Association support to address issues related to insurance costs and availability to FCSS funded and other volunteer agencies.

Therefore be it resolved that the Alberta Urban Municipalities Association commit to aggressively addressing the issues of insurance costs and availability on a provincial basis to FCSS funded and other community non-profit agencies, through appropriate research and development of collaborative strategies, and

Further be it resolved that the Alberta Urban Municipalities Association initiate discussion with the Province to cooperate with AUMA to implement appropriate strategies to address the issues of insurance.

DRAFT

Background Information

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With the increasing liability issues faced by agencies, as they take on more significant social and governance roles, volunteer Boards have responded by adding broader insurance coverage to their portfolios. Volunteers increasingly are not willing to take on such liability risks without sufficient insurance coverage.

During the past year, many agencies have requested increases in funding to pay for rising insurance costs. In some cases policy premiums have increased by over 500%. Often such premium increases are accompanied by reduced coverage.

Now, more than ever, insurance companies are no longer providing certain policies because the risks associated with such products are considered too high. When at one time you might have a choice of fifty providers for a certain policy, now only one or two companies will even carry it.

The Alberta Urban Municipalities Association supports the Alberta Municipal Insurance Exchange (MUNIX) as a means for subscribing municipalities to control insurance costs. Perhaps this model can provide the basis for a similar insurance purchase strategy for FCSS funded and other volunteer based agencies.

It is critical that the AUMA collaboratively engage in problem solving with the province to address the issues of insurance premium costs and availability for the volunteer agencies carrying out vital social programs in our communities.

DRAFT

AUMA RESOLUTION

Child Care

Whereas most Albertans recognize parents as the preferred child care provider, economic reality is that most parents need to work outside the home to be financially viable. This reliance on outside childcare is likely to continue, given the following increased pressures on the Alberta family:

- An increasing number of single parents;
- Minimum wage that has not kept up with the rising cost of living, requiring parents to work outside the home, often at more than one employment position;
- A competitive workplace requiring shift work, more overtime hours, and the need for adult education to remain competitive;
- The increasing cost associated with the need to commute from rural communities to the larger municipalities for higher paying jobs or to attend school;

Whereas responsibility for child care lies within federal and provincial government; and,

Whereas municipal governments deal with the social impacts from economic policies to ensure the social well being and overall quality of life for its' citizens in the community.

Therefore be it resolved that the Alberta Urban Municipalities Association urge the Government of Alberta to commit to the following three recommendations:

- That the operating allowance that was abandoned in 1999 be re-instated, and maintained for all licensed child care centers, as a necessary sustainability measure. This may also attract more interest in the business of operating a child care center, thereby providing adequate spaces.
- That the maximum income ceiling for child care subsidies be increased to reflect the current cost of living and further more, that the subsidy tables keep pace with inflation on an ongoing basis.
- That a higher maximum subsidy rate be provided to Alberta parents that fit the current eligibility criteria.

Certified to be a true and correct copy of a Resolution passed by Council of the City of Red Deer on.

Kelly Kloss
City Clerk

DRAFT

AUMA RESOLUTION

Child Care

Background Information

All across Alberta, childcare spaces, funding and staffing is reaching critical levels. In Alberta regulated spaces (in approved family day homes or licensed daycares) have been on a steady decline since 1989, despite our population of children aged 0-12 continuing to increase. Alberta went from 81,855 licensed spaces in September 1989 to just 25,793 in March 2003. In 2001 there were regulated spaces available for only 9.1% of the population of children aged 0 –12 in Alberta.

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	@ Minimum Wage of \$5.90/hour	@ Wage of \$11.00/hour	@ Wage of 14.40/hour (average for female Albertans in 1996)
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We can only assume those parents that cannot afford regulated spaces are accessing private care arrangements that may or may not be of high quality, and that may or may not meet the early development needs of their children.

The Alberta government reduced its overall support (in subsidies and operating allowance) for childcare in Alberta by \$9.1 Million between 1989 and 2001. While the recent announced investment to child care of \$5.6 million over the next three years is appreciated, it may not be enough to keep our child care centers from closing, to maintain dedicated staff and interest in the profession, nor may it be enough to keep children from being at risk when parents don't have adequate childcare choices.

Regardless of one's philosophical beliefs around parents at work and the reliance on resources outside of the family for childcare, what really matters is the future of our children. Given current reality, and the ever-increasing demands on families, we need to support quality, affordable childcare options as an essential part of taking care of our future citizens. As Minister Iris Evans stated in a news release December 16, 2002: "Alberta's children deserve to be cherished and cared for in quality child care settings that contribute to their social and personal development."

DRAFT

Sources:

City of Red Deer Community Profile and Demographic Analysis: Part One, June 2000

Early childhood education and care in Canada: Provinces and Territories 1998, Childcare Resource and Research Unit 2000.

Early childhood education and care in Canada 2001, Childcare Resource and Research Unit, December 2002.

Handicapped Housing Society of Alberta, Dec/02 Statistics

Statistics Canada, 1996 and 2001

Status of Child Care in Red Deer Report, March 2003

Ministry of Children's Services, Child Care Resources, 2003



CITY CLERK'S DEPARTMENT

FILE

April 23, 2003

Mr. James Robertson
Alberta Urban Municipalities Association
8712 - 105 Street
Edmonton, AB T6E 5V9

Dear Mr. Robertson:

Re: Resolutions for 2003 AUMA Annual Convention:
Child Care
Funding for Libraries
Insurance Policies & Premiums

Enclosed are certified true copies of Resolutions passed by Council of the City of Red Deer along with supporting background material for submission to the 2003 AUMA Annual Convention.

Sincerely,

Nona Housenga
Deputy City Clerk

/chk
attach.

c Colleen Jensen, Community Services Director
Barbara Jeffrey, Social Planning Manager

AUMA RESOLUTION

Child Care

Whereas many Albertans recognize parents as the preferred child care provider, economic reality is that most parents need to work outside the home to be financially viable. This reliance on outside child care is likely to continue, given the following increased pressures on the Alberta family:

- An increasing number of single parents;
- Minimum wage that has not kept up with the rising cost of living, requiring parents to work outside the home, often at more than one employment position;
- A competitive workplace requiring shift work, more overtime hours, and the need for adult education to remain competitive;
- The increasing cost associated with the need to commute from rural communities to the larger municipalities for higher paying jobs or to attend school;

Whereas childcare is a responsibility of the federal and provincial governments; and,


Whereas decisions made with regard to operating allowances and subsidy rates that determine the affordability of licensed childcare impact the quality of life for Alberta families; and,

Whereas economic support to childcare from the Province of Alberta is still below 1989 levels despite recent announcements from Alberta Children's Services; and,

Whereas Alberta villages, towns and cities have a responsibility to their citizens to provide a high quality of life and often witness first hand the impacts of economic policies established by other orders of government,

Therefore be it resolved that the Alberta Urban Municipalities Association urge the Government of Canada and the Province of Alberta to increase their funding commitments to quality childcare through the re-instatement of operating allowances to stabilize licensed childcare operations and support to childcare subsidies to make licensed childcare more affordable to more Alberta families.

Certified to be a true and correct copy of a Resolution passed by Council of the City of Red Deer on April 22, 2003.



Nona Housenga
Deputy City Clerk

AUMA RESOLUTION

Child Care

Background Information

Across Alberta, childcare spaces, funding and staffing are reaching critical levels. Regulated spaces in Alberta (approved family day homes or licensed daycares) have been on a steady decline since 1989, despite our population of children aged 0-12 continuing to increase. In many Alberta communities, licensed childcare is extremely limited and in some cases non-existent. Alberta went from 81,855 licensed spaces in September 1989 to just 25,793 in March 2003. In 2001 there were regulated spaces available for only 9.1% of the population of children aged 0 –12 in Alberta.

The following example illustrates the harsh economic reality for about 19.9% of Alberta households with children, those headed by a single parent. In this Red Deer example, the single parent is female, working 37.5 hours/week, and caring for one infant and one toddler:

	@ Minimum Wage of \$5.90/hour	@ Wage of \$11.00/hour	@ Wage of 14.40/hour (average for female Albertans in 1996)
Net Monthly Income (after mandatory deductions)	\$867.00	\$1464.90	\$1837.02
Average Monthly Child Care Fees in Alberta	\$1148.00	\$1148.00	\$1148.00
Maximum Provincial Subsidy per Month	\$600.00	Nil	Nil
Average Monthly Rent for a 2 bedroom apartment	\$691.00	\$691.00	\$691.00
Amount Leftover for All Other Living Expenses (utilities, food, transportation, medical care, etc.)	<\$372.00>	<\$374.10>	<\$1.98>

We can only assume those parents that cannot afford regulated spaces are accessing private care arrangements that may or may not be of high quality, and that may or may not meet the early development needs of their children.

The Alberta government reduced its overall support (in subsidies and operating allowance) for childcare in Alberta by \$9.1 Million between 1989 and 2001. While the recent announced investment to child care of \$5.6 million over the next three years is appreciated, it is not enough to keep our child care centers from closing, to maintain dedicated staff and interest in the profession, nor is it enough to keep children from being at risk when parents don't have adequate childcare choices.

As Minister Iris Evans stated in a news release December 16, 2002: "Alberta's children deserve to be cherished and cared for in quality child care settings that contribute to their social and personal development." The positive social and economic impacts of an appropriately funded childcare system in Alberta will reflect equally on both large and small urban municipalities.

Sources:

City of Red Deer Community Profile and Demographic Analysis: Part One, June 2000

Early childhood education and care in Canada: Provinces and Territories 1998, Childcare Resource and Research Unit 2000.

Early childhood education and care in Canada 2001, Childcare Resource and Research Unit, December 2002.

Handicapped Housing Society of Alberta, Dec/02 Statistics

Statistics Canada, 1996 and 2001

Status of Child Care in Red Deer Report, March 2003

Ministry of Children's Services, Child Care Resources, 2003

AUMA RESOLUTION

Funding for Libraries

Whereas the provincial government has moved in the strategic direction of public libraries being technologically involved in online borrowing, inter-library loans, sharing resources and public access to internet, and

Whereas public libraries should all be key participants in the Alberta SuperNet project, along with hospitals and schools whose connectivity is being funded by their respective government departments, and

Whereas the Government of Alberta has invested a significant amount of project funding to build the Alberta Public Library Electronic Network, and


Whereas public libraries are an important window to the world of online information for all Albertans and are a cost-effective vehicle to provide citizens with online information from all levels of government, and

Whereas the provincial per capita amount to support ongoing library operations, including access and extensive use of technology was cut in 1993 and has not kept pace with inflation,

Therefore Be It Resolved that the Alberta Urban Municipalities Association requests that the Government of Alberta support Alberta Community Development's Funding Request to provide additional ongoing funding, specifically to assist libraries in addressing operational costs related to the implementation of SuperNet, inter-library loans, computer borrowing and other technologically related service,

And Further Be It Resolved that the Alberta Urban Municipalities Association requests that the current funding for public libraries of \$4.29 per capita be increased by not less than a further \$3.00 per capita; thus, ensuring the support and sustainability necessary for electronic access for all Albertans.

Certified to be a true and correct copy of a Resolution passed by Council of the City of Red Deer on April 23, 2003.



Nona Houseriga
Deputy City Clerk

AUMA RESOLUTION

Funding for Libraries

Background

Over the past several years, the provincial government has been committed to moving in the direction of electronic access to information for all Albertans. Public libraries have been one of the primary tools that that Province has identified in meeting their goals. Public libraries across Alberta now have the ability for patrons to participate in online borrowing, inter-library loans (done from your own homes), and access to computer terminals at the libraries for Internet users. The result of this technological approach to service, through direction from the Province, has been very successful for library users; however, the impact on the libraries is significant. The increase in inter-library loans takes up a significant amount of staff time, particularly in small public libraries, with the processing of books to send to other libraries and the receiving of books from other libraries. In addition, staff time is also spent assisting library users to access the Internet, and in supervising youth who are using the Internet. This staff time was previously spent in attending to operations at the local library. The result is that staff cannot manage to program and address general operations along with the demands generated by the new technology and electronic access.

In addition, there are significant costs to libraries in ensuring adequate computer terminals, maintaining computer upgrades and in ensuring staff are trained to use the technology and are, thus, able to assist library users. Connectivity to SuperNet is also cost prohibitive to the majority of libraries in Alberta. In small libraries in particular, the projected costs of connecting to SuperNet cannot be afforded within their small budgets, where municipalities and fundraising provide the majority of the revenue. While Alberta Learning and Alberta Health and Wellness will pay for schools and hospitals to connect to SuperNet, Alberta Community Development is not paying for libraries to connect.

The Alberta Community Development Funding Request is attached for information.

LIBRARY FUNDING REQUEST

Libraries are community based, supported and highly trusted by Albertans.

Libraries have been creative in developing new and better service options for Albertans to access information required for their learning, their businesses and their leisure. They are looking for solutions that impact ALL ALBERTANS, regardless of age, economic or social circumstances. Libraries support a wide range of government priorities including health information, curriculum support, lifelong learning, business and career development, children's and adult literacy, rural development, tourism, Service Alberta and the SuperNet. They have a track record of leveraging funds to create innovative solutions to problems.

Libraries need:

An increase in operating grants

- The per capita rate for grants to libraries was cut in 1993 and has been frozen since.
- Libraries in small centres are seeing a decrease in their operating grants.
- Population loss in rural centres is affecting provincial and local grant funding.
- Libraries have stretched their dollars as far as possible; worked harder and smarter to create incredible efficiencies, all while costs for core services and operations have risen steadily.
- An increase in the operating grants is needed to accommodate inflation since 1993, networked services and the increasing demands of library users.

Ongoing operating costs of the SuperNet

- The library community applauds the Government of Alberta's commitment to the SuperNet.
- Connection costs for the SuperNet are beyond the capacity of most smaller libraries.
- The opportunities created by this initiative will not be realized without the full participation of all libraries.

Access to electronic information resources – The Alberta Virtual Library

- All Albertans need access to quality information to succeed.
- A searchable electronic collection of *credible, reliable* information, including full-text references, magazines, newspapers, encyclopedias and more, will ensure that Albertans have access to the information they need anywhere, anytime.

Replacement of integrated library software and computer equipment.

- Libraries must keep up with current technology to serve their users and participate in province-wide networking initiatives.
- Out of date systems no longer meet expectations for fast, user-friendly access to the information owned by the library as well as links to external resources.
- A library's catalogue and borrowing software is the very core of its ability to function.
- Replacement of this hardware and software requires an enormous investment beyond the capability of most libraries' funding.

These initiatives have the support of local library and library system boards, municipalities, including the Alberta Urban Municipalities Association, provincial organizations, and academic and higher learning institutions. A majority of MLAs has expressed support to their constituents.

AUMA RESOLUTION

Insurance Policies & Premiums

Whereas Provincial Family and Community Support Services (FCSS) funds are directed to community volunteer agencies through both urban and rural Alberta municipalities of all populations, to carry out preventive social programs; and

Whereas volunteer agencies carry a number of insurance coverage policies, including, directors/officers, vehicle, property, volunteers and participants liability, supplementary health, disability, group life and others; and

Whereas all types of insurance are subject to significant increases in premium costs and furthermore options are more limited as carriers remove products from their lines; and

Whereas volunteer agency budgets, including those funded by FCSS, are significantly impacted by insurance costs and cannot sustain such increases; and

Whereas there is an urgent need for coordinated provincial support to address these increasing costs and lack of available insurance products; and

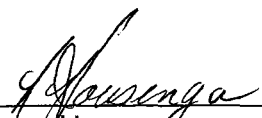
Whereas the Alberta Urban Municipalities Association supports the Alberta Municipal Insurance Exchange (MUNIX) as a means for subscribing municipalities to control insurance costs; and

Whereas there is a need for the Alberta Urban Municipalities Association support to address issues related to insurance costs and availability to FCSS funded and other volunteer agencies.

Therefore be it resolved that the Alberta Urban Municipalities Association commit to aggressively addressing the issues of insurance costs and availability on a provincial basis to FCSS funded and other community non-profit agencies, through appropriate research and development of collaborative strategies, and

Further be it resolved that the Alberta Urban Municipalities Association initiate discussion with the Province to cooperate with AUMA to implement appropriate strategies to address the issues of insurance.

Certified to be a true and correct copy of a Resolution passed by Council of the City of Red Deer on April 23, 2003.



Nona Housenga
Deputy City Clerk

AUMA RESOLUTION

Insurance Policies & Premiums

Background Information

Volunteer community agencies provide critical services for citizens and form an integral part of our communities' social fabric. FCSS has a long history in supporting and funding preventive social programs through volunteer agencies in Alberta. The loss of this sector would have devastating and long lasting effects on the quality of life in communities of all sizes.

With the increasing liability issues faced by agencies, as they take on more significant social and governance roles, volunteer Boards have responded by adding broader insurance coverage to their portfolios. Volunteers increasingly are not willing to take on such liability risks without sufficient insurance coverage.

During the past year, many agencies have requested increases in funding to pay for rising insurance costs. In some cases policy premiums have increased by over 500%. Often such premium increases are accompanied by reduced coverage.

Now, more than ever, insurance companies are no longer providing certain policies because the risks associated with such products are considered too high. When at one time you might have a choice of fifty providers for a certain policy, now only one or two companies will even carry it.

The Alberta Urban Municipalities Association supports the Alberta Municipal Insurance Exchange (MUNIX) as a means for subscribing municipalities to control insurance costs. Perhaps this model can provide the basis for a similar insurance purchase strategy for FCSS funded and other volunteer based agencies.

It is critical that the AUMA collaboratively engage in problem solving with the province to address the issues of insurance premium costs and availability for the volunteer agencies carrying out vital social programs in our communities.



Council Decision – April 22, 2003

City Clerk's Department

DATE: April 23, 2003
TO: Barbara Jeffrey, Social Planning Manager
FROM: Nona Housenga, Deputy City Clerk
SUBJECT: Resolutions for the 2003 AUMA Annual Convention

Reference Report:
City Clerk, dated April 14, 2003

Resolutions:

Child Care

Whereas many Albertans recognize parents as the preferred child care provider, economic reality is that most parents need to work outside the home to be financially viable. This reliance on outside child care is likely to continue, given the following increased pressures on the Alberta family:

- An increasing number of single parents;
- Minimum wage that has not kept up with the rising cost of living, requiring parents to work outside the home, often at more than one employment position;
- A competitive workplace requiring shift work, more overtime hours, and the need for adult education to remain competitive;
- The increasing cost associated with the need to commute from rural communities to the larger municipalities for higher paying jobs or to attend school;

Whereas childcare is a responsibility of the federal and provincial governments; and,

Whereas decisions made with regard to operating allowances and subsidy rates that determine the affordability of licensed childcare impact the quality of life for Alberta families; and,

Whereas economic support to childcare from the Province of Alberta is still below 1989 levels despite recent announcements from Alberta Children's Services; and,

Whereas Alberta villages, towns and cities have a responsibility to their citizens to provide a high quality of life and often witness first hand the impacts of economic policies established by other orders of government,

Therefore be it resolved that the Alberta Urban Municipalities Association urge the Government of Canada and the Province of Alberta to increase their funding commitments to quality childcare through the re-instatement of operating allowances to stabilize licensed childcare operations and support to childcare subsidies to make licensed childcare more affordable to more Alberta families.

Funding for Libraries

Whereas the provincial government has moved in the strategic direction of public libraries being technologically involved in online borrowing, inter-library loans, sharing resources and public access to internet, and

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Whereas volunteer agencies carry a number of insurance coverage policies, including, directors/officers, vehicle, property, volunteers and participants liability, supplementary health, disability, group life and others; and

Whereas all types of insurance are subject to significant increases in premium costs and furthermore options are more limited as carriers remove products from their lines; and

Whereas volunteer agency budgets, including those funded by FCSS, are significantly impacted by insurance costs and cannot sustain such increases; and

Whereas there is an urgent need for coordinated provincial support to address these increasing costs and lack of available insurance products; and

Whereas the Alberta Urban Municipalities Association supports the Alberta Municipal Insurance Exchange (MUNIX) as a means for subscribing municipalities to control insurance costs; and

Whereas there is a need for the Alberta Urban Municipalities Association support to address issues related to insurance costs and availability to FCSS funded and other volunteer agencies.

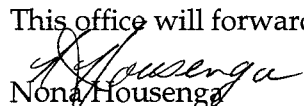
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Further be it resolved that the Alberta Urban Municipalities Association initiate discussion with the Province to cooperate with AUMA to implement appropriate strategies to address the issues of insurance.

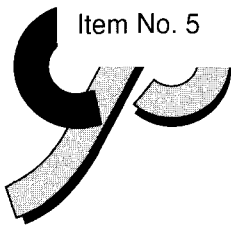
Report Back to Council: No

Comments / Further Action

This office will forward the resolutions approved by Council to the AUMA.


Nona Housenga
Deputy City Clerk
/chk

c Community Services Director



TO: Kelly Kloss, City Clerk

FROM: Nancy Hackett, Parkland Community Planning Services

DATE: April 14, 2003

RE: **Land Use Bylaw Amendment 3156/R-2003**
Addition of Historic Significance Properties

Parkland Community Planning Services has been approached by the Heritage Preservation Committee to draft an amendment to the City's Land Use Bylaw to add four properties to the Historic Significance District. The following report explains the role of the Heritage Preservation Committee, explains the Historic Significance District, details the four properties proposed to be added to the district, and explains the changes required to this district within the City's Land Use Bylaw.

Background

The Heritage Preservation Committee is made up of volunteers from Red Deer and area and operates as a sub-committee of the Normandeau Cultural and Natural History Society. The mandate of the Heritage Preservation Committee is the preservation and maintenance of human and natural heritage features in and around Red Deer for the ongoing enjoyment and education of the public. The Committee's role includes establishing criteria for evaluating heritage properties, listing properties that are of significance, developing public awareness of heritage resources, and advising both the Red Deer County Council and the City of Red Deer Council on matters related to cultural or natural heritage sites.

Heritage Inventory

In 1999-2000, the Committee prepared an inventory of historically and culturally significant buildings and sites in the City of Red Deer. The goal was to draw attention to important properties in the City and educate residents about the truly unique and wonderful built and natural history of this City. The inventory recognizes buildings, sites, or features that are of historic or cultural significance due to:

- distinct architectural styling
- representative of a time period
- commemorative of a historic event, person, or group
- unique or rare
- seen as a Red Deer landmark
- archaeological significance.

Historic Significance District

Once the inventory was prepared, it went on to form the basis for the City's Historic Significance district which works as an overlay designation found in Section 221 of the City's Land Use Bylaw. This district highlights the value of heritage assets and encourages the preservation of potentially historical or culturally significant buildings, sites, and resources within the City of Red Deer. The Historic Significance district was adopted into the Land Use Bylaw by City Council in January 2000. As with any portion of the Land Use Bylaw, a change requires City Council approval and a public hearing.

The main benefit to property owners of inclusion in the district is that the bylaw supports the historical integrity of identified properties by offering, at the request of the owner, advice, and consultation by heritage experts whenever possible, on matters dealing with restoration, renovation, or development. The bylaw also offers some, albeit limited, protection to identified resources from demolition or site disturbance. The bylaw will delay the demolition of historical buildings or the disturbance of natural sites on the inventory for up to 45 days. The 45 day review period is intended to allow the Heritage Preservation Committee an opportunity to explore alternatives to demolition or destruction. Potential alternatives may include moving the structure or identifying funding sources available for restoration. In cases where the building is deemed not a suitable candidate for preservation or where there is an emergency or safety concern, the Heritage Preservation Committee may waive or reduce the 45 day review period. Once the 45 days expire or have been waived by the Committee, the bylaw will no longer prevent demolition or site disturbance. There are currently 90 sites listed within the district. These sites range from cultural facilities to notable homes, to significant commercial and industrial buildings, to natural features and landmarks.

It is important to note that Red Deer is among only a handful of municipalities in Alberta who are progressively and actively seeking to recognize important local heritage sites. In addition to Red Deer, only Banff, Calgary, Edmonton, and Cochrane have inventories of municipally significant heritage sites for their communities and each offers various forms of protection and/or support for their preservation. The Heritage Preservation Committee and Parkland Community Planning Services are very proud of Red Deer's existing historical significance bylaw designation.

Properties Proposed to be Added

There are four properties currently being proposed by the Heritage Preservation Committee for addition to the bylaw. These are the:

- Golden Circle Building at 4620 – 47 Avenue as a unique community and cultural building,
- The Fabretti House at 5001 – 43 Avenue due to its distinct architectural styling,

- The Park Hotel (Park Place) at 4919-4920 Ross Street to recognize its significance as a historic hotel in Red Deer's past,
- The Farthing Block at 4930 Ross Street representing a downtown 1930's commercial building.

All of the building owners have been contacted by the Heritage Preservation Committee and are in support of being added to the Historical Significance District. Both the Park Hotel (Park Place) building and the Farthing Block were recently rehabilitated to their historical appearance under Red Deer's Main Street Project.

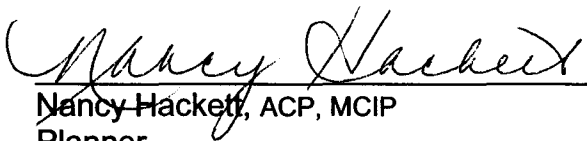
Changes to the Bylaw

In order to add the four sites as detailed above, Section 221 of the Land Use Bylaw would need to be amended to include these properties in the list of designated sites. A draft Land Use Bylaw amendment is attached for Council's consideration. Mapping in the Land Use Bylaw would also need to be updated as attached.

Recommendation

Based on the historical significance of the four properties, the fact that the owners are supportive of the designation, and in light of the importance to the broader Red Deer community of preserving local heritage, Parkland Community Planning Services recommends that City Council add the four noted properties to the Historic Significance District of the Land Use Bylaw to recognize their unique heritage attributes and their importance to the community of Red Deer.

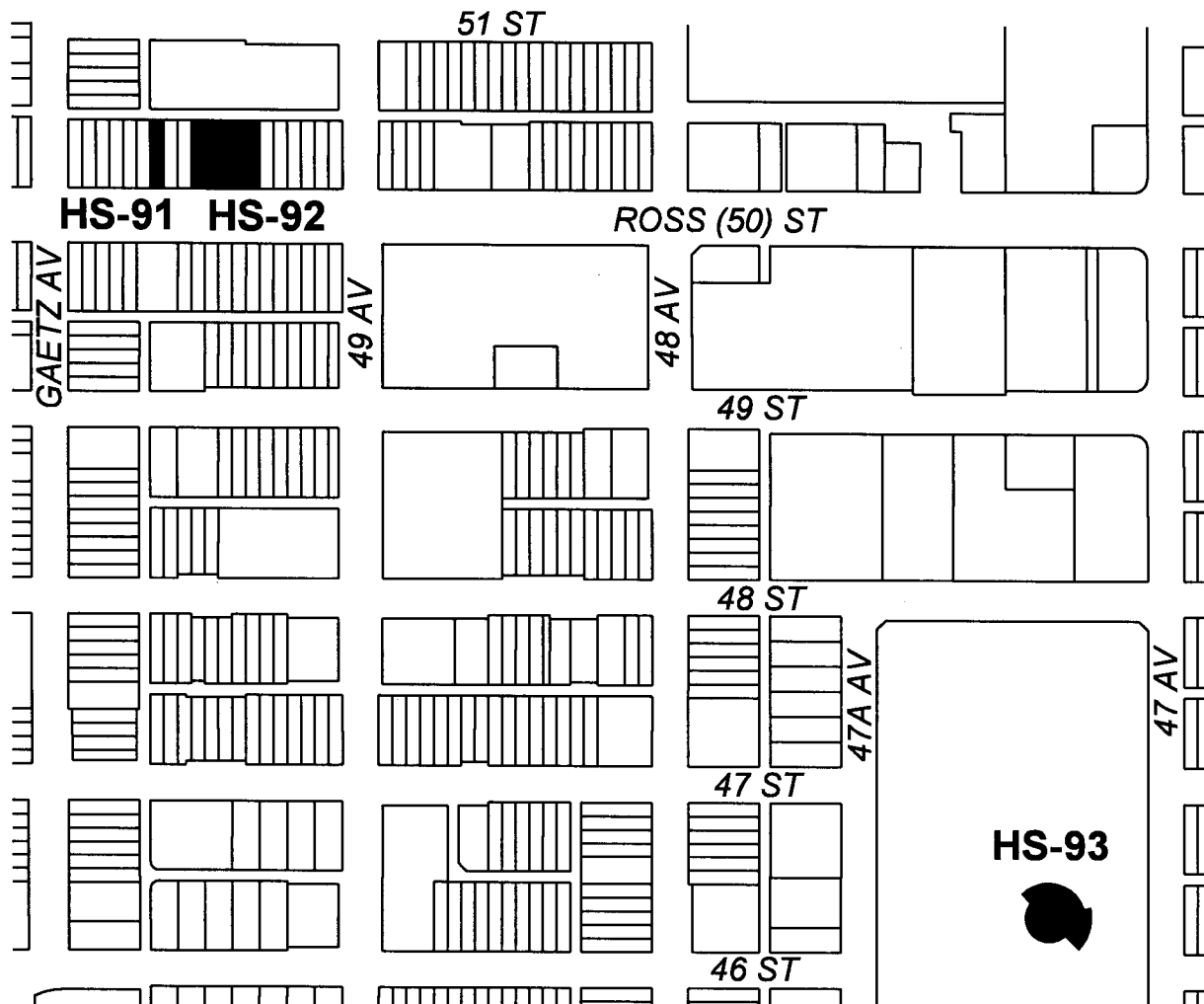
Respectfully Submitted,



Nancy Hackett, ACP, MCIP
Planner

attachments

The City of Red Deer *PROPOSED LAND USE BYLAW AMENDMENT*



AFFECTED DISTRICTS:

HS - HISTORICAL SIGNIFICANT DISTRICT

Addition to Historical Significant Resources :

HS - 91 Farthing Block

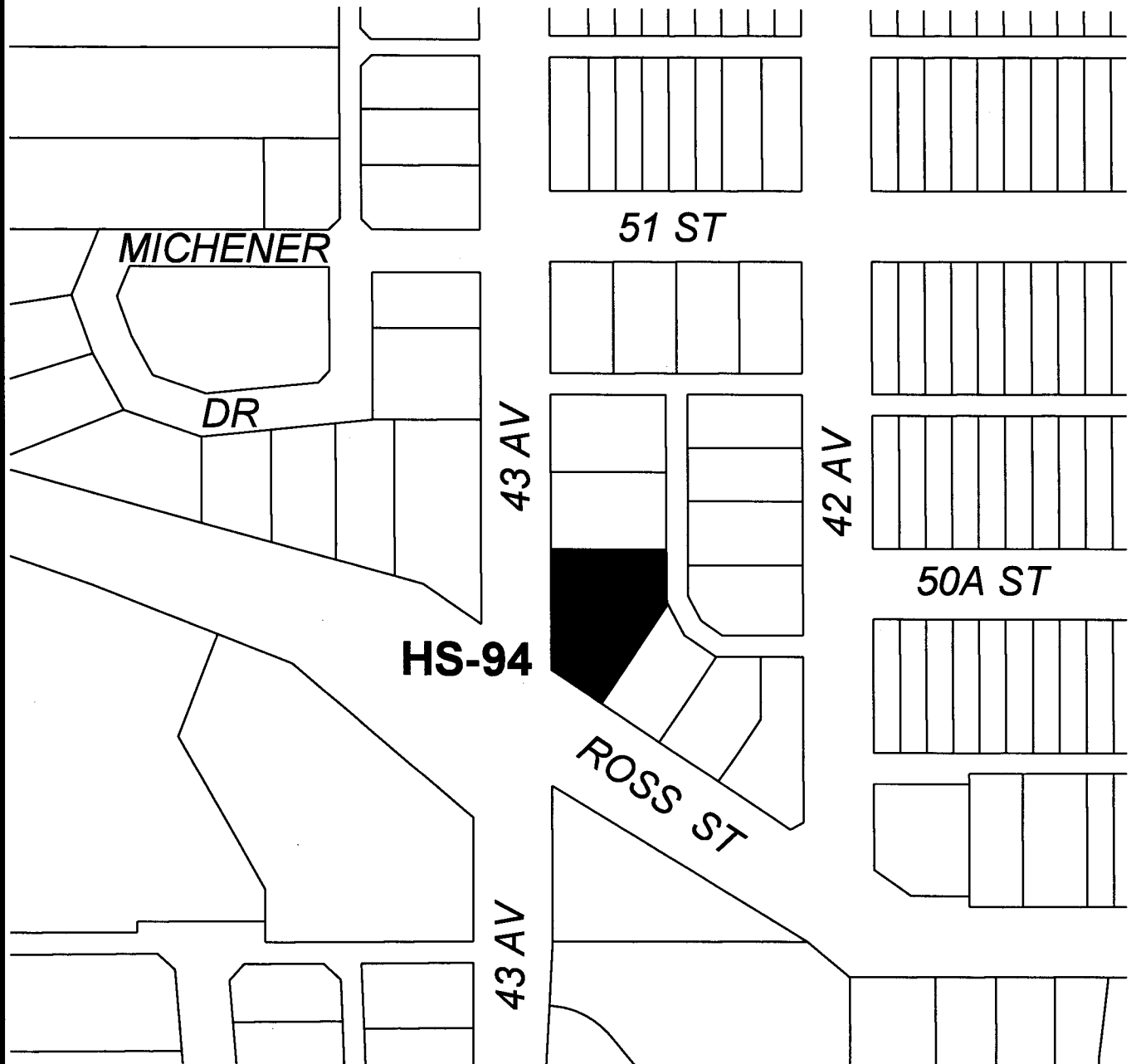
HS - 92 Park Hotel (Park Place)

HS - 93 Golden Circle

MAP No. 15 / 2003
BYLAW No. 3156 / R - 2003

The City of Red Deer

PROPOSED LAND USE BYLAW AMENDMENT



AFFECTED DISTRICTS:

HS - HISTORICAL SIGNIFICANT DISTRICT

Addition to Historical Significant Resources :

HS - 94 Fabretti Residence

MAP No. 16 / 2003
BYLAW No. 3156 / R - 2003

Comments:

We concur with the recommendations of Parkland Community Planning Services that Council proceed with First Reading of the Bylaw Amendment. A Public Hearing would be held on Tuesday, May 20, 2003 at 7:00 p.m. in Council Chambers during Council's regular meeting.

"B. Hughes"
Deputy Mayor

"N. Van Wyk"
City Manager

Community Services

DATE: March 17, 2003

TO: Kelly Kloss, City Clerk

FROM: Colleen Jensen, Community Services Director
Barbara Jeffrey, Social Planning Manager

SUBJECT: Designation of Historically Significant Buildings – Golden Circle

We have been asked to submit comments on the possible designation of the Golden Circle as an historically significant building.

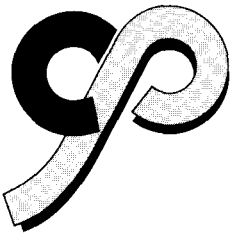
We certainly agree that the building is unique and a landmark in the community. Many people identify Rotary Recreation Park by the presence of the Golden Circle. We think that the public, and especially the seniors who have had involvement with the centre, would be supportive of the historical designation.

We realize that the bylaw on historic designation does not affect any renovation plans for the buildings it serves to protect. We did want to comment on the fact that successive boards and staff have found the Golden Circle a difficult space to fully utilize. The position of the offices, the building's round form and special roof structure, and the fact that the large room cannot be subdivided for smaller groups are some factors that have been mentioned. The roof, itself, has needed several emergency repairs in the past two years. If there were to be renovations, could those issues be addressed without affecting one of the reasons why the Golden Circle has been selected for historic preservation?

A review of Rotary Recreation Park is slated to begin this spring, and will include representatives of the Golden Circle board and staff. We would want the committee to be able to address the space issues in the park with as clear a slate as possible. On the other hand, historic designation now would ensure that the issue of its significance in its present form is considered before any demolition or site disturbance would ever be undertaken.


Colleen Jensen
Barbara Jeffrey

:dmg



**PARKLAND
COMMUNITY
PLANNING
SERVICES**

Suite 404, 4808 Ross Street
Red Deer, Alberta T4N 1X5
Phone: (403) 343-3394
FAX: (403) 346-1570
e-mail: pcps@pcps.ab.ca

Kelly Kloss, City Clerk
The City of Red Deer
P.O. Box 5008
Red Deer, AB T4N 3T4

February 18, 2003

Re: 4620 – 47 Avenue, the Golden Circle, Lot 1, Block C, Plan 842 2029

Parkland Community Planning Services is in support of the designation of the Golden Circle building, as well as the three other buildings suggested, as historically significant buildings under Section 221 of the Land Use Bylaw.

Once the Heritage Preservation Committee has completed their report and recommendations to Council on this matter, Parkland Community Planning Services will be pleased to draft the necessary bylaw amendment for consideration of first reading.

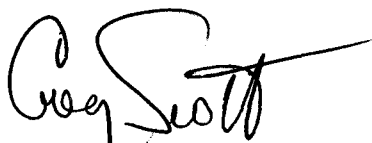
Sincerely,

Nancy Hackett, ACP, MCIP
Planner

MEMO

DATE: February 18, 2003
TO: KELLY KLOSS
FROM: GREG SCOTT
RE: 4620 – 47 AVENUE – THE GOLDEN CIRCLE
HISTORIC DESIGNATION

The Inspections & Licensing Department has reviewed and supports the request by the Heritage Preservative Committee to designate the Golden Circle as a Historical Significant Site. If designated, any future construction/renovation of this facility will require compliance with the Land Use Bylaw Historic Significance District Section 221.



GREG SCOTT

c Bryon Jeffers, Director of Development Services
Joyce Boon, Permits & Licensing Supervisor
Colleen Jensen, Director of Community Services
Paul Meyette, Parkland Community Planning

DATE:

FEBRUARY 11, 2003

TO:

- ☒ DIRECTOR OF COMMUNITY SERVICES
- ☐ DIRECTOR OF CORPORATE SERVICES
- ☐ DIRECTOR OF DEVELOPMENT SERVICES
- ☐ CITY ASSESSOR
- ☐ E. L. & P. MANAGER
- ☐ ENGINEERING DEPARTMENT MANAGER
- ☐ FIRE CHIEF/MANAGER EMERGENCY SERVICES
- ☐ INFORMATION TECHNOLOGY SERVICES MANAGER
- ☒ INSPECTIONS AND LICENSING MANAGER
- ☐ LAND AND ECONOMIC DEVELOPMENT MANAGER
- ☐ PERSONNEL MANAGER
- ☐ PUBLIC WORKS MANAGER
- ☐ R.C.M.P. INSPECTOR
- ☐ RECREATION, PARKS & CULTURE MANAGER
- ☐ SOCIAL PLANNING MANAGER
- ☐ TRANSIT MANAGER
- ☐ TREASURY SERVICES MANAGER
- ☒ PRINCIPAL PLANNER
- ☐ CITY SOLICITOR
- ☐ _____

FROM:

CITY CLERK

RE:

**4620 – 47 AVENUE, THE GOLDEN CIRCLE, LOT 1, BLOCK C, PLAN
842 2029 – Designation of Historically Significant Buildings – Land
Use Bylaw Amendment**

Please submit comments on the attached to this office by **Monday, March 17, 2003**
for the Council Agenda of **Monday, March 24, 2003** .

Kelly Kloss
City Clerk

☐ **ACKNOWLEDGE**

Heritage Preservation Committee
c/o #404-4808 Ross Street
Red Deer, AB T4N 1X5

Kelly Kloss, City Clerk
The City of Red Deer
P.O. Box 5008
Red Deer, AB T4N 3T4

February 7, 2003

Re: 4620 – 47 Avenue, the Golden Circle, Lot 1, Block C, Plan 842 2029

Dear Kelly,

I am sending this letter in follow up to a conversation we had in the fall of 2000 regarding the possible designation of the Golden Circle building owned by the City of Red Deer as a historically significant building under the City's Land Use Bylaw Section 221. In the initial materials (attached), I explained the purpose of the bylaw and importance of preserving both historically and culturally significant buildings in our community.

At that time you were not aware of any concerns the City might have with adding this building to the bylaw. However, the bylaw was delayed from going forward to Council at that time in hopes of finding additional owners who might also agree to have significant buildings added to the bylaw. I am pleased to report that there are now four buildings to be proposed for inclusion and the Heritage Preservation Committee will be recommending these be included in the bylaw. The Heritage Preservation Committee hopes to bring this mater to City Council in late March or early April. We are proposing to add four buildings to the bylaw including the Golden Circle building, a private residence in Michener Hill, and two recently restored buildings in the downtown, the Farthing Block and the former Park Hotel (now Park Place).

I am enclosing a copy of the draft proposed additions. If upon reviewing this material, you have any concerns or questions please do not hesitate to contact me at 343-3394. If this material needs to be circulated to any other parties could you please advise me? On behalf of the Heritage Preservation Committee, I wish to thank the City of Red Deer for their hard work and support towards maintaining our heritage resources.

Sincerely,


Nancy Hackett, Chair
Heritage Preservation Committee

attachments

Heritage Preservation Committee
c/o #404-4808 Ross Street
Red Deer, AB T4N 1X5

The City of Red Deer
P.O. Box 5008
Red Deer, AB T4N 3T4

July 28, 2000

**Re: 4620 – 47 Avenue, the Golden Circle
Lot 1, Block C, Plan 842 2029**

I am writing to you on behalf of the Heritage Preservation Committee. The Heritage Preservation Committee is made up of volunteers from Red Deer and area and operates as a sub-committee of the Normandeau Cultural and Natural History Society. The mandate of the Heritage Preservation Committee is the preservation and maintenance of human and natural heritage features in and around Red Deer for the ongoing enjoyment and education of the public. The Committee's role includes establishing criteria for evaluating heritage properties, listing properties that are of significance, developing public awareness of heritage resources, and advising both the Red Deer County Council and the City of Red Deer Council on matters related to cultural or natural heritage sites.

Last year, the Committee prepared an inventory of historically and culturally significant buildings and sites in the City of Red Deer. The goal was to draw attention to important properties in the City and educate residents about the truly unique and wonderful built and natural history of this City. The inventory recognizes buildings, sites or features that are of historic or cultural significance due to:

- distinct architectural styling
- representative of a time period
- commemorative of a historic event, person, or group
- unique or rare
- seen as a Red Deer landmark
- archaeological significance.

This inventory forms part of the city's Historic Significance bylaw which highlights the value of heritage assets and encourages the preservation of potentially historical or culturally significant buildings, sites, and resources within the City of Red Deer. The inventory and accompanying bylaw were adopted by City Council in January 2000. There are currently 91 sites listed within the inventory. These sites range from cultural facilities to notable homes, to significant commercial and industrial buildings, to natural features and landmarks. Currently, the Heritage Preservation Committee is in the process of considering additions to the Inventory of Historically Significant properties. Any changes to the bylaw will require City Council approval.

During a recent Heritage Preservation Committee discussion the Golden Circle Building at 4620 – 47 Avenue was mentioned as a unique cultural and distinct heritage building. The Heritage Preservation Committee would like to ask you if you would consider including it in the City's inventory and bylaw.

The chief purpose of the bylaw is to increase awareness and to promote the recognition of heritage resources within the City of Red Deer. The bylaw encourages the preservation of potentially historical or culturally significant buildings, sites, and resources within the City. The bylaw will not affect any renovation plans to the Golden Circle building. It will, however, highlight the value of the Golden Circle as a heritage asset.

The main benefit of inclusion in the inventory and bylaw, is that the bylaw supports the historical integrity of identified properties by offering, at the request of the owner, advice and consultation by heritage experts whenever possible, on matters dealing with restoration, renovation or development.

This bylaw will also offer some, albeit limited, protection to identified resources from demolition or site disturbance. The bylaw will delay the demolition of historical buildings or the disturbance of natural sites on the inventory for up to 45 days. The 45 day review period is intended to allow the Heritage Preservation Committee an opportunity to explore alternatives to demolition or destruction. Potential alternatives may include moving the structure or identifying funding sources available for restoration. In cases where the building is deemed not a suitable candidate for preservation or where there is an emergency or safety concern, the Heritage Preservation Committee may waive or reduce the 45 day review period. Once the 45 days expire or have been waived by the Committee, the bylaw will no longer prevent demolition or site disturbance.

I am enclosing a copy of the existing bylaw and building/site inventory in order that you may see the range of properties that have been included in the bylaw to date.

I hope you will consider the possibility of adding the Golden Circle to the Historic Significance Inventory and bylaw. Nancy Hackett from the Heritage Preservation Committee will contact you in September to further discuss this opportunity with you. In the meantime, if you have any questions or concerns please feel free to telephone Nancy or myself at (403) 343-3394.

Sincerely,

Paul Meyeette, Chair
Heritage Preservation Committee

DRAFT

BYLAW NO. 3156/ -2003

Being a Bylaw to amend Bylaw No. 3156/96, the Land Use Bylaw of The City of Red Deer as described herein.

COUNCIL OF THE CITY OF RED DEER, ALBERTA, ENACTS AS FOLLOWS:

1. 221(7) With reference to Section 221, the Historic Significance District:
The buildings and/or sites, which are included in this district, are amended by adding:

INVENTORY OF HISTORICALLY SIGNIFICANT RESOURCES

HISTORIC SITE BUILDING	STREET ADDRESS	LEGAL DESCRIPTION	DESIGNATION
Fabretti Residence	5001 – 43 Avenue	Lot 10, Block 6, Plan 758KS	Historic Significance
Farthing Block	4930 Ross Street	Lots 7 - 9, Block 17, Plan H	Historic Significance
Golden Circle	4620 – 47 Avenue	Lot 1, Block C, Plan 842 2029	Historic Significance
Park Place	4919 - 4920 Ross Street	Lots 10 - 15, Block 17, Plan H	Historic Significance

READ A FIRST TIME IN OPEN COUNCIL this day of A.D. 2003.

READ A SECOND TIME IN OPEN COUNCIL this day of A.D. 2003.

READ A THIRD TIME IN OPEN COUNCIL this day of A.D. 2003.

AND SIGNED BY THE MAYOR AND CITY CLERK this day of A.D. 2003.

DRAFT

MAYOR

CITY CLERK

HISTORIC SIGNIFICANCE DISTRICT¹

- 221 (1)** The district is intended to promote community awareness of actual or potential heritage and historically significant sites or buildings, and to provide a means whereby identified sites or buildings may be preserved with available and practical means from time to time. This district will provide that an identified site or building of potential historical significance shall not be demolished; or in the case of sites disturbed, until such time as an evaluation of the heritage or historical significance of the site or building has been carried out. The bylaw encourages but does not require that any renovations undertaken be sympathetic to the historical integrity of the site.
- (2)** It is not the intent of this bylaw to set these properties up to later be designated as Municipal, Provincial, Registered, or Federal Heritage resources. In the event that any change of the properties listed within this bylaw to any other heritage designation were proposed, it is the intent that such a shift would occur only with the agreement of the owner. A change in designation would require an amendment to this land use bylaw.
- (3) Permitted Uses**
- The uses listed as permitted in the underlying use district.
- (4) Discretionary Uses**
- The uses listed as discretionary in the underlying land use district, which in the opinion of the Development Authority, will maintain and achieve the general purpose of the District.
- (5)** The owner must give 45 days notice to The City of the proposed demolition of any of the buildings or the disturbance of sites listed in section 221(7). The City will cause a historical evaluation to be carried out through the Heritage Preservation Committee. If the building or site is deemed significant and a candidate for preservation, the Heritage Preservation Committee will work with the land owner during the 45 day period in an effort to preserve the building and/or site. The Heritage Preservation Committee will make an appropriate recommendation to the Development Authority. If the owner and the Development Authority are unable to reach an agreement, once the 45 day notice period has expired, this bylaw will no longer prevent demolition of the building or disturbance of the site.

¹3156/MM-99

- (6) If the building or site is deemed not significant or not a suitable candidate for preservation, or in the case of an emergency situation requiring immediate demolition, the Development Authority may waive or reduce the 45 day review period, based upon advice received from the Heritage Preservation Committee.
- (7) The buildings and/or sites, which are included in this district, are listed as follows:

INVENTORY OF HISTORICALLY SIGNIFICANT RESOURCES

PROPERTY NUMBER	HISTORICAL SITE BUILDING	STREET ADDRESS	LEGAL DESCRIPTION	DESIGNATION
HS - 1	A20 Army Camp Motor Pool Building and Cormack Gardens Currently Red Deer Armoury	4402-55th Street	Parcel C, Plan 837 H.W.	Historic Significance
HS - 2	Arlington Hotel	4905-51st Ave	Lots 1-5 Block 10, Plan H	Historic Significance
HS - 3	Bank Manager's Residence	4742-56th Street	Lot 12, Block C, Plan K1	Historic Significance
HS - 4	Bawtinheimer Garage	4925-48 Street	Lot 12 (part) 13, Block 20, Plan K.	Historic Significance
HS - 5	Botterill Residence	4637 Ross Street	Lots 41-43, Block A, Plan K-8	Historic Significance
HS - 6	Bower Barn Gothic Roof Barn (Sunnybrook Farm)	4701-30th Street	Lot 3, Block 14 Plan 4436 TR	Historic Significance
HS - 7	Bower Residence (Sunnybrook Farm)	4701-30th Street	Lot 3, Block 14 Plan 4436 TR	Historic Significance
HS - 8	Buffalo Hotel	5031 Ross Street	Lots 6-10, Block 10, Plan H	Historic Significance
HS - 9	Capitol Theatre	4924 Ross Street	Lot 8-9, Block 17, Plan H	Historic Significance
HS - 10	Central Alberta Dairy Condensery	5410 Gaetz Ave Pool (CADP) Building	Lot 45, Block 12,	Historic Significance Plan 972 0467
HS - 11	Cenotaph	4900 Block, Ross Street	No Legal	Historic Significance
HS - 12	Cole/G.W. Smith Residence	5142-44th Street	Lot 15, Block 1, Plan 6077 HW	Historic Significance
HS - 13	Dawe Residence	4124-52nd Street	Lots 8 & 9, Block 12, Plan 3586AE	Historic Significance
HS - 14	Drill Hall #1 (Red Deer Public School Maintenance Shop)	4230-58th Street	Lot D1, Plan 4154 R.S.	Historic Significance

PROPERTY NUMBER	HISTORICAL SITE BUILDING	STREET ADDRESS	LEGAL DESCRIPTION	DESIGNATION
HS 15	Drill Hall #2 (Red Deer Memorial Centre)	4214-58th Street	Lot E, Plan 3962 H.W.	Historic Significance
HS – 16	Eaton's Store (former)	4807 Gaetz Ave	Lots 3 - 8, Block 19, Plan H	Historic Significance
HS – 17	Eilertson Sculpture (Victory Park)	4540 Ross Street	Part Lot X, Plan 4900	Historic Significance
HS – 18	Eventide Funeral Home (St. Luke's Hall)	4930-54th Street	Lots 1 - 3, Block 13, Plan K (only south 12' of Lot 3)	Historic Significance
HS – 19	Fallow Residence	12 Howarth St. Close	Lot 9A, Block E, Plan 4387 RS	Historic Significance
HS – 20	Freytag Tannery Site	5616 Kerry Wood Drive	Block 11, Plan 3331 AJ	Historic Significance
HS – 21	F.W. Galbraith Residence	5810-45th Ave	Lot 1, Block 5, Plan 961 H.W.	Historic Significance
HS – 22	Gaetz Manufacturing Building	4840-51th Street	Lots 1 & 2 Block 29, Plan K	Historic Significance
HS – 23	Gaetz Memorial United Church	4758 Ross Street	NW 1/4, 16-38-27-4 and Lot 1, Block 37 Plan 6275 H.W.	Historic Significance
HS – 24	Grandview Lodge (Senior Citizens Home)	5011-43rd Ave	Lot 8, Block 6, Plan 5470 HW	Historic Significance
HS – 25	Greene Block	5001 Ross Street	Lots 18 - 19 Block 10, Plan H	Historic Significance
HS – 26	Hallman Residence (Parkvale Area)	4617-48th Street	Lot 32-33, Block C, Plan K8 (excluding E. 10' of Lot 32)	Historic Significance
HS – 27	Hamilton Block	5211 Gaetz Ave	Lots 5 & 6 Block 15, Plan K	Historic Significance
HS – 28	Heritage Square	4600 Block 47th Avenue	Lot 1, Block C, Plan 842-2029	Historic Significance

PROPERTY NUMBER	HISTORICAL SITE BUILDING	STREET ADDRESS	LEGAL DESCRIPTION	DESIGNATION
HS – 29	Huestis Residence	5201-47th Ave	Lots 9-11, Block N Plan 6901 R	Historic Significance
HS – 30	J. Weddell Residence (Waskasoo Crescent)	4532 Waskasoo Cres.	Lot 40, Block 2, Plan 872 2544	Historic Significance
HS – 31	Johnstone Residence	5509-48A Ave	Lot B Block A, Plan 1995 ET	Historic Significance
HS – 32	La France Residence	4922-55th Street	Lots 5 & 6, Block 2, Plan 7075 A.E.	Historic Significance
HS – 33	MacKenzie/Ellis Residence	5343-46th Ave	Lot 10A, Block G, Plan 1500 R.S.	Historic Significance
HS – 34	Maple Leaf Block	5020 Gaetz Ave	Lot 17, Block 11, Plan 795 HW	Historic Significance
HS – 35	McGregor Parson's Residence	5140 – 43rd Avenue	Lot 12, Block 14, Plan 6393 MC	Historic Significance
HS – 36	McLean Residence	4123 Ross Street	Lot 8, Block 3A, Plan 3288 K.S.	Historic Significance
HS – 37	Meredith Residence	4 Howarth St. Close	Lot 10, Block E, Plan 5746 AH	Historic Significance
HS – 38	Mitchell & Jewell Building	4812 Gaetz Ave	Lot 16, Block 9, Plan H	Historic Significance
HS – 39	William Moore Residence	5555-45th Ave	Lot 8, Block A, Plan 955 M.C.	Historic Significance
HS – 40	Murrin/Routledge Residence	4736-56th Street	Lot 15, Block C, Plan 5947 AM	Historic Significance
HS – 41	Nachtman Residence	4630-45th Street	Lot 9, Block E, Plan 3591 P	Historic Significance
HS – 42	New Life Tabernacle Church (Pentecostal Church of the Nazarene)	4801-48th Street	Lots 21-22, Block 25, Plan K	Historic Significance
HS – 43	The Old Mill/ Hayhoe Building	5028 Gaetz Ave	Lot 18, Block 11, Plan 795 HW	Historic Significance
HS – 44	Palace Livery	5007-49th Street	Lot C, Block 9, Plan 1323 KS	Historic Significance
HS – 45	Payne Residence	4634-49th Street	Lots 5 - 8, Block A, Plan K-8	Historic Significance

PROPERTY NUMBER	HISTORICAL SITE BUILDING	STREET ADDRESS	LEGAL DESCRIPTION	DESIGNATION
HS – 46	Pettepher Residence	5045-45th Ave	Lots 3 & 4, Block 1, Plan K9	Historic Significance
HS – 47	Piper Creek/ Twilight Lodge	4820-33rd Street	Lot 2, Block 8 Plan 1621 NY	Historic Significance
HS – 48	Pollock Residence	4629-46th Street	Lots 37-40, Block E, Plan 3591 P	Historic Significance
HS – 49	Old Post Office/ Federal Building	4909 Ross Street	Lots 20-29, Block 18, Plan H	Historic Significance
HS – 50	Prairie Business	5032 Gaetz Ave	Lots 19-21, Block 11, Plan 795 HW South 20' of 21	Historic Significance
HS – 51	Old Provincial Building	4935 - 51st Street	Lots 38 & 39, Block 17, Plan H	Historic Significance
HS – 52	Raymond Gaetz Residence	4763- 56th Street	Lot 30, Block A, Plan 647 K.S.	Historic Significance
HS – 53	Red Deer Bottling Co.	4601 Gaetz Ave	Lot 27, Block 21, Plan 962 3342	Historic Significance
HS – 54	Red Deer College Arts Centre	5700-32nd Street	Lot 3, Plan 812 2461	Historic Significance
HS – 55	A.H. Russell Residence	5938-45th Ave	Lot 1 & 2, Block 3, Plan 1292 A.O.	Historic Significance
HS – 56	Scott Block/Old Horsley's Hardware	4816-4818 Gaetz Avenue	Lot D, Block 9, Plan 1323 KS	Historic Significance
HS – 57	Simpson Residence	5820-45th Ave	Lot 2, Block 5, Plan 961 H.W.	Historic Significance
HS – 58	Snell Gardener's Cottage	5521-50th Ave	Lot B, Plan 4337 HW	Historic Significance
HS – 59	St. Mary's Roman Catholic Church and Parish Hall	6 McMillan Ave	Lot 1A, Plan 2473 N.Y.	Historic Significance
HS – 60	Telning Residence	4520-46th Street	Lot 12 & 13, Block J, Plan 4900 R	Historic Significance
HS – 61	Thatcher Residence	5401-48th Avenue	Lot 1, Block 33, Plan 656 NY	Historic Significance

PROPERTY NUMBER	HISTORICAL SITE BUILDING	STREET ADDRESS	LEGAL DESCRIPTION	DESIGNATION
HS – 62	Trump Residence	5035 - 45th Ave	Lot 2, Block 1, Plan 4735 K.S.	Historic Significance
HS – 63	Tucker Residence	3534-45th Ave	Lot 5A, Block 5, Plan 78 RS	Historic Significance
HS – 64	Wallace Residence	4755-56th Street	Lots 25-26, Block A Plan KI	Historic Significance
HS – 65	Wartime Homes	36-38 Street block Between 41-42 Ave Mountview Neighbourhood	Lots 5-8 and 10-27, Block 9, Plan 1514 HW	Historic Significance
HS – 66	Water Tower (Horton Spheroid)	3536-46th Ave	Lot 9, Block 22, Plan 1919 KS	Historic Significance
HS – 67	Wong Block Apartment	5101 Gaetz Ave	Lots 1 & 2, Block 16, Plan H	Historic Significance
HS – 68	49A Avenue Houses	5511-49A Ave	Lots 7-9, Block 3, Plan 7075 AE	Historic Significance
		5514-49A Ave	Lots 7-9, Block 2, Plan 7075 AE	Historic Significance
		5517-49A Ave	Lots 10-11, Block 3, Plan 7075 AE	Historic Significance
		5520-49A Ave	Lots 16 & 17, Block 2, Plan 002-3098	Historic Significance
		5521-49A Ave	Lots 12-13, Block 3, Plan 7075 AE	Historic Significance
		5526-49A Ave	Lots 13-15, Block 2, Plan 7075 AE	Historic Significance
		5525-49 A Ave	Lot 19, Block 3 Plan 922-3300	Historic Significance
		5527-49A Ave	Lot 20, Block 3, Plan 922 3300	Historic Significance
HS – 69	A.C.R. Bridge Abutment	Taylor Drive	Lot R-1, Block 10 Plan 3231 TR	Historic Significance
HS – 70	Ceremonial Trees Central School	5100 Block 47th Avenue		Historic Significance
HS – 71	Ceremonial Trees Coronation Park	4500 Block Ross Street		Historic Significance
HS – 72	Ceremonial Trees Cronquist House	Bower Ponds		Historic Significance
HS - 73	Ceremonial Trees Red Deer & District Museum	4525-47A Ave		Historic Significance

PROPERTY NUMBER	HISTORICAL SITE BUILDING	STREET ADDRESS	LEGAL DESCRIPTION	DESIGNATION
HS – 74	Ceremonial Trees Pioneers' Lodge	4600 Block 47th Avenue		Historic Significance
HS – 75	Chestnut Tree	45th Ave and 55th Street	Lot 22, Block G Plan 822-2078	Historic Significance
HS – 76	City Hall Park	4800 Block 48th Avenue	Lot 1, Block 27, Plan 1339 R.S	Historic Significance
HS – 77	'Crossing' School Site Marker	60th Ave and Cronquist Drive	SE 1/4, 18-38-27-4	Historic Significance
HS – 78	Fire Hall Trees Centennial 1967	4900 Block, 48th Street		Historic Significance
HS – 79	Gaetz Lake Sanctuary			Historic Significance
HS – 80	Great West Lumber Co. Site	Bower Ponds		Historic Significance
HS – 81	Krause Hill, Trees	Ross Street Hill	Lot 3, Block 8A Plan 882-1939	Historic Significance
HS – 82	Oak Tree	55th Street and 46th Ave	Lot 25, Block 1 Plan 1292 A.O.	Historic Significance
HS – 83	Piper's Mountain	Rotary Park	Lot R3, Plan 4816 R.S	Historic Significance
HS – 84	Reinholt Quarries	Cronquist Business Park	SW 1/4 17-38-27-4 Lot R3, Plan 762-1616	Historic Significance
HS – 85	Site of the ACR Silver Spike	Gaetz Ave and 35th Street	Lot 16, Block 1 Plan 8324 ET	Historic Significance
HS – 86	Snell Residence Site	4915-48th Ave	Lot 14, Block 38 Plan 832 0062	Historic Significance
HS – 87	Stone Wall, Everglades Apartments	4319-51st Ave	Lot 15B Block 6, Plan 862 2144	Historic Significance
HS – 88	Towers at Checkmate Court	4902-37th Street	Plan 902 1647	Historic Significance
HS – 89	Willow Tree	4700-55th Street	Lots 5 - 7, Block B, Plan K1 Lots 21, Block B, Plan 902 1952	Historic Significance
HS – 90	Wishart Cabin Site	Gaetz Lake Sanctuary		Historic Significance



City Clerk's Department

FILE

DATE: April 23, 2003
TO: City Council
FROM: Deputy City Clerk
SUBJECT: Land Use Bylaw Amendment 3156/R-2003
Addition of Historic Significance Properties

History

At the Tuesday, April 22, 2003 Council meeting, Council gave first reading to Land Use Bylaw Amendment 3156/R-2003.

Land Use Bylaw Amendment 3156/R-2003 provides for the addition of the following properties to the Land Use Bylaw as Historic Significance Properties:

- Golden Circle Building at 4620 – 47 Avenue as a unique community and cultural building
- The Fabretti House at 5001 – 43 Avenue due to its distinct architectural styling
- The Park Hotel (Park Place) at 4919 – 4920 Ross Street to recognize its significance as a historic hotel in Red Deer's past
- The Farthing Block at 4930 Ross Street representing a downtown 1930's commercial building.

Public Consultation Process

A Public Hearing has been advertised for Tuesday, May 20, 2003 at 7:00 p.m. in the Council Chambers during Council's regular meeting.

Recommendations

That following the Public Hearing, Council proceed with second and third readings of the bylaw.

A handwritten signature in cursive script, appearing to read 'N. Housenga'.

Nona Housenga
Deputy City Clerk
/chk



Council Decision – April 22, 2003

City Clerk's Department

DATE: April 23, 2003
TO: Nancy Hackett, Parkland Community Planning Services
FROM: Nona Housenga, Deputy City Clerk
SUBJECT: Land Use Bylaw Amendment 3156/R-2003
Addition of Historic Significance Properties

Reference Report:

Parkland Community Planning Services, dated April 14, 2003

Bylaw Readings:

Land Use Bylaw Amendment 3156/R-2003 was given first reading. A copy of the bylaw is attached.

Report Back to Council: Yes

A Public Hearing will be held on Tuesday, May 20, 2003 at 7:00 p.m. in Council Chambers during Council's regular meeting.

Comments/Further Action:

Land Use Bylaw Amendment 3156/R-2003 provides for the addition of the following properties to the Land Use Bylaw as Historic Significance Properties:

- Golden Circle Building at 4620 – 47 Avenue as a unique community and cultural building
- The Fabretti House at 5001 – 43 Avenue due to its distinct architectural styling
- The Park Hotel (Park Place) at 4919 – 4920 Ross Street to recognize its significance as a historic hotel in Red Deer's past
- The Farthing Block at 4930 Ross Street representing a downtown 1930's commercial building.

This office will now proceed with the advertising for a Public Hearing. The City will be responsible for the advertising costs in this instance.

A handwritten signature in cursive script, appearing to read 'N. Housenga'.

Nona Housenga
Deputy City Clerk
/chk
/attach.

c Director of Development Services
 Inspections & Licensing Manager
 Land & Economic Development Manager
 C. Adams, Administrative Assistant
 B. Greter, City Clerk's Clerk Steno

BYLAW NO. 3156/R-2003

Being a Bylaw to amend Bylaw No. 3156/96, the Land Use Bylaw of The City of Red Deer as described herein.

COUNCIL OF THE CITY OF RED DEER, ALBERTA, ENACTS AS FOLLOWS:

1. 221(7) With reference to Section 221, the Historic Significance District:
The buildings and/or sites, which are included in this district, are amended by adding:

HISTORIC SITE BUILDING	STREET ADDRESS	LEGAL DESCRIPTION	DESIGNATION
Fabretti Residence	5001 – 43 Avenue	Lot 10, Block 6, Plan 758KS	Historic Significance
Farthing Block	4930 Ross Street	Lots 7 - 9, Block 17, Plan H	Historic Significance
Golden Circle	4620 – 47 Avenue	Lot 1, Block C, Plan 842 2029	Historic Significance
Park Hotel (Park Place)	4919 - 4920 Ross Street	Lots 10 - 15, Block 17, Plan H	Historic Significance

READ A FIRST TIME IN OPEN COUNCIL this 22nd day of April A.D. 2003.

READ A SECOND TIME IN OPEN COUNCIL this day of A.D. 2003.

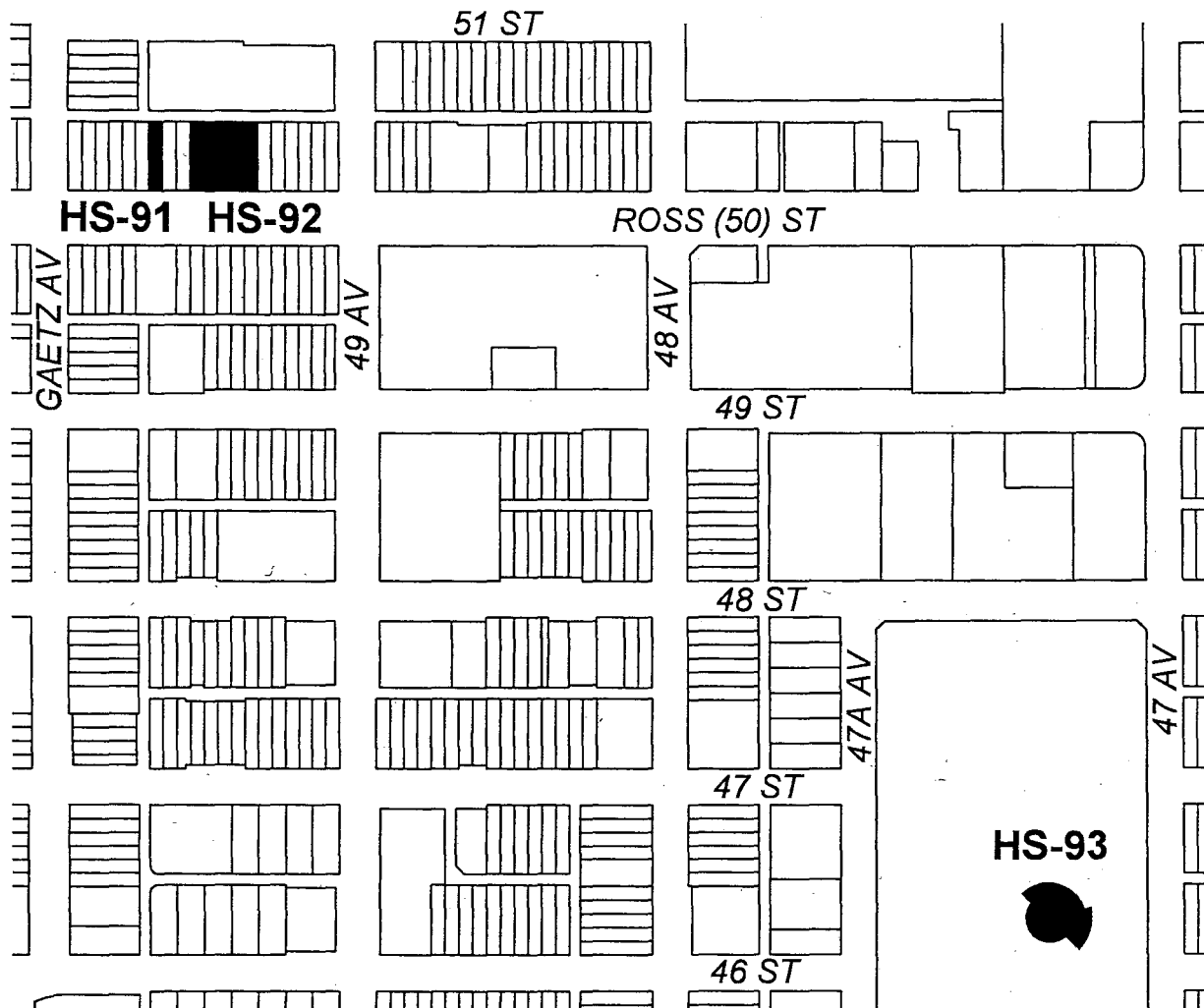
READ A THIRD TIME IN OPEN COUNCIL this day of A.D. 2003.

AND SIGNED BY THE MAYOR AND CITY CLERK this day of A.D. 2003.

MAYOR

CITY CLERK

The City of Red Deer *PROPOSED LAND USE BYLAW AMENDMENT*



AFFECTED DISTRICTS:

HS - HISTORICAL SIGNIFICANT DISTRICT

Addition to Historical Significant Resources : 

HS - 91 Farthing Block

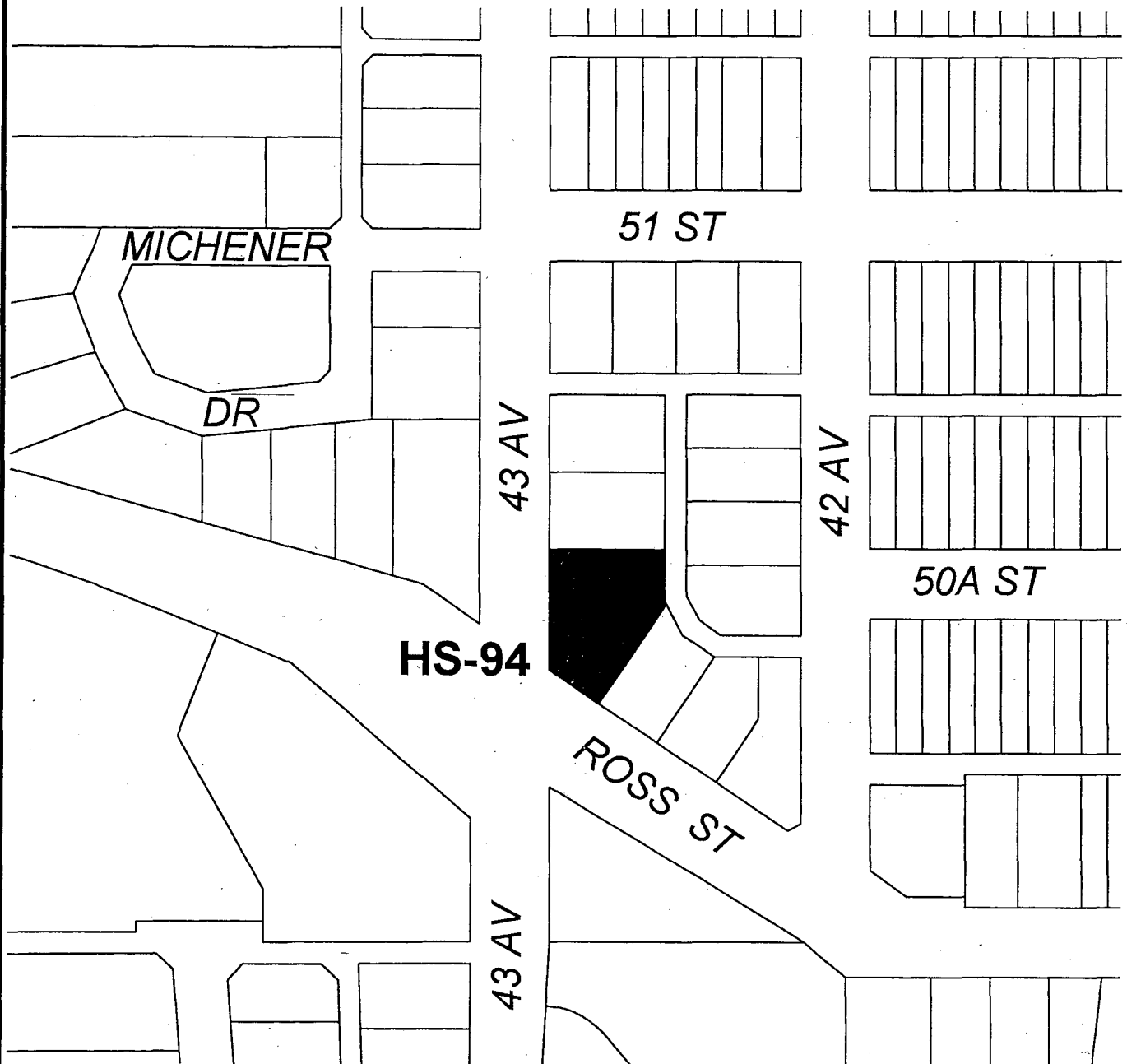
HS - 92 Park Hotel (Park Place)

HS - 93 Golden Circle

MAP No. 15 / 2003
BYLAW No. 3156 / R - 2003

The City of Red Deer

PROPOSED LAND USE BYLAW AMENDMENT



AFFECTED DISTRICTS:

HS - HISTORICAL SIGNIFICANT DISTRICT

Addition to Historical Significant Resources :

HS - 94 Fabretti Residence

MAP No. 16 / 2003
BYLAW No. 3156 / R - 2003

BYLAW NO. 3217/B-2003

Being a bylaw to amend Bylaw No. 3217/C-2002, the bylaw adopting the West Park Extension (Westlake) Neighbourhood Area Structure Plan as a bylaw of the City of Red Deer.

COUNCIL OF THE CITY OF RED DEER, ALBERTA, ENACTS AS FOLLOWS:

That Bylaw No. 3217/C-2002 is hereby amended:

1. By substituting in the West Park Extension (Westlake) Neighbourhood Area Structure Plan the following; Pages 12, 14, 15, 16, and 19 and Figures 4, 7, 10, 16, 17, 20, 21, and 22.

READ A FIRST TIME IN OPEN COUNCIL this **24th** day of **February**, A.D. 2003.

READ A SECOND TIME IN OPEN COUNCIL this day of , A.D. 2003.

READ A THIRD TIME IN OPEN COUNCIL this day of , A.D. 2003.

AND SIGNED BY THE MAYOR AND CITY CLERK this day of , A.D. 2003.

MAYOR

CITY CLERK

family housing as well as a medium density townhouse site are also proposed in the neighbourhood. The various lot types and the townhouse site are provided as either a response to a particular residential market niche or a specific land use or site issue.

The concept plan also provides opportunities for walkout basements. The potential locations are identified in **Figure 4**.

The proposed land use allocation is illustrated in **Table 1**.

TABLE 1 LAND USE ALLOCATION

	Acre± (Ha±)	Percentage
Total Neighbourhood Area	156.26 (63.24)	-
Environmental Reserve	11.19 (4.53)	-
Developable Area	145.07 (58.71)	100.00
Land Use		
Single Family – Large Lots	8.08 (3.27)	5.57
Single Family – Standard Lots	46.67 (18.89)	32.17
Single Family – Adult Living	19.84 (8.03)	13.68
Multi - Family – Townhouse	9.69 (3.92)	6.68
Single Family – Narrow Lot	8.18 (3.31)	5.64
Municipal Reserve	14.51 (5.87)	10.00
Streets and Lanes	29.50 (11.94)	20.34
Public Utility Lots	7.30 (2.96)	5.02
Church Site	1.00 (0.40)	0.69
Social Care Site*	0.30 (0.12)	0.21

* Social Housing/Day Care/ Retirement Home/R2

Traffic will move efficiently and safely through the neighbourhood on a curvilinear road network that emphasizes cul-de-sac access to single family residences. The road network is supported by a complete rear lane system. Connections to the existing West Park and its local road network are strategically located to optimize efficiency of movement and safety, and to minimize through traffic.

neighbourhood in close proximity to major neighbourhood roads and park and natural areas.

Adult Living: Adult living detached single family lots are typically 12.2 metres \pm (40 feet \pm) wide. They are found in an 8.03 hectare \pm (19.84 acre \pm) cluster located at the south end of the neighbourhood adjacent to the park and natural areas. As implied by their name, they are intended as detached seniors' housing characterized by smaller yards.

4.1.2 Townhouses

A single, 3.92 gross hectare \pm (9.69 acre \pm) medium density townhouse site is strategically located in close proximity to a park / natural area and the internal collector road network. Townhouse units will be a maximum two stories high. They are intended for a range of potential homebuyers.

4.2 Development Density

As noted in Section 3.1 maximum density for new residential areas in the City of Red Deer is 45 persons per gross hectare. Based upon the existing policy and given a total neighbourhood development area of 63.24 hectares \pm (156.26 acres \pm), a maximum population of 2846 persons could be accommodated in the West Park Extension area.

The proposed development concept, however, is well below the maximum, as the estimated population density is 37.35 persons per hectare. This is based upon an estimated build-out of 704 dwelling units, City of Red Deer occupancy factors and a population of 2362 persons.

The population density calculation is summarized in **Table 2**. Table 2 also shows the estimated number of dwelling units and associated population for each of the residential land uses when the neighbourhood is fully developed. Single family Standard A lots account for the majority of dwelling units (371) and population (1261) as compared to the other residential land uses.

TABLE 2 ESTIMATED POPULATION DENSITIES

Land Use	Lot Width (m±)	Number of Dwelling Units	Number of Persons/ Unit	Total Population (Maximum)	Density Persons/Ha
Single Family, Large Lot	22.9	30	3.4	102	-
Single Family, Standard A Lots	12.8	371	3.4	1261	-
Single Family, Standard B Lots	16.8	14	3.4	48	
Single Family, Narrow Lots	10.4	81	3.4	275	
Single Family, Adult Living Lot	12.2	130	3.4	442	-
Multiple Family, Townhouse	9.69 ac@8upa	78	3.0	234	-
Total (With church and social care site)		704	-	2362	37.35
Multiple Family, Townhouse (Additional- no social care site)*	0.30 ac@8upa	2	3.0	6	
Single Family, Standard Lot A (Additional- no church)	12.9	5	3.4	17	
Total (No church or social care site*)		711	-	2385	37.71

* Social Housing /Daycare /Retirement Home /R2

NOTE: The occupancy factor of 3.4 persons per dwelling unit used for the Adult Living single family is considered to be high. Applying a more realistic factor of 2.2 persons per dwelling unit to the Adult Living component the anticipated overall neighbourhood density would be 34.88 persons per hectare (with a church and social care site) and 35.25 persons per hectare (without the sites).

The relatively low estimated population density can be attributed to the amount of park and natural areas that are provided and the quantity of lower density single family detached development.

It should be noted that the calculations are based on the assumption that the church and community care sites would be developed for these intended purposes. Should the two sites be developed for residential purposes, the estimated population density for the entire neighbourhood would marginally increase to 37.71 persons per hectare (15.26 persons per acre). This is well within the 45 persons per hectare limit stipulated in the *City of Red Deer Municipal Development Plan*.

4.3 Parks and Open Space

The parks and open space system includes several different types of parks and an extensive pedestrian / cycling trail system connecting parks and neighbourhoods. The park and trail systems represent important community amenities and focal points for new West Park Extension residents as well as those from neighbouring communities. Approximately 10 per cent of the site is provided as municipal reserve, satisfying the *Municipal Government Act* and City of Red Deer requirements. It is comprised of a balance of natural areas, local play areas, buffer and linear parks. The percentage increases to 21 per cent when the environmental reserve areas and public utility lots such as the storm detention facility are included.

4.3.1 West Area Park

The neighbourhood's largest and most significant park is the linear park that runs the length of neighbourhood's western boundary. It includes a 3.58 hectare \pm (8.87 acre \pm) natural park located at approximately the midway point along the boundary (see **Figure 8**). A "play area", complete with a full range of playground facilities, a multi-use area and a small parking lot are integrated into the natural area park. The final location and layout of the play area will be determined in cooperation with the City of Red Deer Recreation Parks and Culture Department. The western linear park system connects the northern and southern detention

4.7 Public Utilities

In addition to the environmental reserve wetland area within the Plan boundary and the one to the east of 60th Avenue, two storm detention facilities are provided to service the neighbourhood. A large, 2.12 hectares \pm (5.2 acres \pm) site, located in the northeast sector of the neighbourhood just east of the Grand Boulevard, will be supplemented by 0.30 hectares \pm (0.76 acres \pm) of municipal reserve along the east and north side. The combined area will be landscaped and developed as an amenity for the neighbourhood as well as a storm sewer facility (see **Figure 10** and **Section 6.3**).

A small 0.40 hectares \pm (1.0 acres \pm) wetland in the northwest corner will also be retained as part of the open space and storm water system.

5.0 TRANSPORTATION

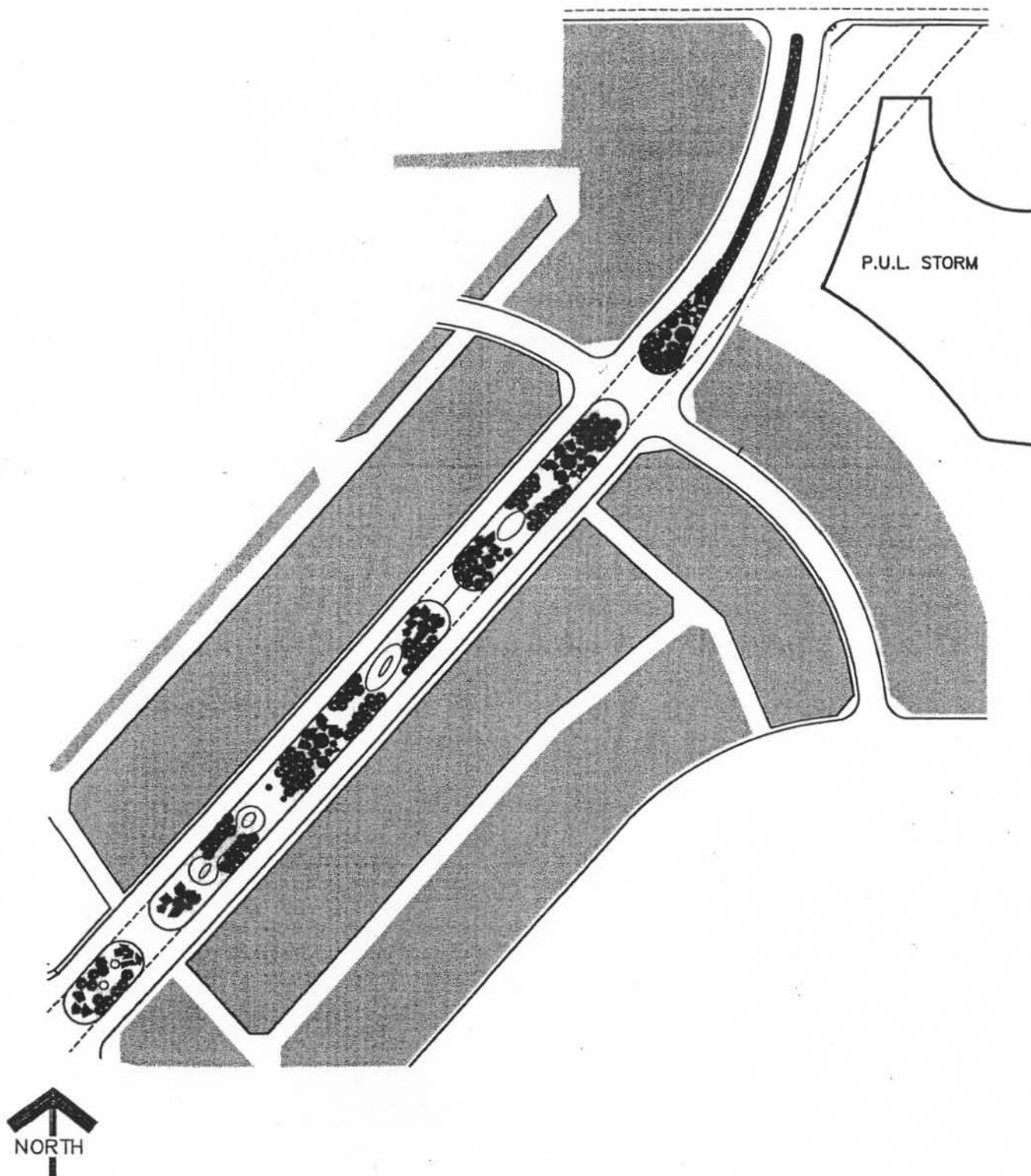
A West Park Extension Traffic Impact Study was prepared by Finn Transportation Consultants in November 2001 and was submitted under separate cover. This study addresses both the external and internal transportation networks and concludes that both networks can adequately accommodate the anticipated traffic generated by the West Park Extension.

5.1 Internal Road Network

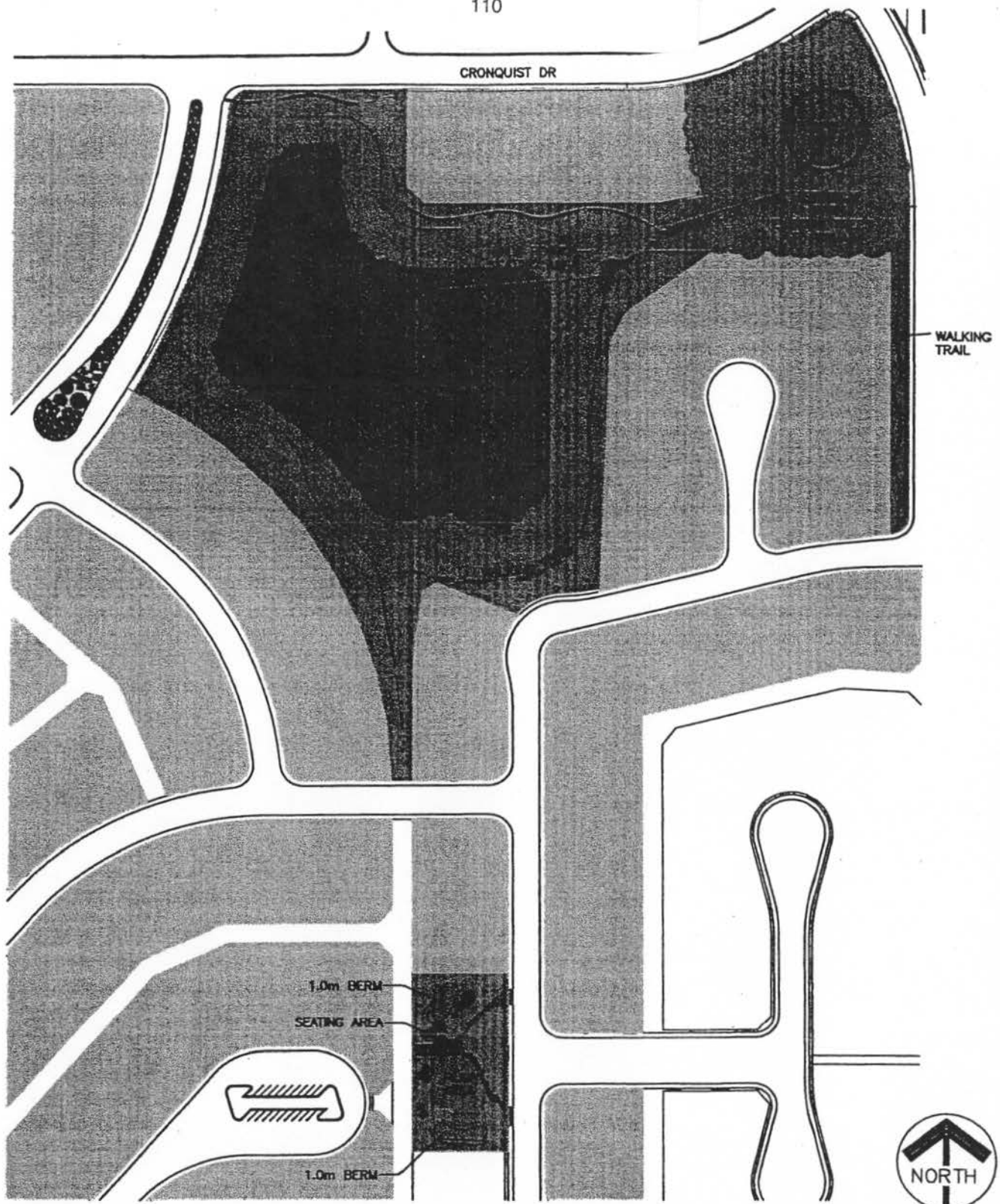
Road connections to the external road network are strategically located. An internal road hierarchy conveys traffic efficiently and safely within the neighbourhood, while cul-de-sacs provide access to many of the single family residences.

As outlined in Section 4.1, the proposed neighbourhood structure plan closes a portion of the existing 60th Avenue. This closure is intended to provide for more continuity between the existing community and the new neighbourhood and will eliminate the current shortcutting traffic on 60th Avenue. A small portion of 60th Avenue between 59th Avenue Crescent and Cronquist Drive will remain open to accommodate local traffic movement.

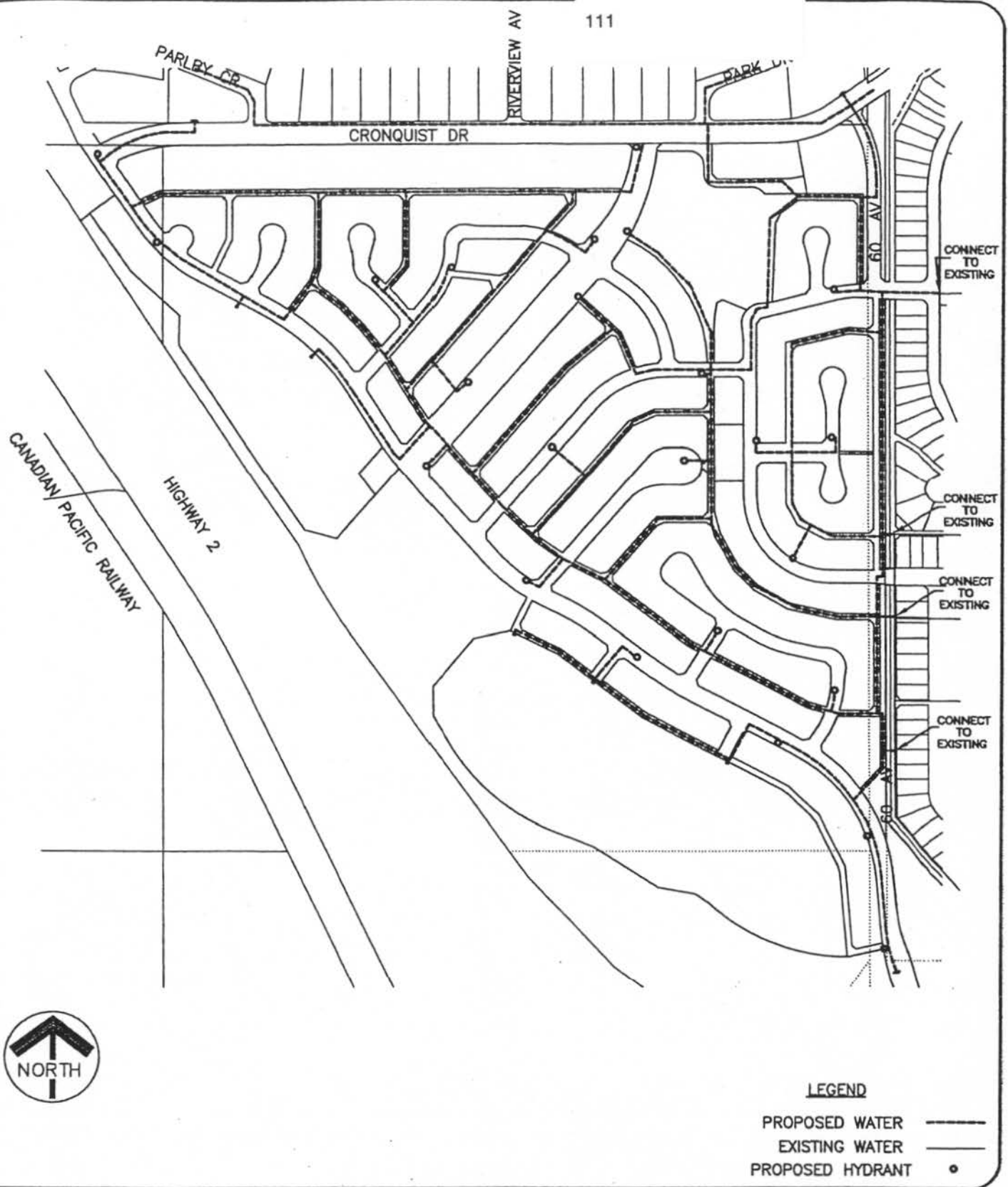
The intent of the proposed internal roadway network is to:



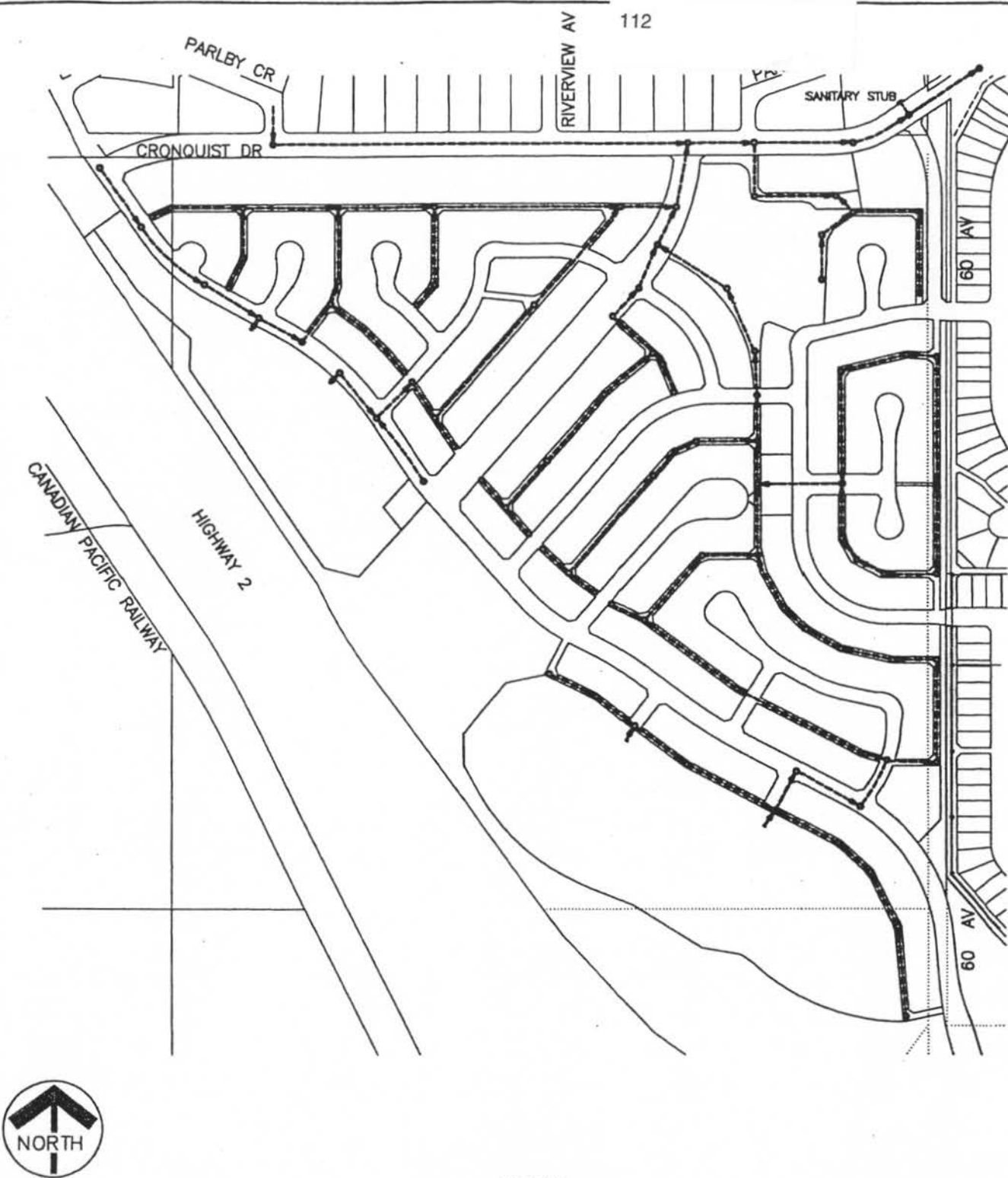
West Park Extension
Grand Boulevard Concept Plan



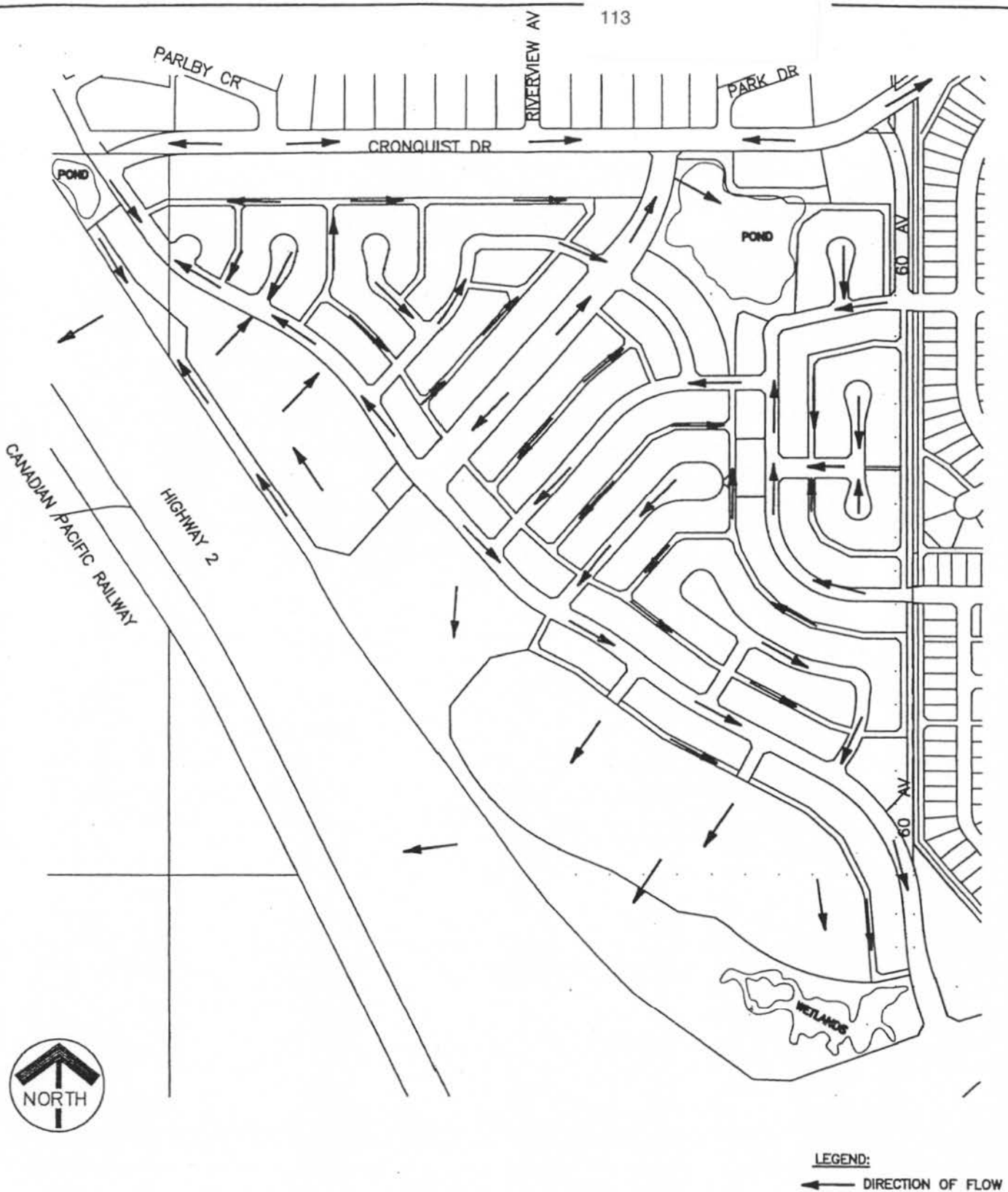
West Park Extension
Northeast Wetland
Park Concept Plan



West Park Extension Proposed Water Main

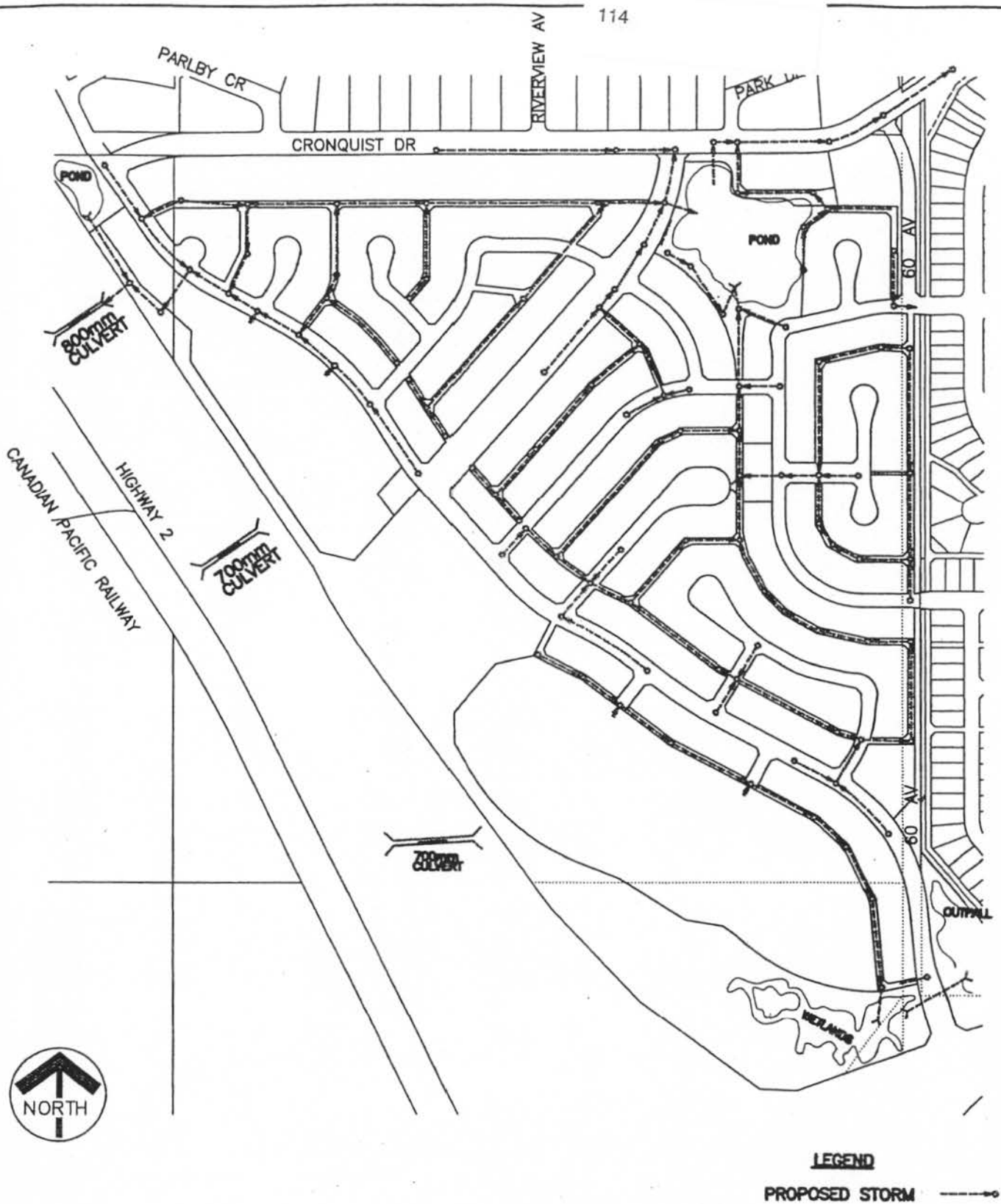


West Park Extension Proposed Sanitary Sewer



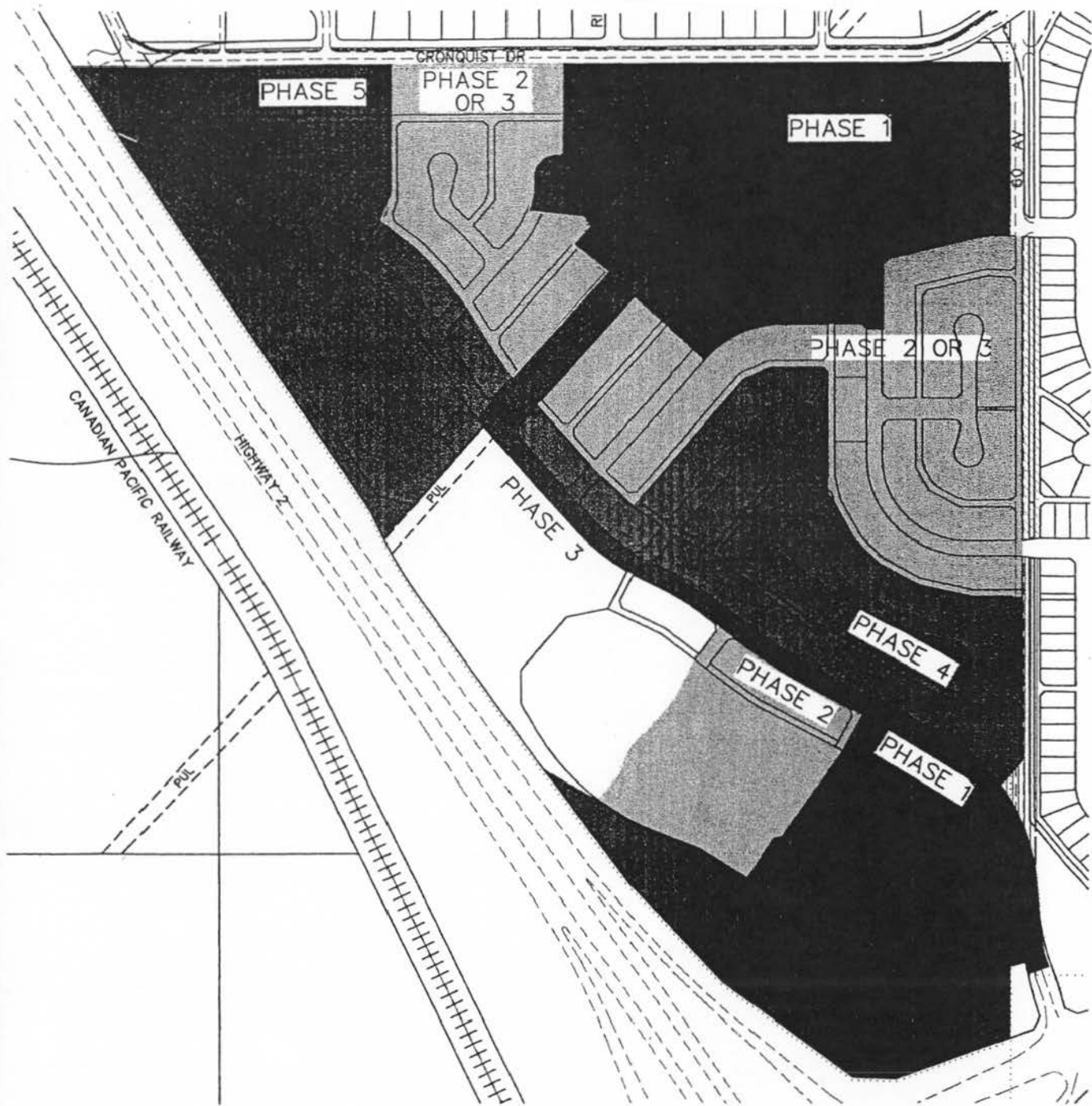
West Park Extension
Proposed Overland
Drainage

FIGURE 20



West Park Extension Proposed Storm Sewer

FIGURE 21



West Park Extension Phasing

FIGURE
22

Item No. 2

BYLAW NO. 3156/G-2003

Being a bylaw to amend Bylaw No. 3156/96, the Land Use Bylaw of the City of Red Deer.

COUNCIL OF THE CITY OF RED DEER, ALBERTA, ENACTS AS FOLLOWS:

- 1 The "Use District Maps C7 and D7" contained in "Schedule B" of the Land Use Bylaw is hereby amended in accordance with the Land Use District Map No. 5/2003 attached hereto and forming part of the bylaw.

READ A FIRST TIME IN OPEN COUNCIL this **24th** day of **February** 2003.

READ A SECOND TIME IN OPEN COUNCIL this day of 2003.

READ A THIRD TIME IN OPEN COUNCIL this day of 2003.

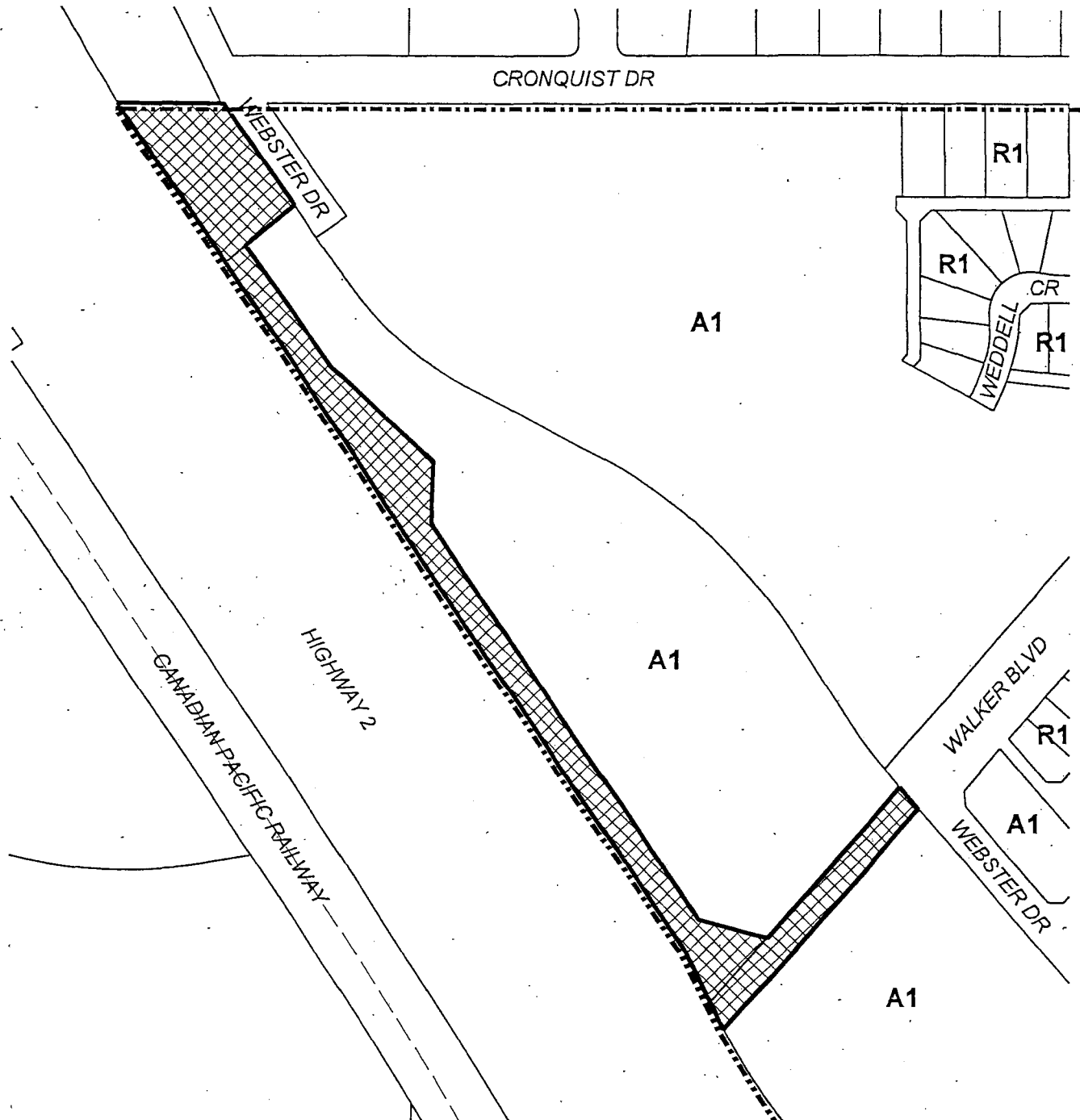
AND SIGNED BY THE MAYOR AND CITY CLERK this day of 2003.

MAYOR

CITY CLERK

The City of Red Deer

PROPOSED LAND USE BYLAW AMENDMENT




AFFECTED DISTRICTS:

A1 - Future Urban Development

P1 - Parks & Recreation

Change from :

A1 to P1 

MAP No. 5 / 2003

BYLAW No. 3156 / G - 2003

BYLAW NO. 3156/H-2003

Being a bylaw to amend Bylaw No. 3156/96, the Land Use Bylaw of the City of Red Deer.

COUNCIL OF THE CITY OF RED DEER, ALBERTA, ENACTS AS FOLLOWS:

- 1 The "Use District Map D7" contained in "Schedule B" of the Land Use Bylaw is hereby amended in accordance with the Land Use District Map No. 6/2003 attached hereto and forming part of the bylaw.

READ A FIRST TIME IN OPEN COUNCIL this 24th day of February 2003.

READ A SECOND TIME IN OPEN COUNCIL this day of 2003.

READ A THIRD TIME IN OPEN COUNCIL this day of 2003.

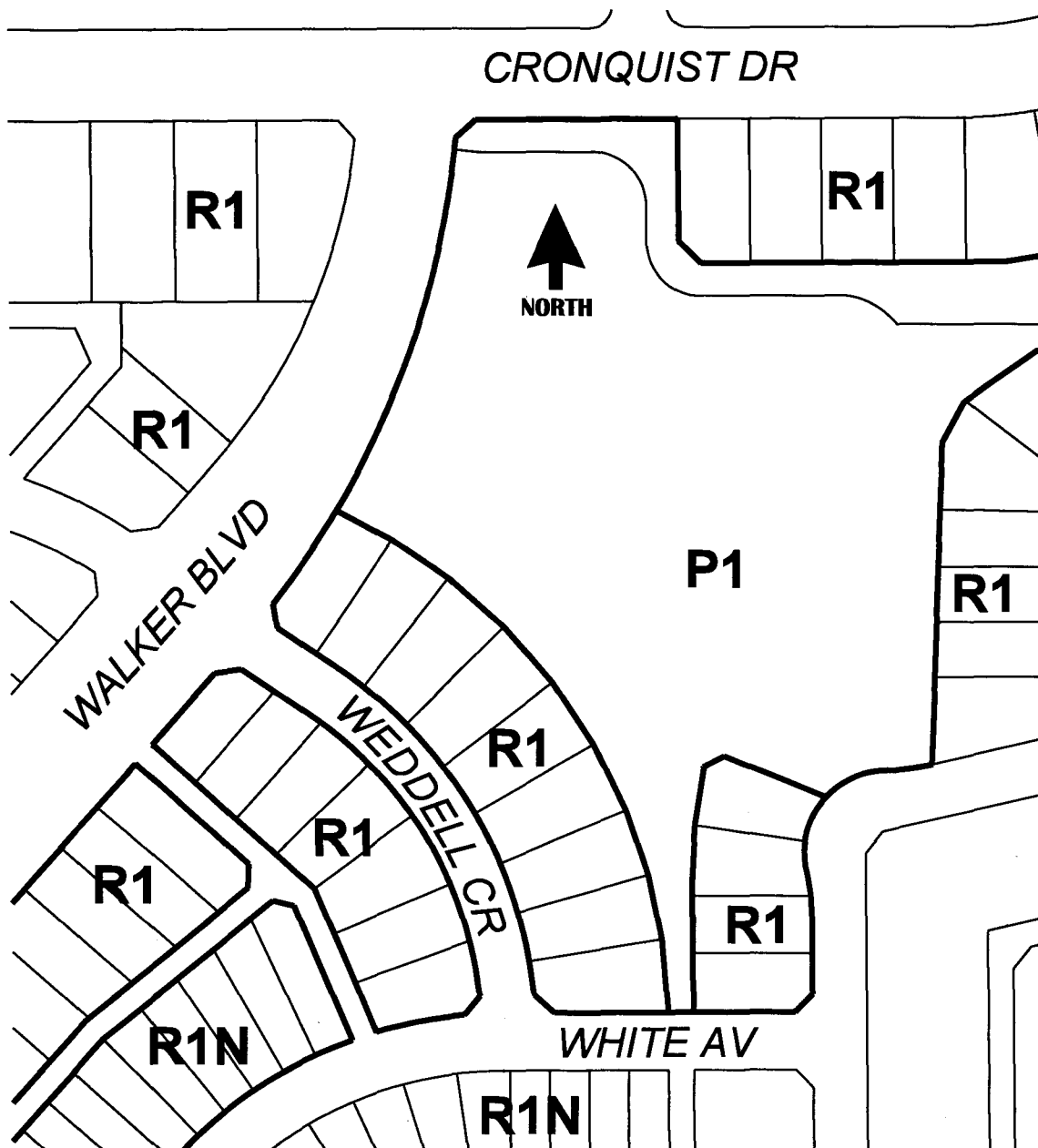
AND SIGNED BY THE MAYOR AND CITY CLERK this day of 2003.

MAYOR

CITY CLERK

The City of Red Deer

PROPOSED LAND USE BYLAW AMENDMENT



AFFECTED DISTRICTS:

R1 - Residential (Low Density)

R1N - Residential Narrow Lot

P1 - Parks & Recreation

MAP No. 6 / 2003

BYLAW No. 3156 / H - 2003

BYLAW NO. 3217/D-2003

Being a Bylaw to amend Bylaw No. 3217/98, the Bylaw adopting The City of Red Deer Neighbourhood Area Structure Plans, as described herein.

COUNCIL OF THE CITY OF RED DEER, ALBERTA, ENACTS AS FOLLOWS:

- 1 Bylaw 3217/98 with regard to the Anders Southeast (Aspen Ridge) Neighbourhood Area Structure Plan is amended by deleting therefrom the entire Anders Southeast (Aspen Ridge) Neighbourhood Area Structure Plan and substituting therefore, the attached amended Anders Southeast (Aspen Ridge) Neighbourhood Area Structure Plan, which forms part of this Bylaw.

READ A FIRST TIME IN OPEN COUNCIL this 24th day of March 2003.

READ A SECOND TIME IN OPEN COUNCIL this day of 2003.

READ A THIRD TIME IN OPEN COUNCIL this day of 2003.

AND SIGNED BY THE MAYOR AND CITY CLERK this day of 2003.

MAYOR

CITY CLERK

**NEIGHBOURHOOD AREA
STRUCTURE PLAN**

**ASPEN RIDGE
(ANDERS SOUTHEAST)**

**NE 1/4 Section 3, Township 38
Range 27, West of 4**

Prepared for:

Melcor Developments Ltd.

Prepared by:

Interplan Strategies Inc.

Al-Terra Engineering Ltd.

**Revised February 12, 2003
March 3, 2003**

97108

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1.0 INTRODUCTION AND PURPOSE

The subject site, Aspen Ridge, is located in southeast quadrant of the City at the intersection of 30th Avenue and 22nd Street (See Figure 1). To the north is the Anders East Outline Plan Area which is presently under development. To the west is the proposed Anders on the Lake Outline Plan area. To the east is the future 30th Avenue arterial road right of way and to the south the future 22nd Street undivided arterial road right of way.

The site is situated within the East Hill Area Structure Plan adopted by Council on April 20, 1998. The site, containing 160 acres (64.9 ha) more or less, is legally described as the NE ¼ Section 3, Township 38, Range 27, West of the 4th Meridian.

Al-Terra Engineering is hereby submitting, on behalf of Melcor Developments Ltd., an application for Neighbourhood Area Structure Plan approval for primarily residential and associated land uses. The plan submitted acknowledges the known edge conditions on all four sides of the site.

The following sections of this report discuss policy framework, site characteristics, proposed land uses, development densities, municipal reserve, and open space requirements, transportation considerations, proposed site servicing and development phasing.

2.0 POLICY FRAMEWORK

On April 20, 1998 City of Red Deer Council adopted the revised East Hill Area Structure Plan (Bylaw 3207/98). The Area Structure Plan allows for the primary use of land for residential purposes.

Other land uses indicated in the Area Structure Plan include a public elementary/middle school site in conjunction with a neighbourhood centre, a commercial site, and a fire hall site along 22nd Street. The road network shows both 30th Avenue on the east and 22nd Street on the south as arterial roads. The network also shows a collector street loop through the site connecting from Anders East on the north to the future Anders on the Lake to the west. Collector links to 30th Avenue and the future 22nd Street are also shown. The City of Red Deer has established the precise location for the intersection of the collector link with 30th Avenue.

The East Hill Area Structure Plan is implemented by Outline Plans for each quarter section.

Other City documents such as the Planning and Subdivision Guidelines, the Community Services Master Plan, Ecological Profiles and the Land Use Bylaw govern the more detailed elements of the planning process.

3.0 SITE CHARACTERISTICS

3.1 Legal Description and Ownership

The subject site is legally described as the NE ¼ Section 3, Township 38, Range 27 West of the 4th Meridian. The quarter section is comprised of two titles:

ASPEN RIDGE NEIGHBOURHOOD AREA STRUCTURE PLAN

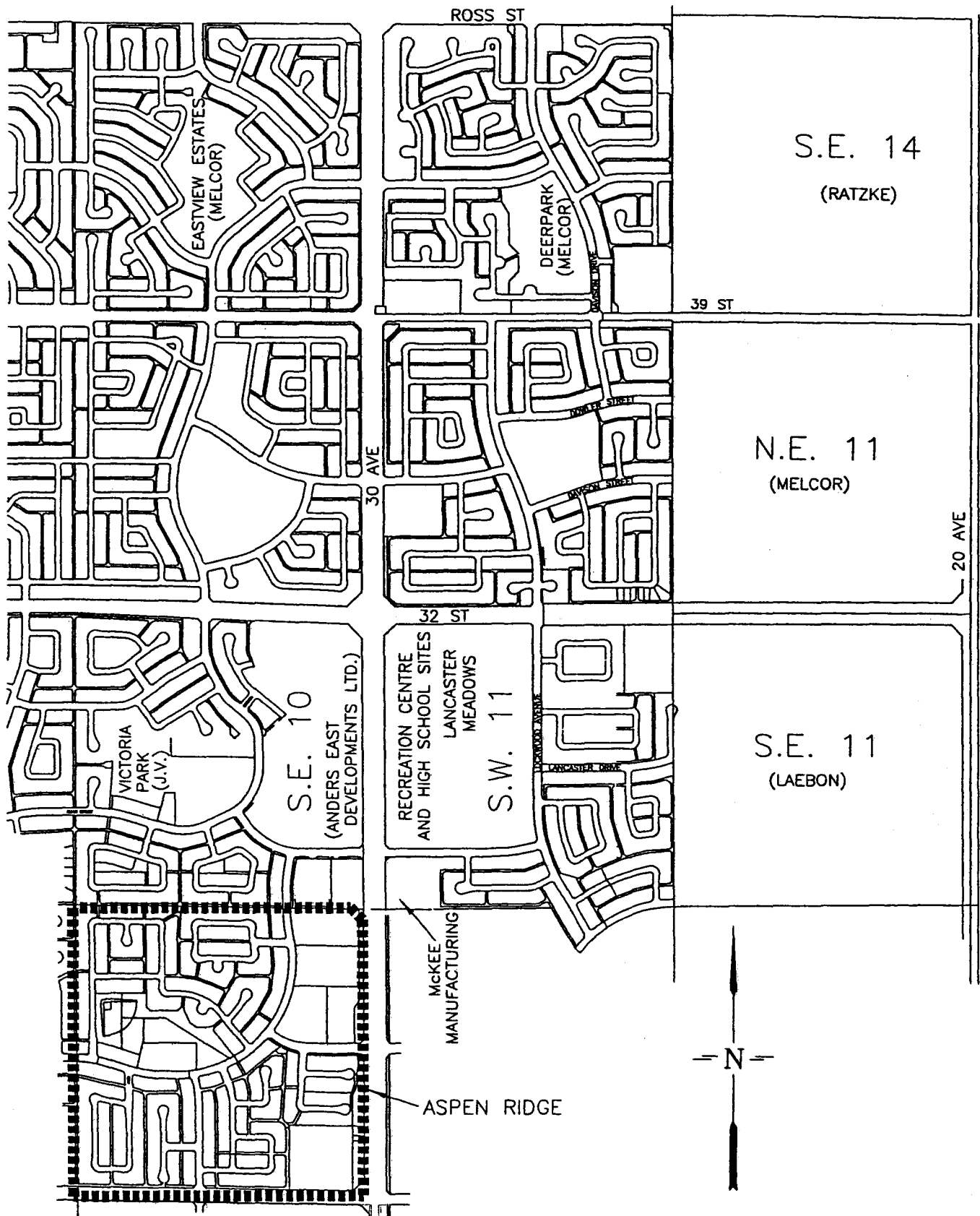


FIGURE 1
LOCATION

SCALE 1:15000
REVISED: MAR 03/03

CONCEPT BY:
INTERPLAN STRATEGIES INC.

PREPARED BY: **AL-TERRA**
ENGINEERING LTD.

EDMONTON

RED DEER

- A twenty-one acre parcel in the northeast corner, which was previously owned by five individuals, each with an undivided 1/5 interest. Melcor Developments Ltd. purchased this land parcel.
- The balance of the quarter section is owned by Melcor Developments Ltd.

The appropriate titles are included in Appendix 1.

3.2 Site Area

The site area is as follows:

Total Site	160.31 Ac (64.88 Ha)
Less – Major Road Widening	<u>(11.43 Ac) (4.63 Ha)</u>
Developable Area	148.88 Ac (60.25 Ha)

3.3 Existing Land Use

The subject site is presently under cultivation. There are two existing residences on the site. One is on the 21 acre parcel in the north east corner, the other is located further to the south.

The entire quarter section is presently designated A-1 Future Urban Development District by The City of Red Deer Land Use Bylaw No. 3156/96. The general purpose of this District is

“to ensure that development on lands required for future urban development is restricted to ensure that future development may proceed in an orderly and well planned fashion, in keeping with the intent of the General Municipal Plan.”

A re-designation to appropriate urban land use districts is therefore required before any urban development can occur.

3.4 Land Form

The site generally slopes from east to northwest from an elevation of approximately 909.5m on the eastern edge to an elevation of 889.5m in the northwest corner (see Figure 2). A fairly prominent ridge is located in the east central portion of the site. There is also a significant row of trees along the eastern boundary of the site extending from section line at the north to the future 22nd Street right of way at the south. The recently completed Ecological Profile for the area identified the trees as a northwest poplar and caragana windbreak. Recommendation R5-a of the Profile states that all of the large poplar trees along the west side of 30th Avenue should be maintained.

ASPEN RIDGE NEIGHBOURHOOD AREA STRUCTURE PLAN

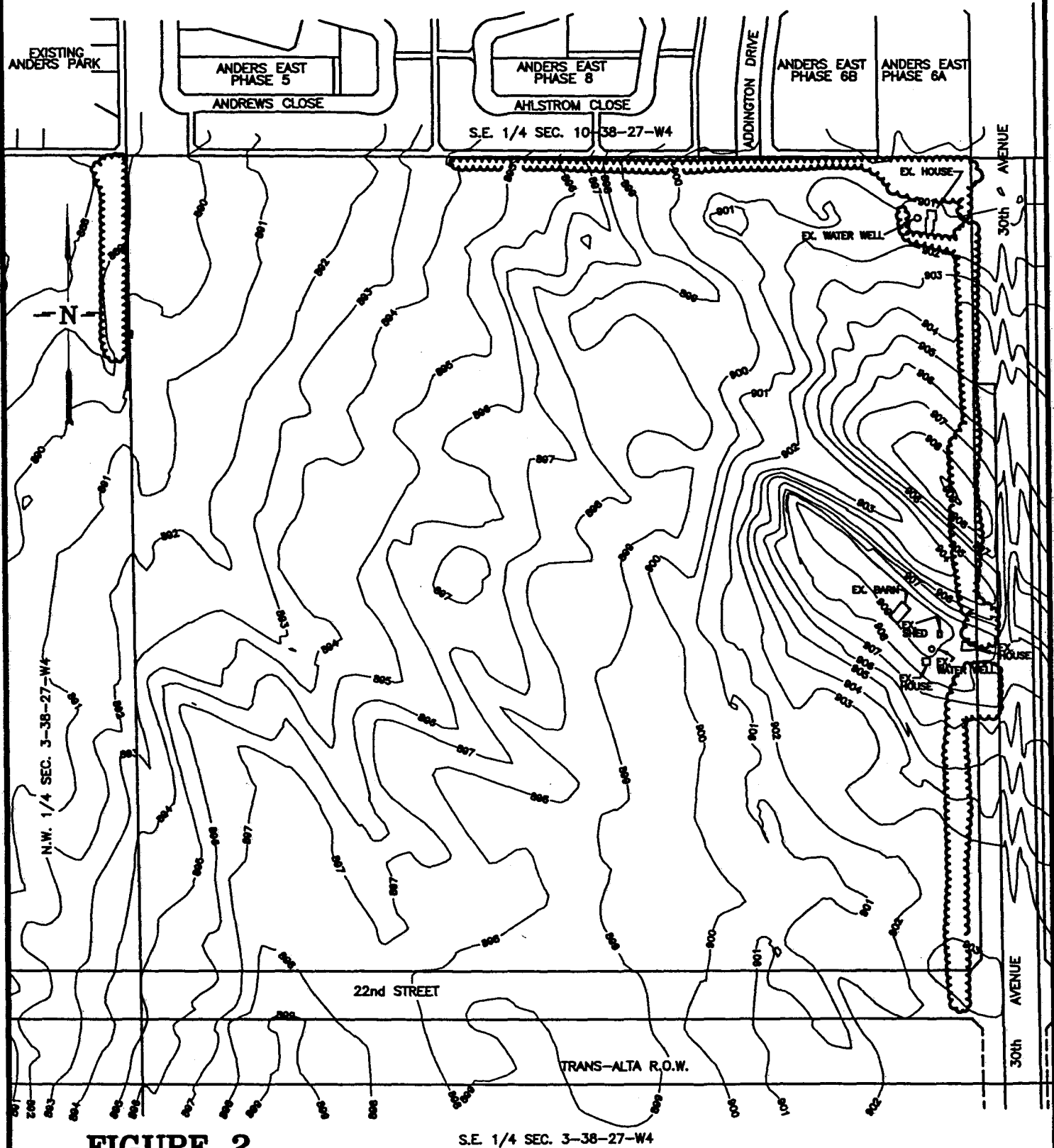


FIGURE 2
SITE FEATURES

S.E. 1/4 SEC. 3-38-27-W4

LEGEND:

- 800 ——— ORIGINAL GROUND CONTOURS
- ORIGINAL TREELINE

AL-TERRA
ENGINEERING LTD.

BRANDON

RED LINE

The Profile also identifies a natural poplar windbreak along the north and west boundaries of the site. While recommendation R6-b recommends that the present natural stand of trees in the northeast corner be preserved, recommendation R6-a acknowledges that preservation of the windbreak trees along the west and north boundary is not possible due to servicing and development requirements.

Recommendation R7 also suggests that an attempt should be made to incorporate the landscaping and present trees around the existing two residences in a comprehensive housing development.

3.5 Access

Access to the site is presently available from 30th Avenue, and from the north/south collector stub from Avery Street. An ultimate access location to 30th Avenue has been established at approximately the midpoint along 30th Avenue.

3.6 Servicing

The site can be full-serviced with sewer, water and storm water utilities (assuming storm water management techniques are implemented) and shallow utilities from existing utilities immediately adjacent.

3.7 Environmental Considerations

A Phase 1 Environmental Site Assessment has been completed.

3.8 Existing Power Line

There is an existing TransAlta overhead power line right of way situated immediately to the south of subject parcel. This power line will remain in its present location.

3.9 Road Widening

A road widening of 20 metres is required along the eastern boundary of the subject site south of the 21 acre parcel (the 20m widening has already been provided adjacent the 21 acre parcel). This widening is required to provide the necessary right of way for the future arterial street.

A 37.5 metre right of way is required along the southern boundary of the site, adjacent to and north of the TransAlta right of way. The right of way is required for the future 22nd Street arterial. A reduction in right of way width from the typical 60 metres to 37.5 metres is possible because of the relationship to the power right of way, which can serve as the southerly buffer/berm.

4.0 DEVELOPMENT PROPOSAL

Based on the developer's intent, City policies, and site characteristics, a Neighbourhood Area

Structure Plan has been prepared for Aspen Ridge. The components of the Neighbourhood Area Structure Plan are development concept, density and population, open space, transportation, servicing and phasing.

4.1 Development Concept

The intent of the design of overall Aspen Ridge area is to provide a comprehensively planned residential community with an emphasis on integrating land uses, preserving existing trees and at the same time capitalizing on the potential of a good transportation infrastructure.

The Aspen Ridge Neighbourhood Area Structure Plan incorporates the policies contained in the East Hill Area Structure Plan and other City of Red Deer guideline and policy documents. The Plan, based to a large extent on the client's concept, is intended to provide the opportunity for a variety of residential product types. This is an especially important factor when considering the dynamics of the present day market.

The proposed Neighbourhood Area Structure Plan is contained in Figure 3.

4.2 Neighbourhood Structure

The plan places a possible emergency services/community facility, possible church site, and other possible public facilities such as the social care site at or near a future main entrance to the community. These neighbourhood amenities and the central neighbourhood park are intended to create the focus of the community and are therefore strategically located in terms of both vehicular and pedestrian networks.

Allowance is made in the plan for higher density housing in the northeast portion of the plan area adjacent to the amenity provided by the tree stand that is incorporated into the plan. It is anticipated that this residential cluster will be targeted toward the mature adult segment of the market with the intent to preserve most of the significant trees in the housing development.

A portion of the south east corner of the plan is set aside for a future commercial development at the intersection of 30th Avenue and the future 22nd Street.

Single family detached houses and possibly some semi-detached housing will be distributed throughout the remainder of the community. Although the vast majority of these units will be provided with rear lanes, a small percentage that back onto open space such as parks, storm retention facilities and the treed area will be laneless. As indicated in Figure 3, a portion of the lots is intended to accommodate 2 storey residences with walkout basement.

The lot size, which will be determined at the subdivision stage, is intended to vary in width, thus encouraging a variety of residential building product.

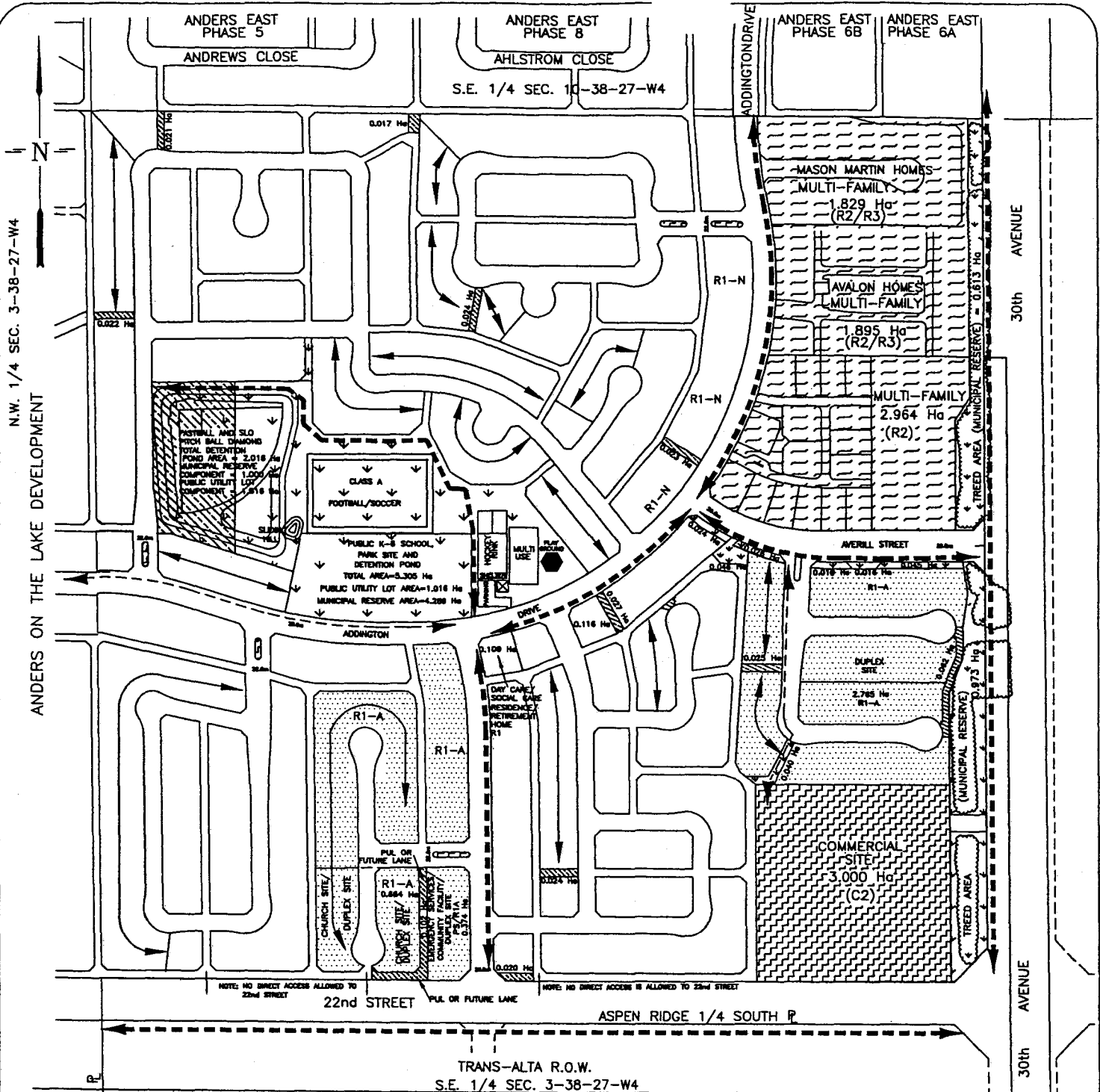


FIGURE 3 DEVELOPMENT CONCEPT

SCALE 1:5000

REVISED MAR 03/03

AL-TERRA
ENGINEERING LTD.
EDMONTON RED DEER

4.3 Land Use Distribution

Aspen Ridge is a comprehensively planned residential community consisting of residential and ancillary land uses. Table 1 below outlines the land use distribution.

Table 1 - Neighbourhood Area Structure Plan Statistics

Land Use	Acres	Hectares	Percentage
Single Family Detached (R1)	57.12	23.115	38.4%
Single Family Detached - Narrow (R1-N)	2.68	1.086	1.8%
Duplex Lots (R1-A)	11.24	4.547	7.5%
Residential – Multi-family (R2/R3)	9.20	3.724	6.2%
Residential – Multi-family (R2)	7.32	2.964	4.9%
Church Site/Duplex Site (R1-A)	1.64	0.664	1.1%
Day Care/Social Care Residence/Retirement Home (R1)	0.27	0.109	0.2%
Commercial Site (C2)	7.41	3.000	5.0%
Emergency Services / Community Facility/Duplex Site (PS/R1-A)	0.93	0.374	0.6%
School Site, Park & Walkways (PS)	11.13	4.505	7.5%
Storm Detention Pond	2.51	1.016	1.7%
Treed along 30th Avenue (P1)	3.92	1.586	2.6%
Public Utility Lots	0.93	0.374	0.6%
Streets and Lanes	32.58	13.185	21.9%
TOTAL DEVELOPABLE AREA	148.88	60.249	100.0%

Table 1 illustrates that 58.8 per cent of the Neighbourhood Area Structure Plan Area is for residential uses, 12.4 per cent for treed areas and open space including a storm detention pond, 21.9 per cent is dedicated for streets and lanes, 5.0 per cent for commercial development and the balance for other related uses.

4.4 Residential

The low density residential areas are proposed for predominately R1 single detached dwellings, a portion R1-A which may accommodate semi detached dwellings as well as detached dwellings, and a small number of R1-N single detached dwellings.

The residential (R2 and R2/R3) medium density area in the northeast portion of the Neighbourhood Area Structure Plan is proposed for a mix of product type. The R2 units consist of 64 fourplex units and 99 units in an apartment style senior's community. The R2/R3 units consist of 116 typical condominium units.

Multi-family units are often assumed to have two or more bedrooms. Under this scenario, the typical allowance for persons per unit would be 3.0. However, the senior's apartment complex, containing 99 units will not have a population density of 3.0 persons per unit. Instead, we have used a multi family/townhouse number of 2.2 persons per unit.

The resulting estimated population density calculation is summarized in Table 2 as follows:

Table 2 - Estimated Population Density

Land Use	Number of Dwelling Units	Number of Persons Per Unit	Total Population
Single Family - R1	359	3.4	1,221
Single Family - R1-N	25	3.4	85
Duplex - R1-A	156	3.3	515
Multi Family - R2/R3	180	3.0	540
Multi Family - R2	99	2.2	218.0
Totals:	819	-	2,579.0

Population density: $2579.0 \div 57.249\text{Ha} = 45.0$ persons per hectare

This density is within the allowable limit of 45 persons per hectare.

As illustrated in Table 2, the Neighbourhood Area Structure Plan, depending upon the actual lot size and land use, is anticipated to accommodate approximately 819 dwelling units and a population of approximately 2579 persons. Given this estimated unit count, the overall density for the Area Structure Plan Area is approximately 5.8 units per gross acre, and 45.0 Persons/Developable Hectare, with the commercial site area removed from the gross areas.

4.5 Open Space

The key components of the Open Space provisions in the Neighbourhood Area Structure Plan are discussed below, followed by a statement of municipal reserve calculations.

- Components

The components of the proposed Aspen Ridge open space which are cited below, include a neighbourhood school and park centre, east side linear park, and a dry storm retention facility.

a) Neighbourhood School and Park Facility

A 10.6 acre (4.29 ha) central neighbourhood school and park site is provided in the location indicated in the East Hills Area Structure Plan.

b) Linear Park

A 3.92 acre (1.59 ha) north south linear park, ranging from 13 to 30 metres in width, is proposed along the eastern edge of the quarter. The primary purpose for this park is to retain the existing tree stand.

A small 20 foot (6m) wide municipal reserve strip connects to the major linear park. In addition to providing this connection, this strip will serve to separate the rear of the residential lots and the collector roadway.

c) Storm Detention Facility

A storm detention facility is proposed to be part of the overall central park site. The total detention pond area is 4.99 acres (2.02 Hectares) of which 2.47 acres (1 Hectare) is municipal reserve.

- Municipal Reserve

In order to realize the open space network illustrated in the Plan, there will be a municipal reserve dedication of 15.05 acres (6.09 ha) which is 10.11 per cent of the developable area. This dedicated municipal reserve is comprised of the following elements:

	Acres (+/-)	Ha (+/-)
• Neighbourhood school and park	10.60	4.29
• Local Parks	0.53	0.22
• Linear Park (treed area)	3.92	1.59

4.6 Public Facilities

The Plan provides for a possible emergency services/community facility site, a church site, and a social care site.

4.7 Environmental Considerations

As indicated in Section 3.4 of this report and illustrated in Figure 2, the Ecological Profile Report for southeast Red Deer identifies the larger poplar trees along 30th Avenue and in the northeast corner as a Priority "A" for preservation. Most of the trees are included in the proposed municipal reserve strip. The remainder, where possible, will be incorporated in the development of the site. In addition, Recommendation R5-b of the Ecological Profile indicates that a 2.5 metre walking/biking trail be established along the west side of 30th Avenue. The Plan endeavours to accommodate these recommendations.

4.8 Commercial Site

The south east corner of the plan, as previously mentioned, shows a 7.41 acre (3.0 Ha) area set aside for commercial development (to be classified as C2). This area is a proposed location for a District Shopping Centre serving the surrounding community, and will be a major asset to the Aspen Ridge Plan. It will offer a close and convenient opportunity for residents in the area to do their grocery shopping. The proposed accesses for this development are full left-turn, right-turn from 22nd Street and a right-in, right-out entry from 30th Avenue (the City of Red Deer's Recreation, Parks and Culture Department has approved minimal tree removal for this purpose, providing that they are onsite during any tree removal. Adjacent natural vegetation will be preserved. The vegetation that is removed will be compensated by additional landscaping within the Commercial Site). With these entry points from the arterial roads, the traffic generated by the commercial development will have a minimum of impact on the residential areas. As well, the major walkway routes coupled with a short walk connection will allow pedestrian access to the shopping centre from within the neighbourhood.

5.0 TRANSPORTATION

5.1 Traffic Circulation Pattern

The traffic circulation pattern proposed in the Neighbourhood Area Structure Plan conforms to the East Hill Area Structure Plan. At some point in the future, there will be one arterial roadway, and one major collector roadway adjacent to the quarter section:

- 30th Avenue, along the east boundary of the quarter section will be an arterial roadway
- 22nd Street, along the south boundary of the quarter section will be a major collector roadway

Funds for construction of both roadways will come from the City of Red Deer off site levy fund.

Figure 3 illustrates the proposed roadway pattern for the subject quarter section. As illustrated, a looped collector road, Addington Drive, will extend from the Anders East quarter section, through the subject lands, and into the Anders On The Lake quarter section, which is located directly west of the subject quarter section. Collector roads will connect Addington Drive to 30th Avenue, and Addington Drive to 22nd Street.

30th Avenue currently exists as a four lane divided arterial cross section, to just past the mid point of Aspen Ridge quarter section, at Averill Street, tapering to a paved two lane rural cross section at the future 22nd Street intersection. 22nd Street is currently just a cultivated area.

Access to the subject lands for the first few phases of development will come from the Addington Drive collector road, located within Anders East, and from 30th Avenue. The primary access for the district shopping centre will come from 22nd Street.

For the P-loops, and long cul-de-sacs, accesses with medians are proposed to provide a divided access, in case of emergencies, where one side of the access is blocked by an obstruction.

5.2 Pedestrian Circulation Patterns

Figure 3 illustrates a continuous integrated pedestrian system throughout the quarter section, and along 30th Avenue and 22nd Street. Figure 4 illustrates the cross sectional details for the collector roadways. As illustrated on Figure 4:

- A 2.5 metre wide monolithic sidewalk will be installed along the east side of Addington Drive to where Addington Drive intersects with the collector roadway going south to 22nd Street. A 1.5 metre monolithic sidewalk will be installed along the west and north side of Addington Drive.
- A 2.5 metre wide monolithic sidewalk will be installed along the south side of the collector road extending from Addington Drive to 30th Avenue. A 1.5 metre monolithic sidewalk would be installed on the north side of this collector road.
- A 2.5 metre wide monolithic sidewalk will be installed along the east side of the collector roadway extending from Addington Drive to 22nd Street.
- As part of the arterial road construction for 30th Avenue, the pedestrian linkage will be continued along the west side of 30th Avenue. As part of the major collector road construction for 22nd Street, a 2.5m wide asphalt or concrete pedestrian linkage will be installed within the TransAlta right of way. The proposed locations are illustrated on Figure 3.

Two minor pedestrian linkages are illustrated on Figure 3. The first provides continuity along Addington Drive west to the collector road that connects Addington Drive to 22nd Street. The second provides a connection from Averill Street to the commercial site.

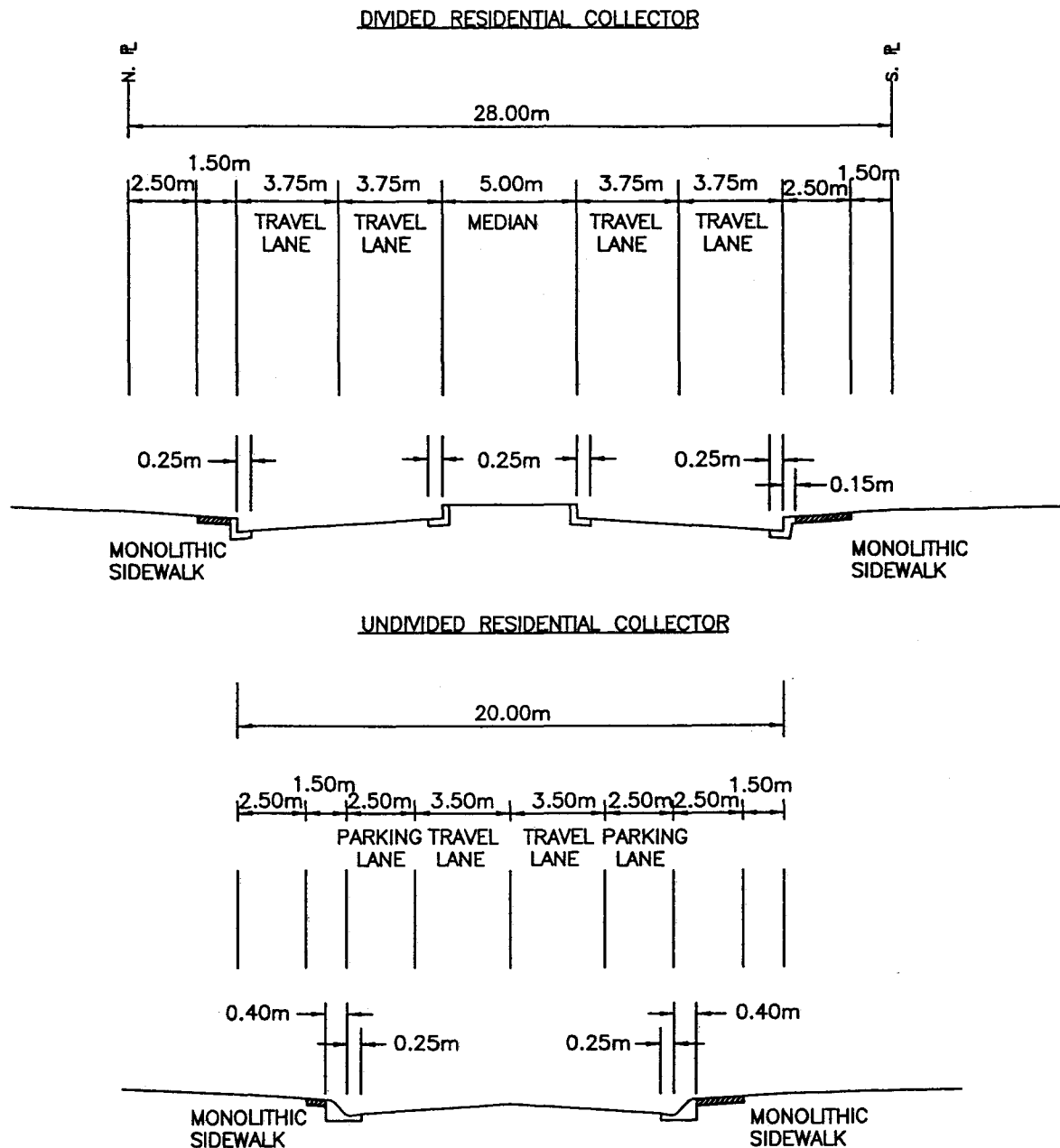
The pedestrian linkage system illustrated on the Neighbourhood Area Structure Plan connects key neighbour-hood elements and will enable residents to walk, run or ride bicycles through the community on a system of paths in open spaces or on boulevard walks that are separate from the roadways.

The pedestrian movement patterns are designed for both internal and external flows.

6.0 MUNICIPAL SERVICING

Most of the municipal services required to service this quarter section are existing. The exception is the storm trunk system. The remaining services are a direct extension of services located along the north boundary of the quarter section.

ASPEN RIDGE OUTLINE PLAN



NOTE: THE 2.5m MONOLITHIC SIDEWALK WILL BE LOCATED ALONG THE EAST AND NORTH SIDES OF ADDINGTON DRIVE, ALONG THE SOUTH SIDE OF THE COLLECTOR ROAD TO 30th AVENUE, AND ALONG THE EAST SIDE OF THE COLLECTOR ROAD TO 22nd STREET.

FIGURE 4
DIVIDED AND UNDIVIDED RESIDENTIAL
COLLECTOR ROADWAY DETAIL

PREPARED BY:

AL-TERRA
ENGINEERING LTD.

REVISED: SEPT 27/2002
REVISED: MAR 13/2001

EDMONTON

RED DEER

6.1 Storm Sewer System

The existing storm trunk system, which is routed through the Anders East quarter section, has capacity for 17.0 hectares of the subject quarter section. The remaining storm drainage, from the remainder of the quarter section, and the adjacent arterial roadways, must be routed to the storm detention pond located north of Addington Drive, toward the west side of the quarter section. The storm detention pond is combined with the neighbourhood school and park. From this storm detention pond, the allowable discharge will be routed westward, through storm sewer mains, ultimately to Piper Creek. The allowable discharge is as follows:

- 0.0013 cu.m/sec/ha for the 1 in 5 year storm
- 0.0036 cu.m/sec/ha for the 1 in 100 year storm event.

Approximately 46 hectares of land will drain into this storm detention pond. The pond must be sized to accommodate the runoff from a one in 100 year storm. The storage volume required in the detention pond, to accommodate this runoff, is approximately 27,000 cubic metres.

6.1.1 Minor Drainage System

Figure 5 illustrates the conceptual layout for the storm sewer system. Runoff for storms up to a one in five year event will be handled via a gravity, piped system. Even for the one in five year storm event, some storm water storage is required in the Anders East storm detention pond, or in the detention pond located within the Aspen Ridge quarter section.

Consideration will be given to providing a weeping tile drainage system for all lots. The storm system design will be completed in accordance with the City of Red Deer Design Guidelines.

6.1.2 Major Overland Drainage System

The major overland drainage will exist regardless of whether or not it is designed for. When there is too much storm runoff for the piped system to handle, the runoff will flow overland along the easiest path available. This will occur when the storm is greater than a one in five year event.

To accommodate this situation, roads and lanes will be designed to route the overland flow to either the storm detention in the Anders East quarter section, or to the proposed storm detention pond in the Aspen Ridge quarter section. Some ponding will also occur within the roads, lanes and municipal reserve lots. The detailed design process will ensure that the major overland drainage system is designed in accordance with the City of Red Deer Design Guidelines.

The major overland drainage system is illustrated on Figure 6.

ASPEN RIDGE NEIGHBOURHOOD AREA STRUCTURE PLAN

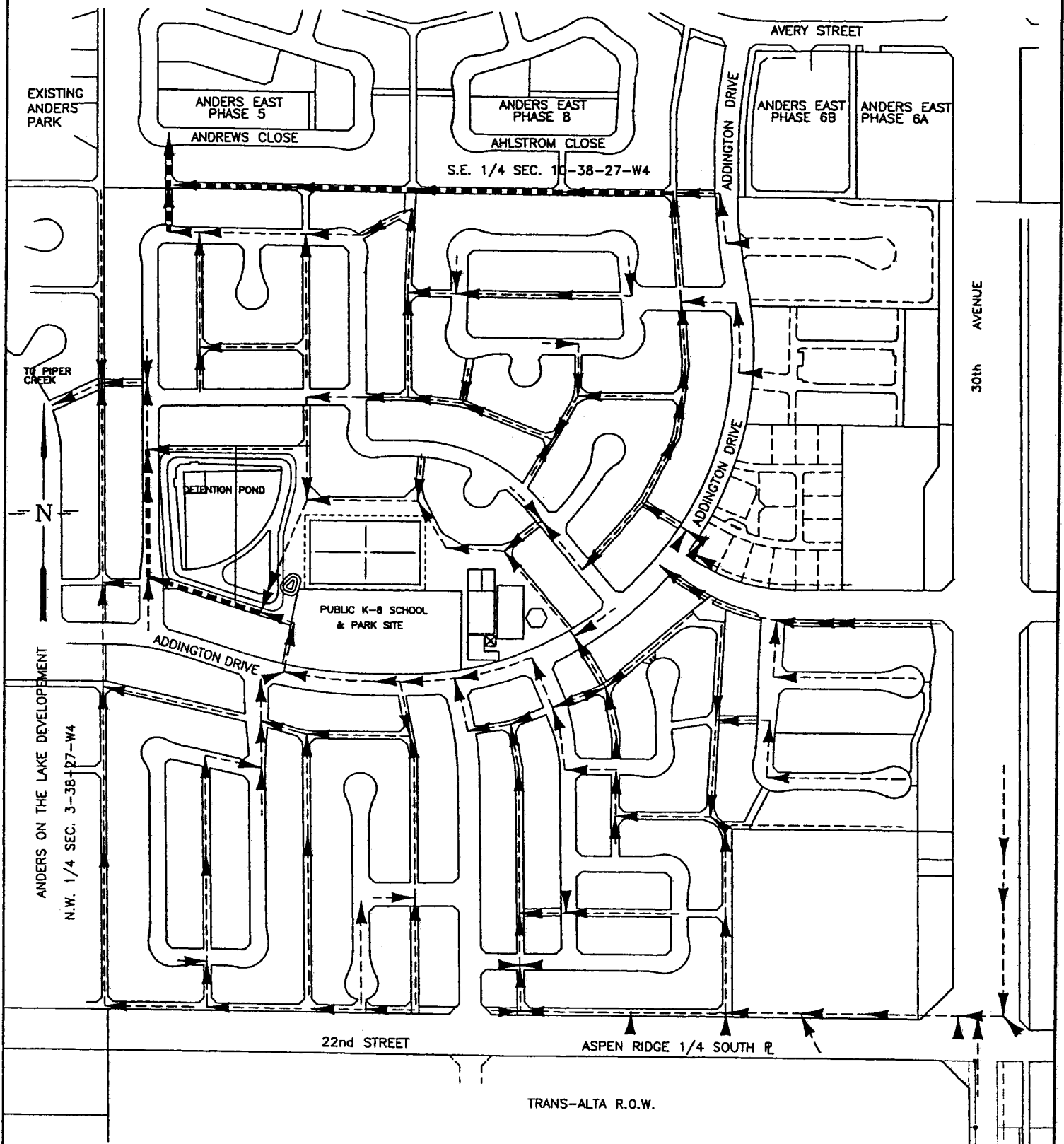


FIGURE 5
STORM SEWERS

SCALE 1:5000

REVISED: APR 10, 2001
REVISED: SEPT 13, 2002
REVISED: JAN 13, 2003
REVISED: FEB 12, 2003
REVISED: MAR 03, 2003

LEGEND:

STORM TRUNK
STORM SEWER



AL-TERRA
ENGINEERING LTD.

EDMONTON

RED DEER

6.1.3 Storm Detention Pond Cross Section

The City of Red Deer Recreation Parks and Culture Department requested that a cross section be provided to illustrate how the storm detention pond grades tie into the central park grades. Figure 6a illustrates this cross section and the location it is based on.

6.2 Sanitary Sewer System

The sanitary sewer system required to service the subject quarter section is a direct extension of the sanitary sewer system located within the Anders East quarter section, which is located directly to the north of the Aspen Ridge quarter section.

A 525 millimetre diameter sanitary sewer is stubbed into the northwest corner of the Aspen Ridge quarter section. The sanitary trunk system will be extended partially through the Aspen Ridge quarter section, and then will be routed westward, into the lane which abuts the west boundary of the Aspen Ridge quarter section. The sanitary sewer trunk will service this quarter section, and six additional quarter sections, located to the south, east and west of the Aspen Ridge quarter section. Figure 7 schematically illustrates the proposed layout for the sanitary sewer system. This drawing illustrates the proposed routing for the extension of the sanitary trunk system through the Aspen Ridge quarter section. It also illustrates the proposed location where the sanitary sewer force main will tie into the sanitary sewer trunk system. The sanitary sewer force main will extend from a sanitary lift station located on the NW ¼ Sec. 3-38-27-W4. This sanitary lift station will service four quarter sections of land located to the west and south of the Aspen Ridge quarter section.

All facilities required for the sanitary sewer system will be designed in accordance with City of Red Deer Design Guidelines.

6.3 Water Distribution System

The water distribution system required to service the Aspen Ridge quarter section is a direct extension of the water distribution system for the Anders East quarter section, located directly to the north. The largest water supply mains include:

- A 400 millimetre diameter water main stubbed off at the northwest corner of the quarter section. This water main will be extended along the west side of 30th Avenue.
- A 250 millimetre diameter water main which is existing or will be extended along the south property line of the Anders East quarter section.
- Water feeder mains will also be located along the north side of 22nd Street, and in the lane located adjacent to the west boundary of the Aspen Ridge quarter section.

ASPEN RIDGE NEIGHBOURHOOD AREA STRUCTURE PLAN

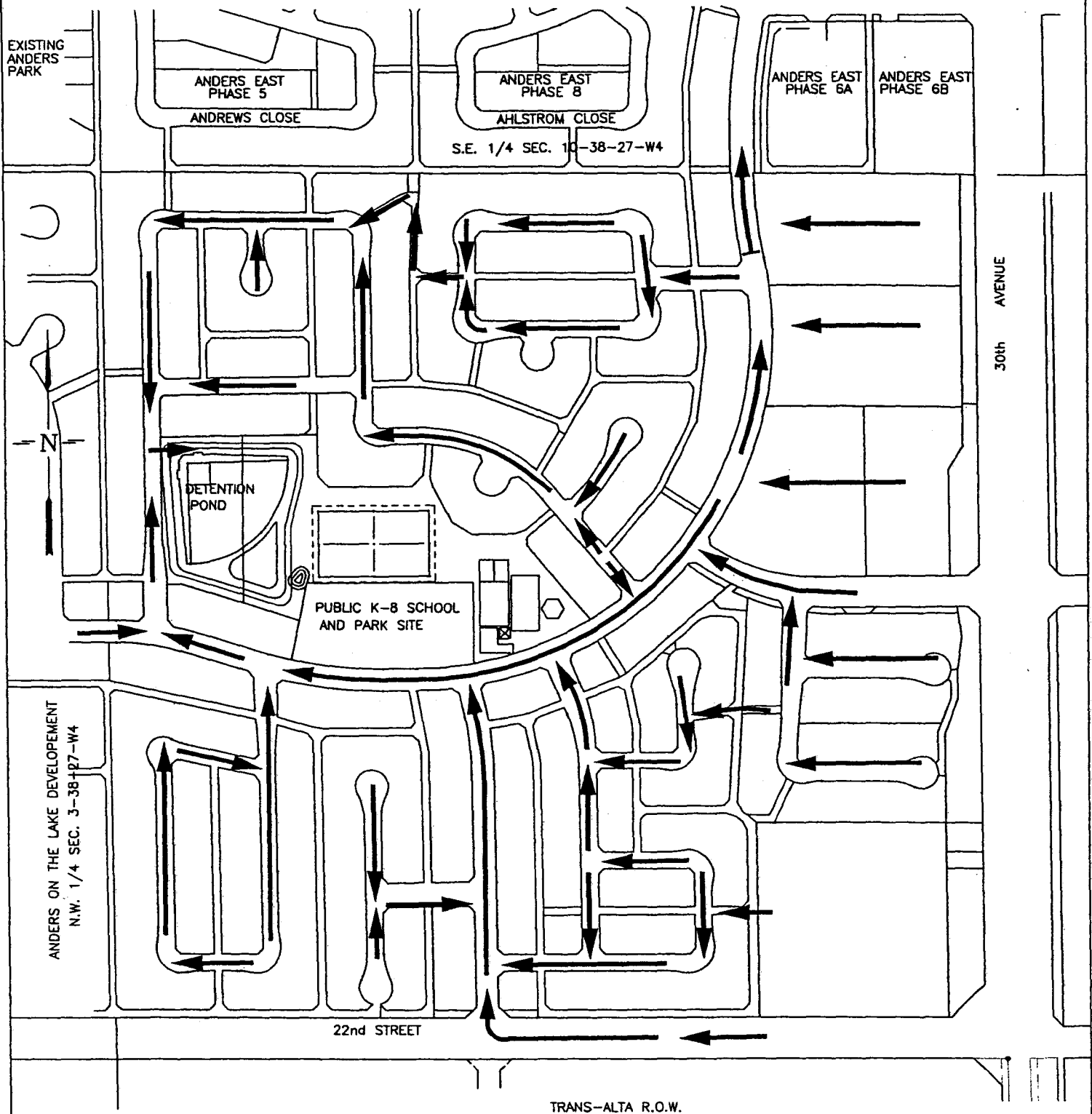


FIGURE 6
OVERLAND DRAINAGE
GREATER THAN 1:5
YEAR STORM EVENT

SCALE 1:5000

REVISED: APR 10, 2001
REVISED: SEPT 13, 2002
REVISED: JAN 13, 2003
REVISED: FEB 12, 2003
REVISED: MAR 03, 2003

LEGEND:
DIRECTION OF FLOW

AL-TERRA
ENGINEERING LTD.

EDMONTON

RED DEER

AL-TERRA ENGINEERING LTD.	
EXAMINER	JOB NO.
	DESIGN
	APPROVED
	APPROVED
	DATE
	PROJECT NAME
	PROJECT NO.
	SCALE
	DATE
	BY
	DATE
THE CITY OF RED DEER	
ASPEN RIDGE	
PUBLIC K-8 SCHOOL, PARK	
SITE AND DETENTION POND	
STORM DETENTION POND	
DESIGN GRADING	
FIGURE 5A	

ASPEN RIDGE NEIGHBOURHOOD AREA STRUCTURE PLAN

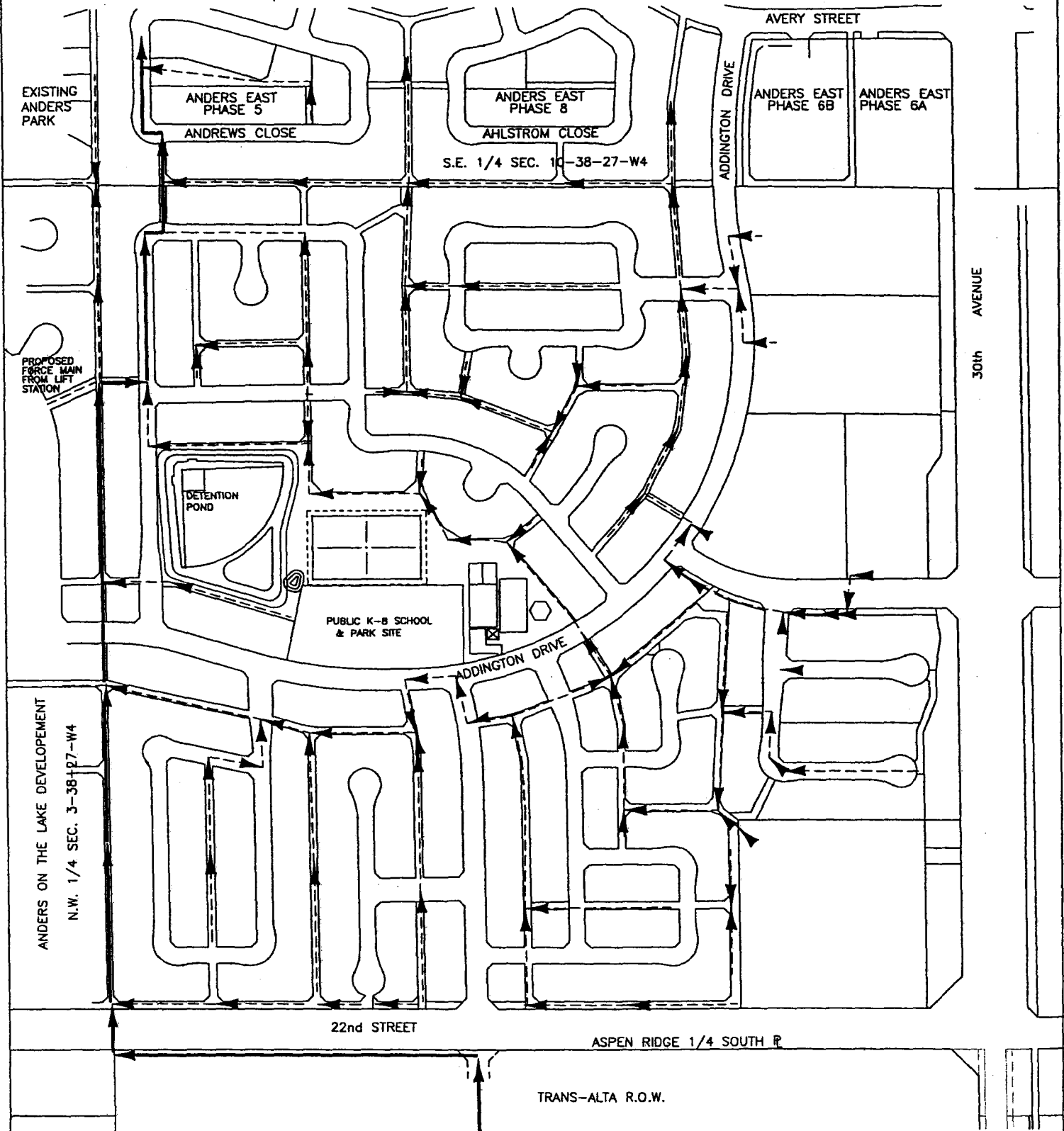


FIGURE 7 SANITARY SEWERS

SCALE 1:5000

REVISED: APR 10, 2001
 REVISED: SEPT 13, 2002
 REVISED: JAN 13, 2003
 REVISED: FEB 12, 2003
 REVISED: MAR 03, 2003

LEGEND:

SANITARY TRUNK —————→
 200mm SANITARY - - - - -→

AL-TERRA
 ENGINEERING LTD.

EDMONTON

RED DEER

Figure 8 conceptually illustrates the water feeder main routing, and the water distribution system for the quarter section. Computer modelling will be utilized to evaluate actual water main sizes within the quarter section.

All facilities for the water distribution system will be designed in accordance with City of Red Deer Design Guidelines.

6.4 Shallow Utilities

The City of Red Deer Electric Light and Power Department, Telus Corporation, Shaw Cable and Northwestern Utilities have been contacted regarding the subject quarter section. All of the franchise utilities have advised that there is adequate capacity to provide servicing in the general area. The utility companies will review and address the servicing alternatives in more detail during the circulation and review of the Neighbourhood Area Structure Plan.

7.0 REPORTS FROM SPECIALIZED CONSULTANTS

7.1 Geotechnical Report

The geotechnical report, prepared by Agra Earth & Environmental Ltd, was submitted to the City of Red Deer Engineering Department on April 03, 1998.

7.2 Phase 1 Environmental Site Assessment

The Phase 1 Environmental Assessment, prepared by Agra Earth & Environmental Ltd., was submitted to the City of Red Deer Engineering Department and Community Planning Services on April 07, 1998.

8.0 PHASING OF DEVELOPMENT

Figure 9 illustrates the proposed phasing for development. The present location of utilities dictates the first few phases of development. Market conditions will influence the actual phasing of later development.

ASPEN RIDGE NEIGHBOURHOOD AREA STRUCTURE PLAN

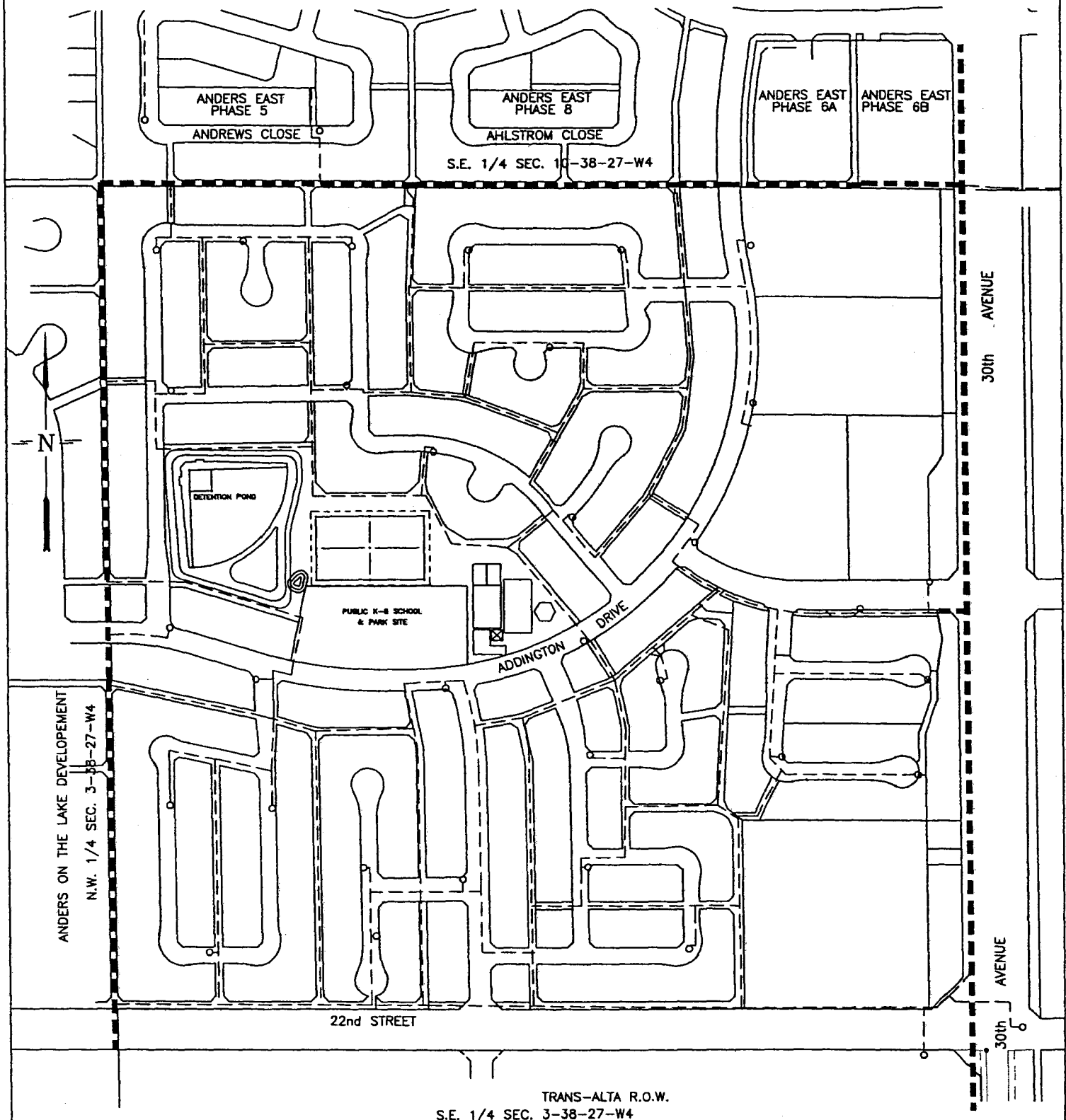


FIGURE 8 WATER DISTRIBUTION

SCALE 1:5000

REVISED APR 10, 2001
REVISED JAN 13, 2003
REVISED FEB 12, 2003
REVISED MAR 03, 2003

LEGEND

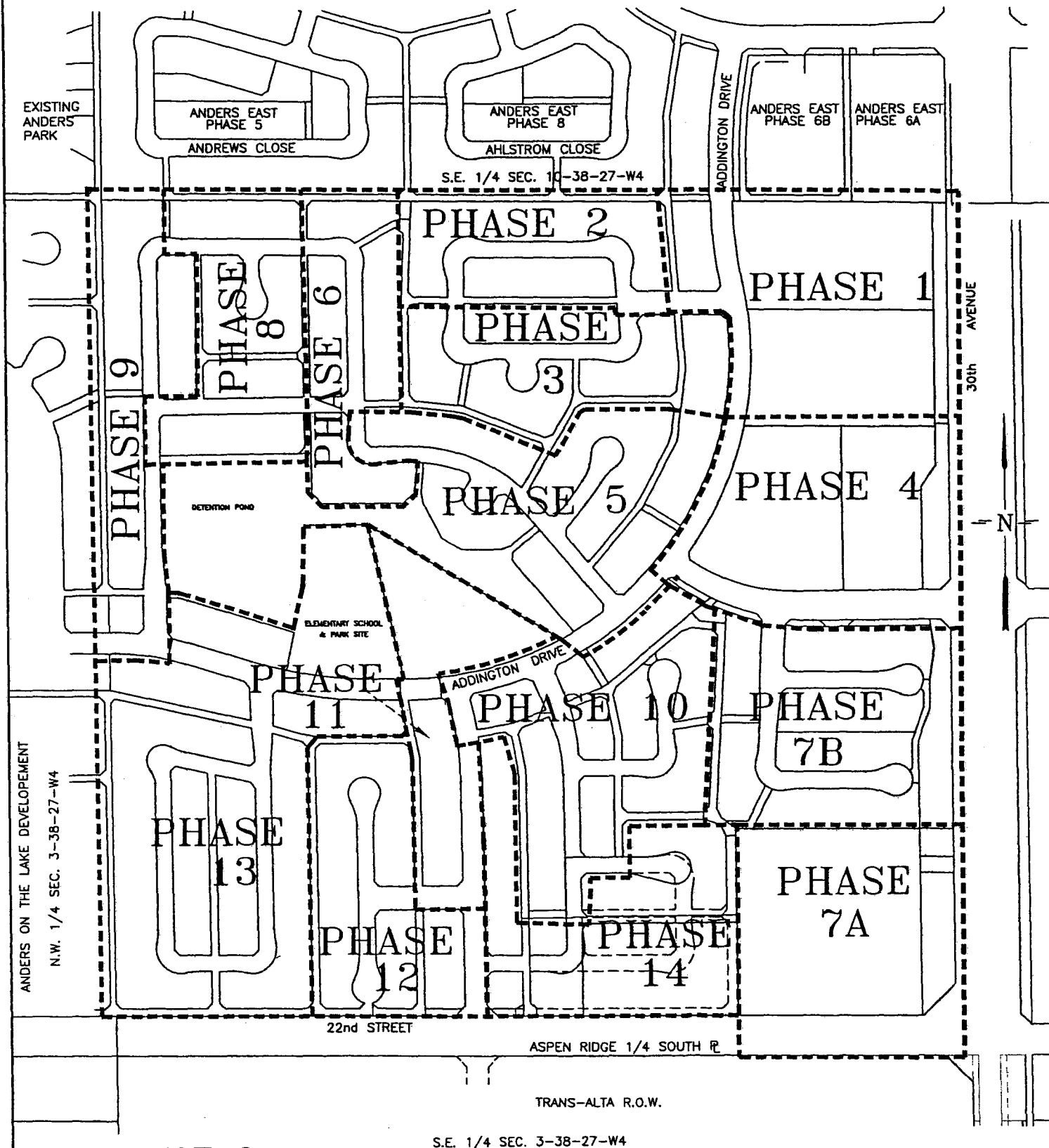
FEEDER WATER MAIN ————
WATER MAIN ————
HYDRANT O

AL-TERRA
ENGINEERING LTD.

EDMONTON

RED DEER

ASPEN RIDGE NEIGHBOURHOOD AREA STRUCTURE PLAN



**FIGURE 9
PHASING CONCEPT**

SCALE 1:5000

REVISED: MAR 03, 2003
REVISED: FEB 12, 2003
REVISED: JAN 13, 2003
REVISED: NOV 14, 2002
REVISED: JUNE 25, 2002
REVISED: MAY 31, 2002

LEGEND:

PHASE BOUNDARY -----

AL-TERRA
ENGINEERING LTD.

EDMONTON

RED DEER

BYLAW NO. 3156/K-2003

Being a Bylaw to amend Bylaw No. 3156/96, the Land Use Bylaw of The City of Red Deer as described herein.

COUNCIL OF THE CITY OF RED DEER, ALBERTA, ENACTS AS FOLLOWS:

- 1 The "Use District Map J5" contained in "Schedule B" of the Land Use Bylaw is hereby amended in accordance with the Land Use District Map No. 9/2003 attached hereto and forming part of the bylaw.

READ A FIRST TIME IN OPEN COUNCIL this 24th day of March 2003.

READ A SECOND TIME IN OPEN COUNCIL this day of 2003.

READ A THIRD TIME IN OPEN COUNCIL this day of 2003.

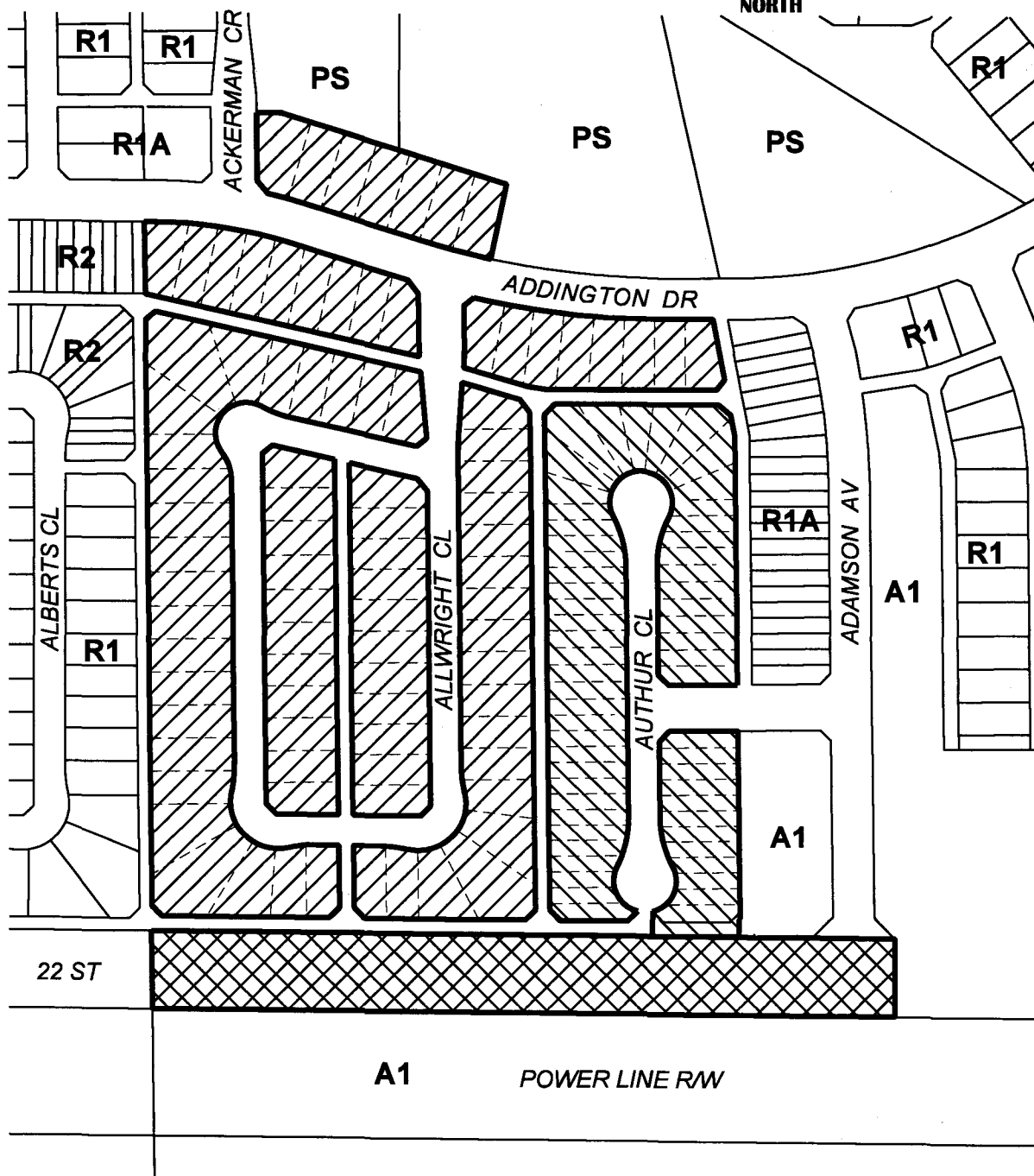
AND SIGNED BY THE MAYOR AND CITY CLERK this day of 2003.

MAYOR

CITY CLERK

The City of Red Deer

PROPOSED LAND USE BYLAW AMENDMENT



AFFECTED DISTRICTS:

A1 - Future Urban Development

R1 - Residential (Low Density)

R1A - Residential (Semi-Detached Dwelling)

Change from :

A1 to R1



A1 to R1A



A1 to Road



MAP No. 9 / 2003
BYLAW No. 3156 / K - 2003

BYLAW NO. 3156/M-2003

Being a bylaw to amend Bylaw No. 3156/96, the Land Use Bylaw of the City of Red Deer.

COUNCIL OF THE CITY OF RED DEER, ALBERTA, ENACTS AS FOLLOWS:

- 1 The "Use District Map I4" contained in "Schedule B" of the Land Use Bylaw is hereby amended in accordance with the Land Use District Map No. 11/2003 attached hereto and forming part of the bylaw.

READ A FIRST TIME IN OPEN COUNCIL this 24th day of March 2003.

READ A SECOND TIME IN OPEN COUNCIL this day of 2003.

READ A THIRD TIME IN OPEN COUNCIL this day of 2003.

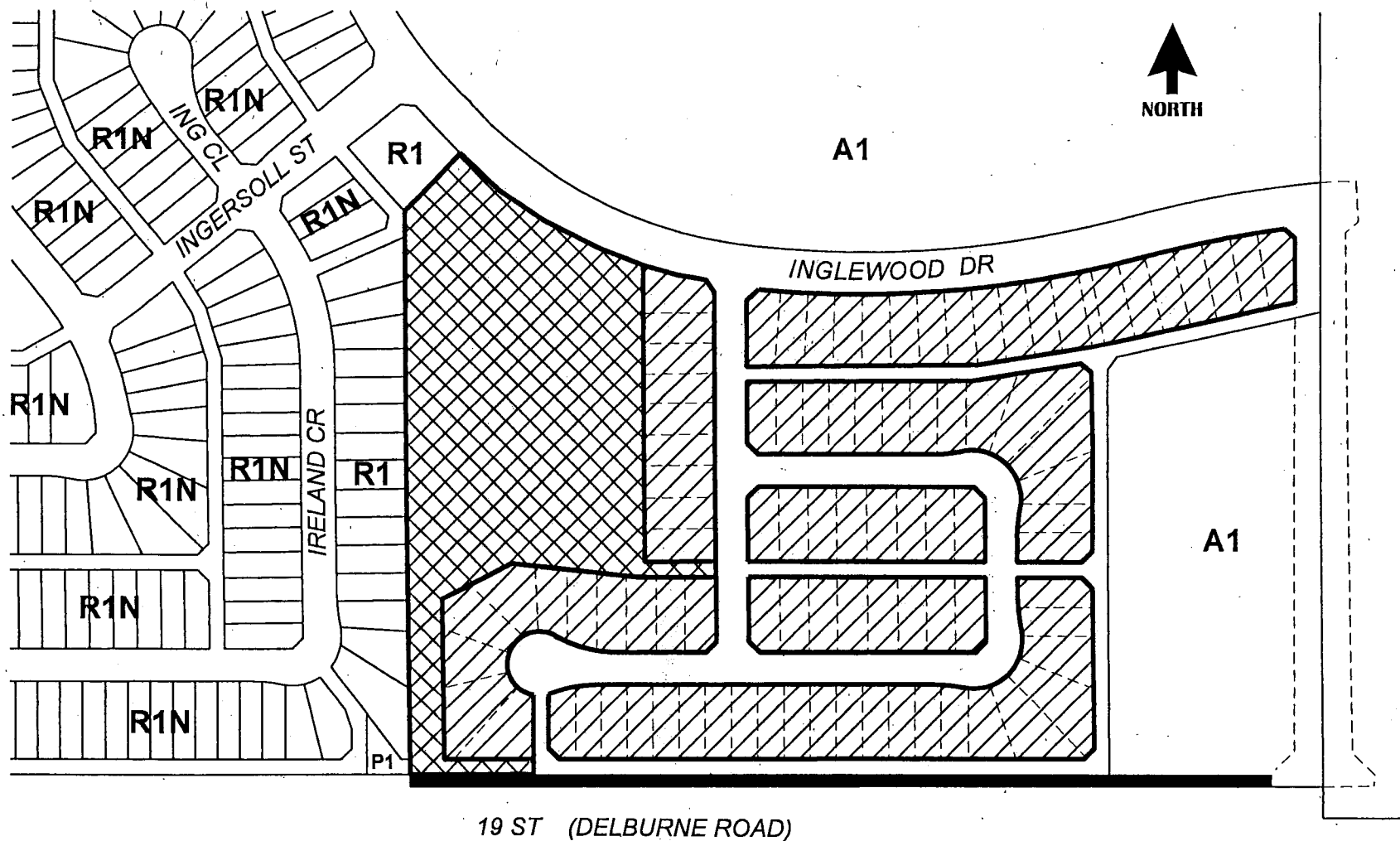
AND SIGNED BY THE MAYOR AND CITY CLERK this day of 2003.

MAYOR

CITY CLERK

The City of Red Deer

PROPOSED LAND USE BYLAW AMENDMENT



149

AFFECTED DISTRICTS:

A1 - Future Urban Development

R1 - Residential (Low Density)

P1 - Parks and Recreational

Change from :

A1 to R1



A1 to P1



A1 to Road



MAP No. 11 / 2003

BYLAW No. 3156 / M - 2003

BYLAW NO. 3156/N-2003

Being a bylaw to amend Bylaw No. 3156/96, the Land Use Bylaw of the City of Red Deer.

COUNCIL OF THE CITY OF RED DEER, ALBERTA, ENACTS AS FOLLOWS:

- 1 That Section 10 Plans and Information Required is amended by adding the new subsection (1)(d) as follows:

 "10 (1)(d) if a building or site is identified in the Heritage Significance District Subsection 221(7), and where the demolition of the existing building or site is proposed, the applicant shall submit the comments of the Heritage Preservation Committee as required under Section 221(5)"
- 2 That Section 199 R3 Residential (Multiple Family) District, Permitted Uses (subject to any Area Structure Plan or Area Redevelopment Plan) is amended by deleting Subsection (4) "Social Care Residences".
- 3 That Section 200 be amended by adding the following

 "200 (16) Social Care Residence"
- 4 That Subsection 177(5) R1 Residential Low Density District Regulations be deleted in whole and replaced with the following:

 "177 (5) Side Yard: Detached dwelling: minimum 1.5 m
 Notwithstanding the setbacks noted above, where the building flanks a public roadway, the setback on the flanking side shall be in accordance with Schedule A Figure 9."
- 5 That Subsection 176(6) Discretionary Uses, subject to any applicable Area Structure Plan or Area Redevelopment Plan) is amended by deleting "Retirement Home" and replacing it with "Retirement Home in a Single Family Dwelling".
- 6 That Subsections 176(7), 182(6), 192(11) and 200(13) Discretionary Uses (subject to any applicable Area Structure Plan or Area Redevelopment Plan) are deleted and replaced in whole by the following:

 "176 (7) Day Care Facility, Day Care Adult, Social Care Residence, Retirement Home, or Place of Worship or Assembly on sites which are so designated in an Area Structure Plan or Area Redevelopment Plan."

 "182 (6) Day Care Facility, Day Care Adult, Social Care Residence, Retirement Home, or Place of Worship or Assembly on sites which are so designated in an Area Structure Plan or Area Redevelopment Plan."

"192 (11) Day Care Facility, Day Care Adult, Social Care Residence, Retirement Home, or Place of Worship or Assembly on sites which are so designated in an Area Structure Plan or Area Redevelopment Plan."

"200 (13) Day Care Facility, Day Care Adult, Social Care Residence, Retirement Home, or Place of Worship or Assembly on sites which are so designated in an Area Structure Plan or Area Redevelopment Plan."

- 7 That Section 115 Permitted Uses, subject to any applicable Area Structure Plan or Area Redevelopment Plan is amended by deleting 115 (1) and replacing it with

"115 (1) Merchandise Sales and/or rental, servicing the neighbourhood only; excluding

- all uses where the primary focus is adult oriented merchandise and/or entertainment
- motor vehicles
- machinery
- fuel and
- liquor, beer or wine sales"

8. That Section 2 is amended by deleting the definitions for "Commercial Service Facility" and "Office" and substituting the following:

"Commercial Service Facility" means a facility in which services are provided commercially to individuals, and without limiting the generality of the foregoing, may include

- services related to the care and appearance of the body such as a massage business, beauty shop, barber shop, tanning salon or fitness centre
- cleaning and repair of personal effects such as shoe repair, dry cleaning or laundering outlet
- care of small animals such as a small animal veterinary clinic or dog grooming salon
- funeral home, financial or insurance services outlet, real estate agency, travel agency commercial school or day care

but does not include office."

"Office" means a development that provides professional, management, administrative, consulting and health care services, such as the offices of doctors, lawyers, accountants, engineers, architects, clerical, secretarial, employment, telephone answering and similar office support services."

- 9 That Section 2 is amended by adding in alphabetical order the following definitions:

"Institutional Housing" means any public or non profit housing which is designed for the treatment or care of persons who are in an institutional setting such as a monastery, nunnery or religious retreat or for residents incapable of independent

THIS PAGE OF BYLAW
CORRECTED - ERROR ON
ITEM 14 -
S/B "97 (16) SOCIAL CARE
RESIDENCE"
NOT
(15)
- CORRECTED MAY 11/03
C.R.K.

living but does not include a social care residence or retirement home.

"Hostel" means short term lodging for travelers where patrons pay for accommodation.

"Day Care Adult" means a facility providing care and/or supervision for 7 or more adults for more than three but less than 24 consecutive hours in a day.

"Gross Leasable Area" or "GLA" means the sum of the areas of the all plans of a building measured to the glass line, or where there is no glass line to the outside surface of the exterior walls, or where the buildings are separated by firewalls to the center line of the common firewall, and includes all floors totally or partially including basements, mezzanines and upper floors and all mechanical equipment areas.

10 Section 96(4) is amended by deleting "hostel".

11 Section 97 is amended by adding:

"97 (15) Hostel"

12 That Section 150(4)(b) is amended by deleting the term "personal service".

13 That Section 95 is amended by deleting the "General Purpose" and substituting the following:

"95 General Purpose

This district is located in the central area of the city with excellent road access, access to transit and a good pedestrian environment. In accordance with the Area Redevelopment Plan, this district is intended to act as the main office area for the city and provide a wide range of commercial, institutional, cultural and residential development. Generally, the land uses are to serve the city and region as a whole."

14 That Sections 97 and 104 be amended by adding "Social Care Residence" as a discretionary use;

"97 (16) Social Care Residence
104 (18) Social Care Residence"

15 That Subsection 109(8) "Office in total not to exceed 5% of the gross leasable area of the whole shopping centre" be deleted in whole.

16 That Subsection 108(4) "Office in total not to exceed 5% of the gross leasable area of the whole shopping centre" be deleted in whole and the following use be substituted:

living but does not include a social care residence or retirement home.

“Hostel” means short term lodging for travelers where patrons pay for accommodation.

“Day Care Adult” means a facility providing care and/or supervision for 7 or more adults for more than three but less than 24 consecutive hours in a day.

“Gross Leasable Area” or “GLA” means the sum of the areas of the all plans of a building measured to the glass line, or where there is no glass line to the outside surface of the exterior walls, or where the buildings are separated by firewalls to the center line of the common firewall, and includes all floors totally or partially including basements, mezzanines and upper floors and all mechanical equipment areas.

10 Section 96(4) is amended by deleting “hostel”.

11 Section 97 is amended by adding:

“97 (15) Hostel”

12 That Section 150(4)(b) is amended by deleting the term “personal service”.

13 That Section 95 is amended by deleting the “General Purpose” and substituting the following:

“95 General Purpose

This district is located in the central area of the city with excellent road access, access to transit and a good pedestrian environment. In accordance with the Area Redevelopment Plan, this district is intended to act as the main office area for the city and provide a wide range of commercial, institutional, cultural and residential development. Generally, the land uses are to serve the city and region as a whole.”

14 That Sections 97 and 104 be amended by adding “Social Care Residence” as a discretionary use;

“97 (15) Social Care Residence
104 (18) Social Care Residence”

15 That Subsection 109(8) “Office in total not to exceed 5% of the gross leasable area of the whole shopping centre” be deleted in whole.

16 That Subsection 108(4) “Office in total not to exceed 5% of the gross leasable area of the whole shopping centre” be deleted in whole and the following use be substituted:

- "108 (4) Office in total not to exceed 10% of the gross leasable area of the whole shopping centre"
- 17 That Section 54 Exceptions Respecting Land Use is amended by deleting Subsections 54(4)(g) and 54(4)(i) in whole.
- 18 That Subsection 117(9) C3 Commercial (Neighbourhood Convenience) District Regulations be deleted and replaced in whole with the following:
- | | | | |
|----------|-----------|---------|----------------------|
| "117 (9) | Site Area | minimum | 378m ² |
| | | maximum | 4047m ² " |
- 19 That Subsection 111(7) C2 Commercial (District Shopping Centre) District Regulations be deleted and replaced in whole with the following:
- "111 (7) Health and Medical Services
- 20 That Section 44 be deleted and replaced in whole with the following:
- "Except for one commercial vehicle of tare weight, not exceeding 4000 kg which may be parked in the rear yard, no motor vehicle other than a passenger vehicle shall be parked on a site in any residential district for longer than is necessary to load or unload the same."

READ A FIRST TIME IN OPEN COUNCIL this 24th day of March 2003.

READ A SECOND TIME IN OPEN COUNCIL this day of 2003.

READ A THIRD TIME IN OPEN COUNCIL this day of 2003.

AND SIGNED BY THE MAYOR AND CITY CLERK this day of 2003.

MAYOR

CITY CLERK

BYLAW NO. 3156/R-2003

Being a Bylaw to amend Bylaw No. 3156/96, the Land Use Bylaw of The City of Red Deer as described herein.

COUNCIL OF THE CITY OF RED DEER, ALBERTA, ENACTS AS FOLLOWS:

1. 221(7) With reference to Section 221, the Historic Significance District:
The buildings and/or sites, which are included in this district, are amended by adding:

HISTORIC SITE BUILDING	STREET ADDRESS	LEGAL DESCRIPTION	DESIGNATION
Fabretti Residence	5001 – 43 Avenue	Lot 10, Block 6, Plan 758KS	Historic Significance
Farthing Block	4930 Ross Street	Lots 7 - 9, Block 17, Plan H	Historic Significance
Golden Circle	4620 – 47 Avenue	Lot 1, Block C, Plan 842 2029	Historic Significance
Park Hotel (Park Place)	4919 - 4920 Ross Street	Lots 10 - 15, Block 17, Plan H	Historic Significance

READ A FIRST TIME IN OPEN COUNCIL this day of A.D. 2003.

READ A SECOND TIME IN OPEN COUNCIL this day of A.D. 2003.

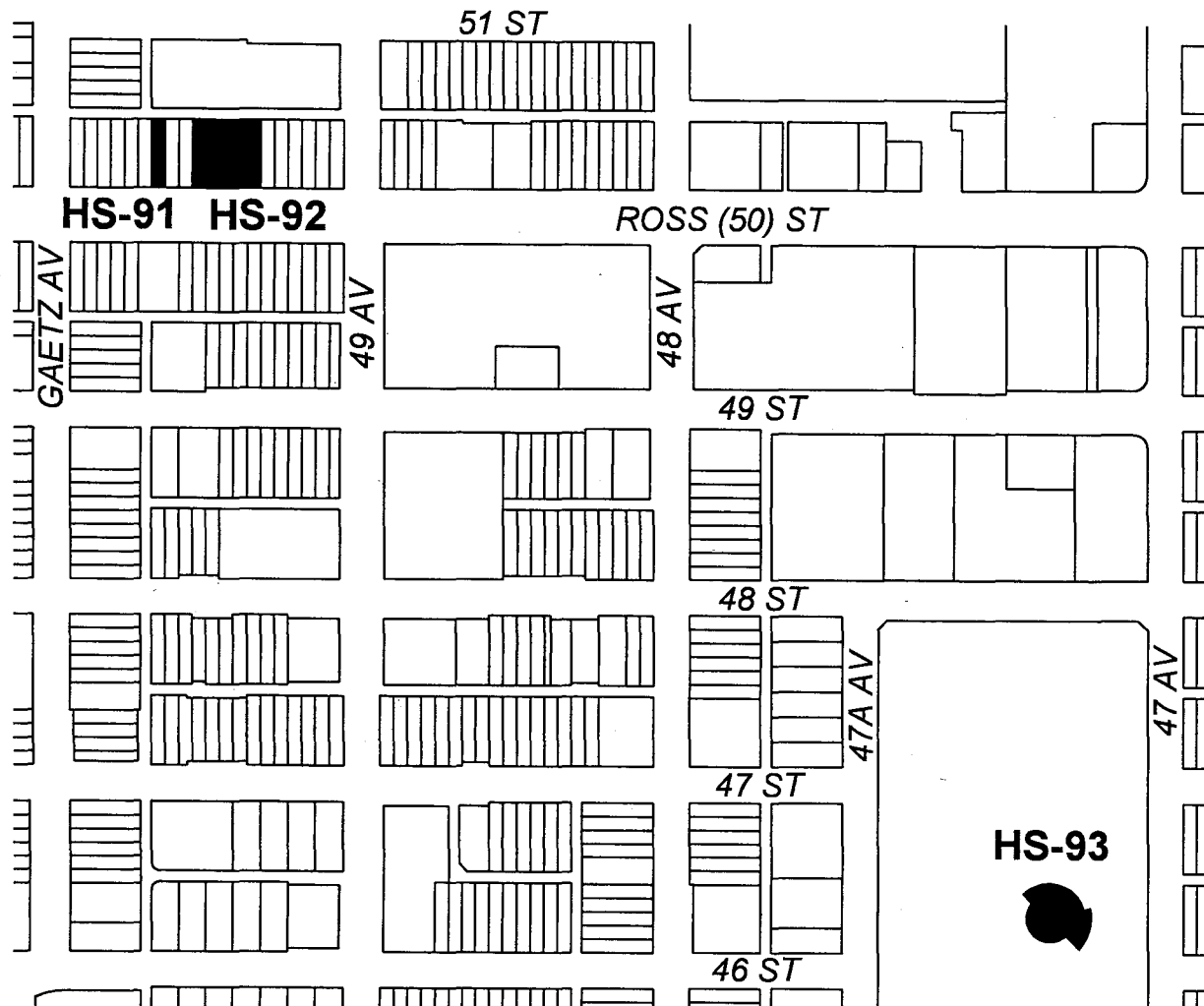
READ A THIRD TIME IN OPEN COUNCIL this day of A.D. 2003.

AND SIGNED BY THE MAYOR AND CITY CLERK this day of A.D. 2003.

MAYOR

CITY CLERK

The City of Red Deer *PROPOSED LAND USE BYLAW AMENDMENT*



AFFECTED DISTRICTS:

HS - HISTORICAL SIGNIFICANT DISTRICT

Addition to Historical Significant Resources : [REDACTED]

HS - 91 Farthing Block

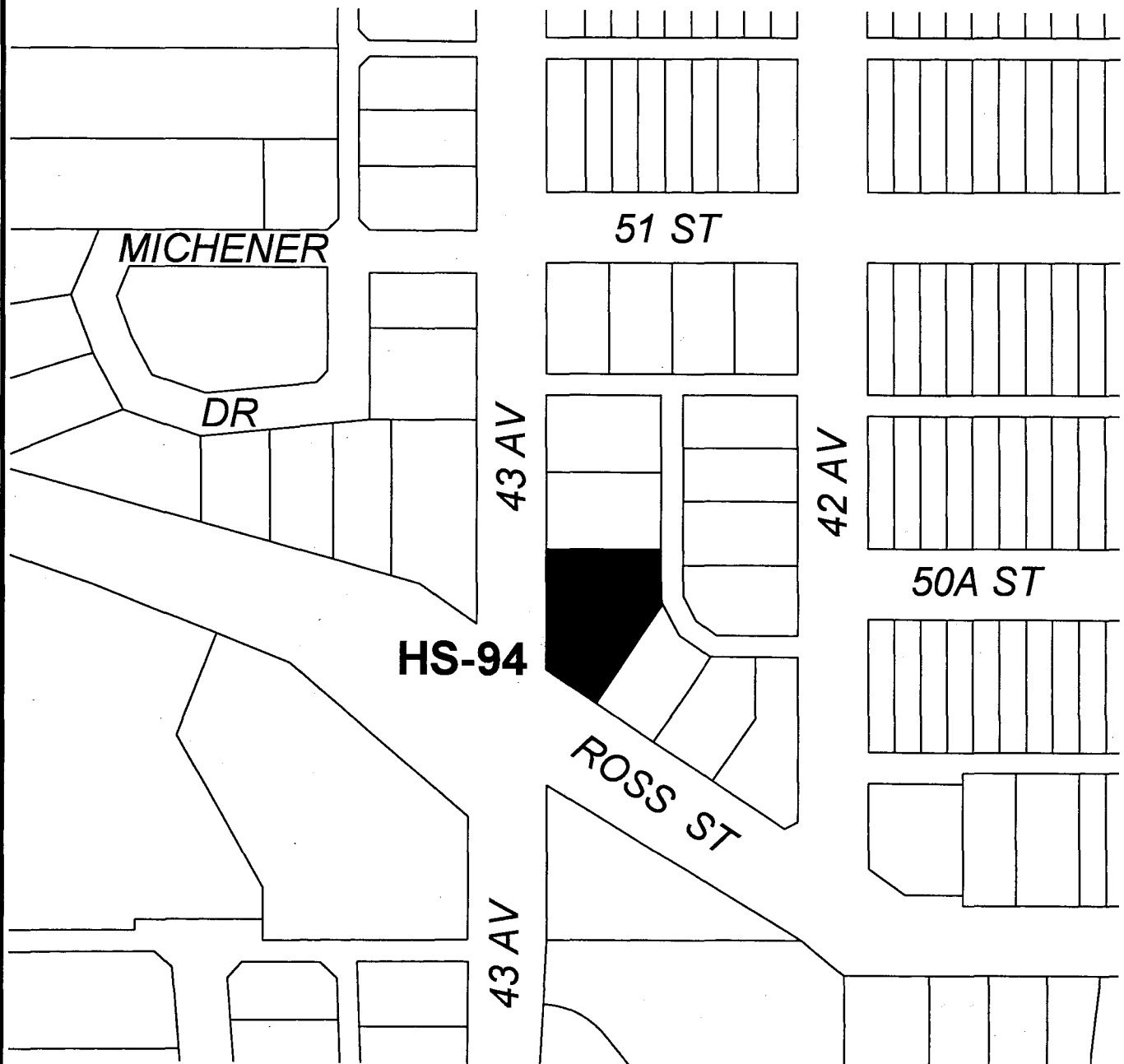
HS - 92 Park Hotel (Park Place)

HS - 93 Golden Circle

MAP No. 15 / 2003
BYLAW No. 3156 / R - 2003

The City of Red Deer

PROPOSED LAND USE BYLAW AMENDMENT



AFFECTED DISTRICTS:

HS - HISTORICAL SIGNIFICANT DISTRICT

Addition to Historical Significant Resources : [REDACTED]

HS - 94 Fabretti Residence

MAP No. 16 / 2003
BYLAW No. 3156 / R - 2003

BYLAW NO. 3308/2003

Being a bylaw to close portions of road in the City of Red Deer, as described herein.

COUNCIL OF THE CITY OF RED DEER, ALBERTA, ENACTS AS FOLLOWS:

1 The following portion of roadway in the City of Red Deer is hereby closed:

“All that portion of Plan 892-3301 shown as “Kentwood Drive”,
containing 0.60 ha. more or less.”

READ A FIRST TIME IN OPEN COUNCIL this 24th day of March 2003.

READ A SECOND TIME IN OPEN COUNCIL this day of 2003.

READ A THIRD TIME IN OPEN COUNCIL this day of 2003.

AND SIGNED BY THE MAYOR AND CITY CLERK this day of 2003.

MAYOR

CITY CLERK

Item No. 10

BYLAW NO. 3309/2003

Being a bylaw to close portions of road in the City of Red Deer, as described herein.

COUNCIL OF THE CITY OF RED DEER, ALBERTA, ENACTS AS FOLLOWS:

1 The following portion of roadway in the City of Red Deer is hereby closed:

“All that portion of Plan 892-0111 shown as “Area required for road”, containing 1.39 ha. more or less.”

READ A FIRST TIME IN OPEN COUNCIL this 24th day of March 2003.

READ A SECOND TIME IN OPEN COUNCIL this day of 2003.

READ A THIRD TIME IN OPEN COUNCIL this day of 2003.

AND SIGNED BY THE MAYOR AND CITY CLERK this day of 2003.

MAYOR

CITY CLERK

BYLAW NO. 3311/2003

Being a bylaw to authorize the preparation of supplementary assessments within The City of Red Deer for 2003.

WHEREAS, The City of Red Deer wishes to require the preparation of supplementary assessments for improvements for the purpose of imposing a tax;

AND WHEREAS, the Municipal Government Act provides that this Bylaw must be passed before May 1 of the year that the Bylaw applies;

NOW THEREFORE Council enacts:

- 1 That a supplementary assessment shall be prepared for all improvements in 2003.
- 2 That this Bylaw does not authorize the preparation of supplementary assessments for linear property.

READ A FIRST TIME IN OPEN COUNCIL this day of 2003.

READ A SECOND TIME IN OPEN COUNCIL this day of 2003.

READ A THIRD TIME IN OPEN COUNCIL this day of 2003.

AND SIGNED BY THE MAYOR AND CITY CLERK this day of 2003.

MAYOR

CITY CLERK

BYLAW NO. 3312/2003

Being a bylaw to authorize the rates of taxation to be levied against assessable property within The City of Red Deer for the 2003 taxation year.

WHEREAS, Council, at their meeting of January 22, 2003 passed a budget resolution which provided for the collection of \$34,825,375 being raised by general municipal taxation;

AND WHEREAS, the requisitions that the The City of Red Deer is required to collect on behalf of other organizations are:

Alberta School Foundation Fund (Public)	
Residential/Farmland	\$13,819,127
Non-residential	\$ 7,976,704
Opted Out School Boards (Separate)	
Residential/Farmland	\$ 2,303,809
Non-residential	\$ 667,153
Red Deer Public Library	\$ 1,773,000
Piper Creek Foundation	\$ 21,796

AND WHEREAS, the Council of The City of Red Deer is authorized to classify assessed property, and to establish different rates of taxation in respect to each class of property, subject to the Municipal Government Act, chapter M26 1, Revised Statutes of Alberta, 1994;

AND WHEREAS, the assessed value of all property in the Municipality of Red Deer as shown on the assessment roll is:

	<u>Assessment</u>
Single Family Residential	\$3,217,096,300
Multiple Family Residential	396,445,600
Non-residential	1,267,177,800
Farmland	<u>1,155,000</u>
	\$ 4,881,874,700

AND WHEREAS, Council has passed Bylaw 3311/2003 being a Bylaw authorizing the supplementary assessment of new construction;

NOW THEREFORE Council authorizes the:

1. Levy of tax rates, as set out in this bylaw, on the assessed value of all property as shown on the assessment roll of The City of Red Deer; and
2. Levy of tax rates, as set out in this bylaw, on the assessed value of all property subject to Supplementary Assessment Bylaw 3311/2003.

	Tax Levy	Assessment	Tax Rate
General Municipal			
Single Family Residential	\$17,760,940	\$3,217,096,300	.005521
Multiple Family Residential	2,786,030	396,445,600	.007028
Commercial/Industrial/Farmland	14,278,405	1,268,332,800	.011258
Total	\$34,825,375	\$ 4,881,874,700	
Alberta School Foundation Fund (Public School)			
Residential/Farmland	\$13,819,127	\$3,073,331,894	.004497
Non-residential	7,976,704	1,162,922,223	.006859
Total	\$21,795,831	\$ 4,236,254,117	

Opted-Out School Boards (Separate)

Residential/Farmland	\$2,303,809	\$512,360,205	.004497
Non-residential	667,153	97,264,074	.006859
Total	\$2,970,962	\$609,624,279	
Red Deer Public Library	\$1,773,000	\$4,881,874,700	.000363
Piper Creek Foundation	\$ 21,796	\$4,881,874,700	.0000045

READ A FIRST TIME IN OPEN COUNCIL this day of 2003.

READ A SECOND TIME IN OPEN COUNCIL this day of 2003.

READ A THIRD TIME IN OPEN COUNCIL this day of 2003.

AND SIGNED BY THE MAYOR AND CITY CLERK this day of 2003.

MAYOR

CITY CLERK