

ADD:

BYLAW 2970/89 SHORT TERM BORROWING 3 Readings  
Alderman Campbell - Smoking in Police Buildings  
BYLAW 2962-89 FIRE PERMIT BYLAW 3 Readings  
Alderman Campbell - N.M. Safe Community Program Stickers

**A G E N D A**  
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FOR THE REGULAR MEETING OF RED DEER CITY COUNCIL  
TO BE HELD IN THE COUNCIL CHAMBERS,  
CITY HALL, MONDAY, JANUARY 23, 1989,  
COMMENCING AT 4:30 P.M.

\*\*\*\*\*

- (1) Confirmation of the Minutes of the Meeting of January 9, 1989
  
- (2) UNFINISHED BUSINESS
  - 1) City Clerk - Re: Don Routley/Retaining Wall Encroachment/6552 - 58 Avenue .. 1
  - 2) R.D.R.P.C. - Re: Land Use Bylaw Amendment 2672/A-89 Small Animal Pet Clinic/Deer Park Village .. 17
  - 3) R.C.R.P.C. - Re: East Hill Concept Plan .. 18
  - 4) Dir. of Community Services - Re: Day Care Centre Roof .. 34
  
- (3) PUBLIC HEARINGS
  
- (4) REPORTS
  - 1) Economic Development Board - Re: Marketing of City-owned Commercial and Industrial Property/Real Estate Commissions .. 48
  - 2) E. L. & P. Manager - Re: 1987 EEMA Adjustment Hearing .. 51
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  - 4) Manager, Economic Development - Re: Key Towing & Storage (Alberta) Ltd./Lease Agreement .. 63
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- 6) Dir. of Engineering Services - Re: 67 Street Bridge Project .. 69
- 7) Dir. of Finance - Re: Payment of Taxes/Electronic Transfer of Funds .. 75

(5) WRITTEN ENQUIRIES

(6) CORRESPONDENCE

- 1) Deercorp Capital Group Inc. - Re: Block 9, Plan H, Parts of Lots 16 to 18 and 19 to 22 incl., 4802 - 4808 -50 Avenue/Encroachment .. 77
- 2) Snell & Oslund Surveys (1979) Ltd. - Re: Lot 8 & 9, Block 17, Plan H, 4928 - 50 Street/Encroachment .. 82
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- 4) Food City - Re: Proposed Food City Development/Heritage Business Park/Lot 2, Blk. 14, Plan 812-0222 .. 93
- 5) R.M. Hanson - Re: Temporary Structure/5304 - 59 St.. 103

(7) PETITIONS & DELEGATIONS

(8) NOTICES OF MOTION

(9) BYLAWS

- 1) 2672/A-89 - Land Use Bylaw Amendment/Permitted Use/Small Animal Pet Clinic/Lot 7, Block 7, Plan 862-1357 Commercial Site, Deerpark Village - 1st Reading .. 17

Committee of the Whole

- 1) Land Matter
- 2) Committee Appointment
- 3) Legal Opinion
- 4) Legal Matter

ADDITIONAL AGENDA

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FOR THE REGULAR MEETING OF  
RED DEER CITY COUNCIL TO BE HELD ON  
MONDAY, JANUARY 23, 1989, IN THE  
COUNCIL CHAMBERS, CITY HALL, RED DEER

- 1) Fire Chief - Re: Fire Permit Bylaw Amendment 2962/A-89  
.. 1
- 2) Dir. of Finance - Re: Short Term Borrowing Bylaw 2970/89  
.. 2

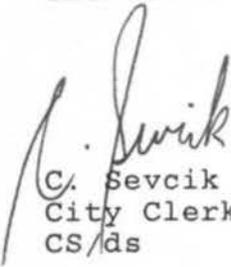
UNFINISHED BUSINESSNO. 1

DATE: JANUARY 11, 1989  
TO: CITY COUNCIL  
FROM: CITY CLERK  
RE: MR. DON ROUTLEY/RETAINING WALL ENCROACHMENT/  
6552 - 58 AVENUE

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The following material appeared on the Council Agenda of January 9, 1989. At the request of Mr. Routley, the matter was tabled for two weeks in order that Mr. Routley might be present at the Council Meeting.

The matter is once again presented for Council's consideration.

  
C. Sevcik  
City Clerk  
CS/ds

Don Routley  
6552 - 58th Avenue  
RED DEER, Alberta  
T4N 6T1

December 14th, 1988

THE CITY OF RED DEER  
P.O. Box 5008  
RED DEER, Alberta  
T4N 3T4



ATTENTION: MR. C. SEVCIK, CITY CLERK

Dear Sir:

Re: Invoice EL80736  
Damages to Streetlight Cable

Thank you for yours of 29 November 88.

Firstly, please accept my apologies for bothering you again, however, since our telephone conversation of 28 November 88, prior to the City Council Meeting which the referred to resolutions were made, I have had time to consider our conversation and even more time to consider Council's resolutions. It is my wish to appeal Council's resolutions and would therefore appreciate it if you could provide the appeal to His Honour, The Mayor and Council, and provide me with some weeks advance notice as to when the matter will come up before Council in order that I may make my calender available accordingly.

I would like to point out to Council that the retaining wall and berm in question, (see resolution 1) are simply edge stacked 2 x 10's put in place by 4 x 4's cemented in the ground with the weight of the earth of the berm holding them against the 4 x 4's. The berm is 8 feet wide by 2½ feet deep. It is constructed of earth and nothing else.

Prior to construction, I checked with the Engineering Department to ascertain if a sidewalk was being planned. I was advised that there was none planned and further, that to get a side walk installed by the City, I would have to petition the neighborhood, who would then have to accept property taxing, so I could have a sidewalk on the east side of my property. As this was not an avenue that was likely to be successful, I proceeded with the project of improving the look of my property and area as best I could. The easterly edge of the retaining wall is 4 feet from the street, which allows sufficient room for a poured sidewalk, should the Engineering Department ever deem it necessary. In the interim, I have simply installed crushed gravel to facilitate a walkway area.

I respectfully submit, other than the removal of the retaining wall post, the wall poses no additional maintenance burden on the City of Red Deer and as the City does have easement rights, nothing prohibits the City from entering my property for your maintenance purposes. On that basis, I ask that Council reconsider the resolution #1. as set out in the letter of 29 November 88.

THE CITY OF RED DEER

- 2 -

December 14th, 1988

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As respects item #2 of the same resolution, please be advised that I have turned this matter over to the Wellington Insurance Company, who are my property insurers for their attentions. They have been and will be in contact with yourselves.

I shall await yours and respectfully remain,

Yours sincerely,

DON ROUTLEY

DR:dc

**THE CITY OF RED DEER**

P.O. BOX 5008, RED DEER, ALBERTA T4N 3T4

City Clerk's Department 342-8132

November 29, 1988

Mr. Don Routley  
6552 - 58 Avenue  
Red Deer, Alberta  
T4N 6T1

Dear Sir:

RE: INVOICE NO. EL 80736 - DAMAGES TO STREET LIGHT CABLE  
RETAINING WALL ENCROACHMENT

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Your letter of October 28, 1988 addressed to Mayor McGhee concerning the above topic was considered by Council November 28, 1988, and at which meeting Council passed the following motion:

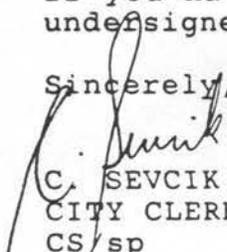
"RESOLVED that Council of The City of Red Deer, having considered correspondence from Mr. D. Routley and reports from the Administration regarding damages to a streetlight cable and a retaining wall built by Mr. D. Routley on City street right-of-way hereby agree as follows:

1. that Mr. D. Routley remove said retaining wall from the street right-of-way by no later than May 31, 1989;
2. that Mr. D. Routley be responsible for the repair costs to the electrical cable damaged by Mr. D. Routley."

The decision of Council in this instance is submitted for your information and appropriate action. Your co-operation in having the retaining wall removed from the street right-of-way by the date specified in the resolution would be greatly appreciated.

If you have any questions, please do not hesitate to contact the undersigned.

Sincerely,

  
C. SEVCIK  
CITY CLERK  
CS/sp

c.c. Director of Finance  
E. L. & P. Manager

Accounts Payable  
Community Services

Parks Manager  
Engineering Ser.

130-059

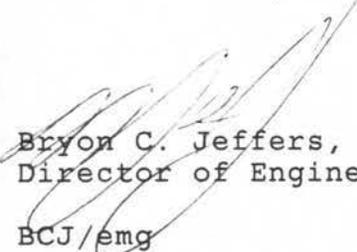
DATE: December 28, 1988  
TO: City Clerk  
FROM: Director of Engineering Services  
RE: DAMAGE TO STREETLIGHT CABLE  
6552-58 AVENUE; LOT 29, BLOCK 25, PLAN 852-0446

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The Engineering Department has reviewed the comments dated December 14, 1988 from Mr. Routley.

The writer has not been able to confirm that Mr. Routley checked with us or not about the possibility of a sidewalk being constructed at some future date. This may have occurred verbally, in which case we would have no record. Regardless of whether he discussed that issue with the Department or not, he did not, to our knowledge, receive permission, verbal or otherwise, to construct the retaining wall on City property.

Contrary to what Mr Routley states, 4 ft is not sufficient distance for a poured sidewalk. The minimum standard walk in a residential area is 1.5 m, which is just short of 5 ft.

  
Bryon C. Jeffers, P. Eng.  
Director of Engineering Services

BCJ/emg

c.c. Director of Community Services  
c.c. By-laws and Inspections Manager  
c.c. City Assessor  
c.c. E. L. & P. Manager  
c.c. Parks Manager  
c.c. Urban Planning Section Manager

DATE: December 19, 1988

TO: City Clerk

FROM: E. L. & P. Manager

RE: Invoice EL80736 / Damage to Streetlight Cable

The original issue raised by Mr. Don Routley was that he should not be responsible for the cost of repairing the streetlight cable which he damaged. This matter has been resolved and Mr. Routley indicates in his letter of December 14, 1988 that he has turned this matter over to his insurance company and he is not requesting further consideration by Council of this issue.

The retaining wall constructed by Mr. Routley extends onto the City property without City consent. The E. L. & P. Department has a 25,000 volt cable located under the wall. We do not consent to having structures built over such cable as it hampers future maintenance. In this instance we would recommend that permission to build a retaining wall on City property be denied.



A. Roth  
E. L. & P. Manager

AR/jjd

c.c. Director of Engineering Services

DATE: DECEMBER 22, 1988 CS-2.018

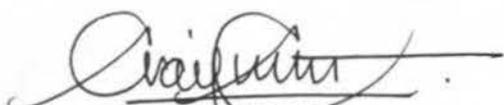
TO: CHARLIE SEVCIK  
City Clerk

FROM: CRAIG CURTIS  
Director of Community Services

RE: INVOICE EL-80736 - DAMAGES TO STREETLIGHT CABLE:  
6552 - 58th AVENUE  
Your memo dated December 16, 1988 refers.

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1. Mr. Routley is appealing the City Council decision in which he was required to remove an illegally constructed retaining wall from the street right-of-way.
2. I have discussed this matter with the Parks Manager. We are strongly opposed to private landscaping and construction within city boulevards and rights-of-way. It is, consequently, recommended that the appeal be denied.



CRAIG CURTIS

CC:dmg

- c. Don Batchelor, Parks Manager  
Lowell Hodgson, Recreation & Culture Manager

Commissioners' Comments

Mr. Routley will be given a time at this meeting to present his appeal.

We, however, concur with the comments of the Administration and recommend that Council reconfirm its decision of November 28, 1988.

Following hereafter is all previous information presented to Council on the November 28 agenda.

"R.J. MCGHEE"  
Mayor

"M.C. DAY"  
City Commissioner

Don Routley  
6552 - 58th Avenue  
Red Deer, Alberta

CITY OF RED DEER  
P.O. Box 5008  
Red Deer, Alberta  
T4N 3T4

NOTE: THE FOLLOWING

MATERIAL APPEARED ON  
THE COUNCIL AGENDA OF  
NOVEMBER 28/88

8.

October 28, 1988

ATTENTION: MAYOR MCGHEE

Dear Sir:

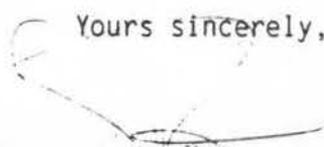
Re: Invoice EL80736  
Damages to Streetlight Cable

This is in response to Mr. Wahl's letter of 11th October 1988, copy of which I am enclosing for your reference. In brief, Mr. Wahl is alleging, on behalf of the City of Red Deer, that I am liable for damages incurred to City property, namely a street light cable in that he indicates that the liability is arising from the fact that I built a retaining wall on the City owned boulevard. It was originally contended that my liability arose out of failing to request a "cable locate". My insurers have investigated and feel that a locate was in all likelihood done and therefore there will be no negligence. It now seems that since that was not a successful avenue of argument for Mr. Wahl, he is pursuing an avenue which is totally unrelated to proximate cause or any of the laws of negligence. As this has been pointed out to Mr. Wahl by my insurers and he continues to persist, I am writing you to engage your assistance. It would be appreciated if you would refer this matter to someone who is familiar with rules of negligence in order that we may bring this long outstanding matter to a conclusion.

If you have any questions, please do not hesitate to contact this writer at 347-7747 or alternately, please contact my claims representative from the Wellington Insurance Company, Judith Galloway at 269-7721.

Thank you for your assistance, I respectfully remain,

Yours sincerely,



DON ROUTLEY

DR/mlk  
Att.

cc: C. Wahl  
Electric Light & Power

cc: Wellington Insurance Company  
Attn: Judith Galloway  
Claim: PLP173 0078

**THE CITY OF RED DEER**

P.O. BOX 5008, RED DEER, ALBERTA T4N 3T4

Electric, Light, and Power Department 342-8274

October 11, 1988

Don Routley  
6552 - 58 Avenue  
Red Deer, Alberta

Dear Mr. Routley:

Re: Invoice EL 80736  
Damages: Streetlight Cable

Please be advised that we have corresponded with your insurance and they have denied payment.

Our response to the situation was firstly, that we have no record of a request being made and secondly, that you had constructed a portion of a retaining wall on a city owned boulevard. This boulevard contained a primary and streetlight cable of which you luckily damaged only the streetlight cable. Had you hit the primary cable the result could have been an electrification. Whether you had a location or not does not give you the right to build on city property.

We have no choice but to state that the above invoice remains due and outstanding.

Yours truly,

C. Wahl,  
E. L. & P. Accountant

CW/jjd

c.c. Accts Receivable

DATE: November 7, 1988

TO: City Clerk

FROM: E. L. & P. Manager

RE: Invoice EL 80736 / Damages to Streetlight Cable  
Don Routley Correspondence October 28, 1988

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In the process of building a retaining wall Mr. D. Routley, or his agent, damaged an E. L. & P. Department underground streetlight cable. At the point of damage, the cable and the retaining wall are located on a City of Red Deer boulevard at the front of Mr. D. Routley's property.

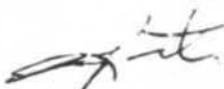
The E. L. & P. Department and the general public both fall under the jurisdiction of two provincial regulations regarding excavations. The applicable regulations in this instance are Section 29 of the Electric Utility Regulations and Section 172 (4) of the Occupational Health and Safety Act/General Regulations. Both of these regulations state that the person who is doing the excavation is responsible for ensuring that the underground power lines are located. Upon request, the E. L. & P. Department locates all underground power lines in the specified area within 72 hours of the request with at least 90% of these requests being completed within 48 hours. This service is provided by the E. L. & P. Department as a "free service" to encourage the public to request a location prior to digging and thereby preventing costly and potentially dangerous accidents.

The E. L. & P. Department records each request for a location on a "Facilities Location Request" form. One copy of this form is left with the property owner upon completion of the location and the other copy is retained on file by the E. L. & P. Department. The E. L. & P. Department has no record of a request by Mr. D. Routley nor has the latter produced a copy of this form.

In summary, Mr. D. Routley is solely responsible for ensuring that the underground power lines are located and he failed to comply with this requirement of provincial regulations.

City Clerk  
Page 2  
November 7, 1988

It is my recommendation that Mr. D. Routley be held responsible for payment of invoice EL 80736.

A handwritten signature in dark ink, appearing to be "A. Roth", written in a cursive style.

A. Roth,  
E. L. & P. Manager

AR/jjd

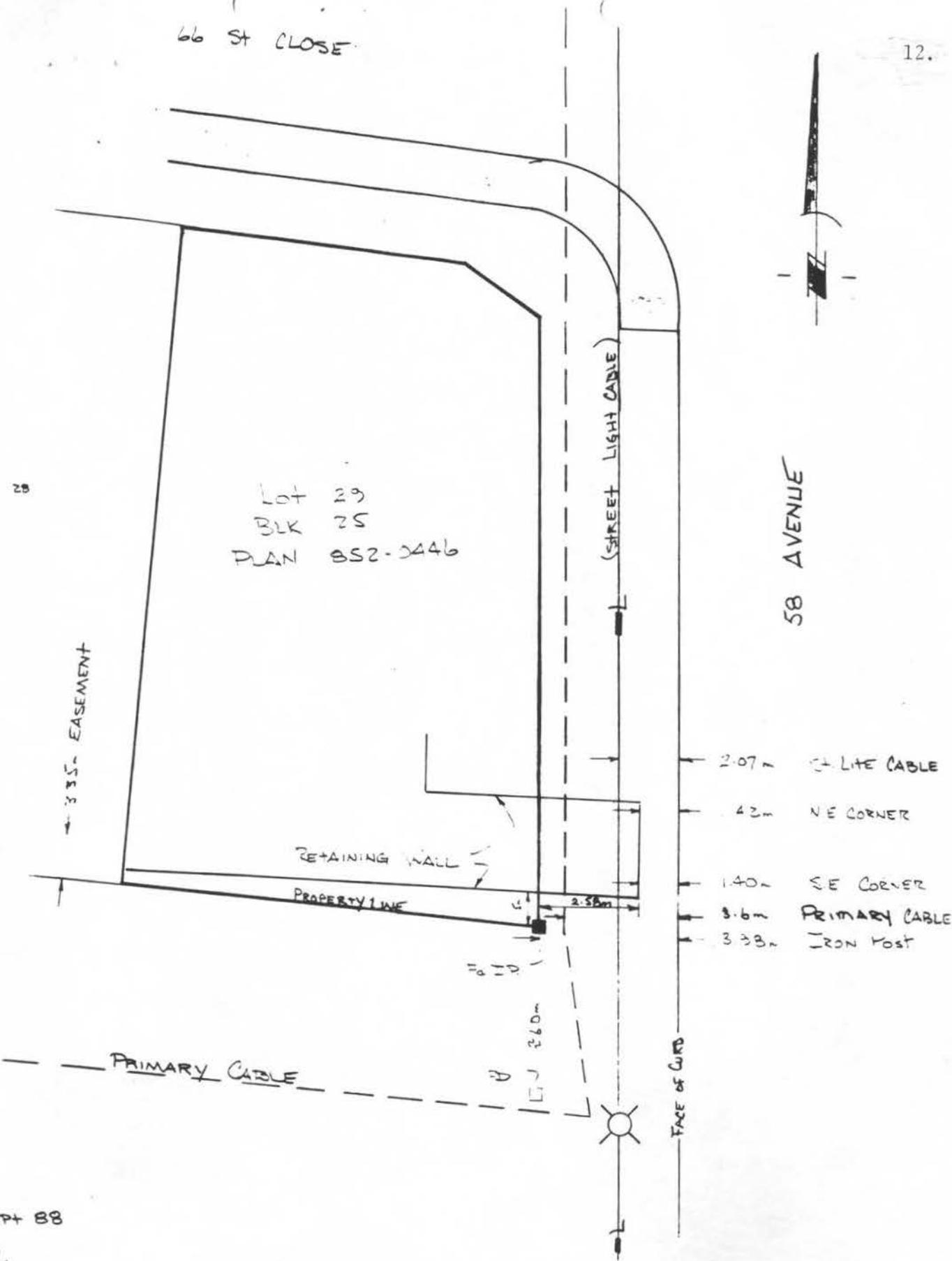
c.c. Director of Engineering Services  
City Solicitor  
D. Scheelar  
C. Wahl

66 ST CLOSE

Lot 28

Lot 29  
BLK 25  
PLAN BS2-0446

3.35m EASEMENT



- 2.07m LIGHT CABLE
- 4.2m NE CORNER
- 1.40m SE CORNER
- 3.6m PRIMARY CABLE
- 3.33m IRON POST

PRIMARY CABLE

FACE OF CURB

22 SEPT 88



CS-P-1.231

DATE: November 9, 1988

TO: CHARLIE SEVCIK  
City Clerk

FROM: DON BATCHELOR  
Parks Manager

RE: INVOICE EL80736 - DAMAGES TO CABLE  
6552 58 Avenue

---

In response to the circulation of the above, I feel Mr. Routley may be responsible for damages to the streetlight cable. The damage was the result of his building a retaining wall on the city boulevard without a "License to Occupy" and possibly without a cable location being staked on site.



DON BATCHELOR

DB/ad

c.c. Craig Curtis, Director of Community Services

DATE: November 17, 1988

TO: CHARLIE SEVCIK  
City Clerk

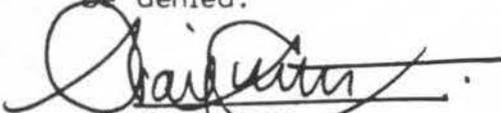
FROM: CRAIG CURTIS  
Director of Community Services

RE: INVOICE EL80736 - DAMAGES TO CABLE  
6552 85th Avenue  
Your Memo Dated November 4th, 1988 Refers

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Mr. Routley is appealing the City invoice for damage caused to a streetlight cable. The damage occurred when Mr. Routley constructed a portion of a retaining wall on a City-owned boulevard. There is no record of permission having been obtained for such construction.

It is clear from the above that Mr. Routley was responsible for damage to the streetlight cable and it is recommended that the appeal be denied.



CRAIG CURTIS

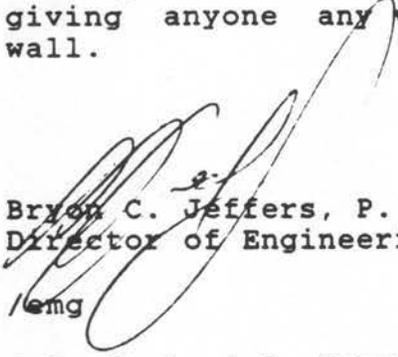
/jmf

c. Don Batchelor, Parks Manager

DATE: November 16, 1988  
TO: City Clerk  
FROM: Director of Engineering Services  
RE: DAMAGES TO STREETLIGHT CABLE  
6552-58 AVENUE; LOT 29, BLOCK 25, PLAN 852-0446

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The Engineering Department was approached by the E. L. & P. Department with respect to this Department giving permission to construct a retaining wall at the above address. We have no correspondence on record regarding this request, nor do we recall giving anyone any verbal permission to construct the retaining wall.

  
Bryon C. Jeffers, P. Eng.  
Director of Engineering Services

/emg

c.c. E. L. & P. Manager  
c.c. City Solicitor

DATE: NOVEMBER 7, 1988  
TO: CITY CLERK  
FROM: DIRECTOR OF FINANCE  
RE: INVOICE EL80736/DAMAGES TO STREETLIGHT CABLE

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The department involved should comment on the procedures for flagging utility lines.

The main problem for Mr. Routley would appear to be that he constructed on City property without obtaining approval from the City to do so. As a result of Mr. Routley's apparent unauthorized construction, he damaged City property and should be responsible for its repair.



A. Wilcock, B. Comm., C.A.  
Director of Finance

AW/mrk

Commissioners' Comments

We would recommend to Council that the applicant be directed to remove the improvement from the street right-of-way and that the repair costs to the electrical cable be the responsibility of the applicant who caused the damage in the first place.

"R.J. MCGHEE"  
Mayor

"M.C. DAY"  
City Commissioner

DATE: 2 December 1988

TO: DARYL MAYHEW & DARCI MITCHELL  
 5906 - 53 Ave.  
 RED DEER, AB  
 T4N-5J6

COPY OF APPEAL BOARD MINUTE STATING  
 SUBJECT OF APPEAL, DATE OF HEARING,  
 THE DECISION, AND REASONS THEREFORE

Re: APPEAL NO. 54/88

DATE OF HEARING: 1 December 1988

DECISION OF BOARD:

"IN THE MATTER of The Planning Act, R.S.A. 1980, Ch. P.9;  
 AND IN THE MATTER of The City of Red Deer General Municipal Plan (Bylaw 2663/80);  
 AND IN THE MATTER of The City of Red Deer Land Use Bylaw (No. 2672/80);  
 AND IN THE MATTER of the Development Appeal Board Bylaw 2589/78;  
 AND IN THE MATTER of a decision of the Municipal Planning Commission of October 31,  
 1988, which approved a 0.6 m relaxation to a temporary accessory building to be  
 located for a six-month period at 5304 - 59 Street (Lot 29, Block 20, Plan 822-3131)  
 zoned R1A.

AND IN THE MATTER of an Appeal by DARYL & DARCI MAYHEW from the decision of the  
 Commission:

THIS APPEAL HAVING COME ON to be heard before the Red Deer Development Appeal Board  
 on the 1st day of December, 1988, in the presence of DARYL MAYHEW, the appellant,  
 LARRY VOLK, spokesman for the appellant, and the Assistant Bylaws & Inspections Manager,  
 P. Holloway:

AND UPON HEARING the verbal submissions of DARYL MAYHEW, LARRY VOLK, and the Assistant  
 Bylaws & Inspections Manager, P. Holloway:

AND UPON HAVING REGARD to the Planning Act 1980, The City of Red Deer General Municipal  
 Plan, The City of Red Deer Land Use Bylaw and other relevant planning policies;

AND UPON CONSIDERING the relevant planning evidence adduced at this Hearing and the  
 circumstances and merits of the application;

## IT IS ORDERED:

"That the Red Deer Development Appeal Board reverse the October 31, 1988, Municipal  
 Planning Commission decision, and deny a 0.6 m relaxation to a temporary accessory  
 building to be located for a 6 month period at 5305 - 59 Street (Lot 29, Block 20,  
 Plan 822-3131) zoned R1A, on the grounds that it affects the amenities of the  
 neighborhood."

NOTE: (Excerpt from The Planning Act, 1980)

"152. (1) Subject to subsection (2), on a question of law or on a question of  
 jurisdiction, an appeal lies to the Court of Appeal from the Board or a development  
 appeal board.

(2) An application for leave to appeal pursuant to subsection (1) shall  
 be made

- (a) to a judge of the Court of Appeal, and
- (b) within 30 days after the issue of the order, decision, permit  
 or approval sought to be appealed,

and notice of the application shall be given to the Board or the development appeal  
 board, as the case may be, and such other persons as the judge may direct."

A decision of the Development Appeal Board is not a Development or Building Permit.  
 Such permits may be obtained separately from City Hall after the expiration of  
 the 30 day appeal period above stated has expired and if leave to appeal has not  
 been granted.

**THE CITY OF RED DEER**

P.O. BOX 5008, RED DEER, ALBERTA T4N 3T4

City Clerk's Department 342-8132

January 24, 1989

Mr. Don Routley  
6552 - 58 Ave.  
Red Deer, Alberta  
T4N 6T1

Dear Sir:

RE: RETAINING WALL ENCROACHMENT

Your letter of appeal dated December 14, 1988, was considered by Council January 23, 1989, and at which meeting Council passed the following motion reconfirming its decision of November 28.

"RESOLVED that Council of The City of Red Deer, having considered appeal by Mr. Don Routley pertaining to the retaining wall built on city street right-of-way, hereby agree to reconfirm the Council decision of November 28, 1988."

As indicated in my letter to you of November 29, 1988, the Council resolution of November 28, 1988, is as follows:

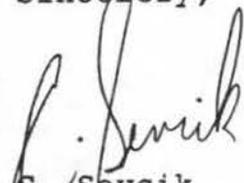
"RESOLVED that Council of The City of Red Deer, having considered correspondence from Mr. D. Routley and reports from the Administration regarding damages to a streetlight cable and a retaining wall built by Mr. D. Routley on City street right-of-way hereby agree as follows:

1. that Mr. D. Routley remove said retaining wall from the street right-of-way by no later than May 31, 1989;
2. that Mr. D. Routley be responsible for the repair costs to the electrical cable damaged by Mr. D. Routley."

page 2  
D. Routley  
January 24, 1989

The decision of Council in this instance is submitted for your information and appropriate action. If you have any questions, please do not hesitate to contact the undersigned.

Sincerely,



C. Sevcik  
City Clerk  
CS/ds

c.c. Dir. of Finance  
E.L. & P. Manager  
Parks Manager  
Dir. of Engineering Services  
Dir. of Community Services  
Urban Planning Section Manager



# RED DEER REGIONAL PLANNING COMMISSION

17.

2830 BREMNER AVENUE, RED DEER, ALBERTA, CANADA T4R 1M9

NO. 2

DIRECTOR: Robert R. Cundy M.C.I.P.

Telephone: (403) 343-3394

Fax: (403) 346-1570

January 12, 1989

Mr. C. Sevcik,  
City Clerk  
City of Red Deer  
Box 5008  
Red Deer, Alta.

Dear Sir:

Re: Proposed Land Use Amendment 2672/A-89

As per City Council resolution dated January 9, 1989, to permit a Small Animal Pet Clinic to be located at Deer Park Village, the required Land Use Amendment is attached for Council's consideration.

Yours truly,

D. Rouhi, MCIP  
SENIOR PLANNER  
CITY PLANNING SECTION  
DR/cc

Attachment

Commissioners' Comments

We would recommend Council give the bylaw first reading following which it will be necessary to advertise for a Public Hearing.

"R.J. MCGHEE"  
Mayor

"M.C. DAY"  
City Commissioner

#### MUNICIPALITIES WITHIN COMMISSION AREA

CITY OF RED DEER—TOWN OF BLACKFALDS—TOWN OF BOWDEN—TOWN OF CARSTAIRS—TOWN OF CASTOR—TOWN OF CORONATION—TOWN OF DIDSBURY—TOWN OF ECKVILLE—TOWN OF INNISFAIL—TOWN OF LACOMBE—TOWN OF OLDS—TOWN OF PENHOLD—TOWN OF ROCKY MOUNTAIN HOUSE—TOWN OF STETTTLER—TOWN OF SUNDRE—TOWN OF SYLVAN LAKE—VILLAGE OF ALIX—VILLAGE OF BENTLEY—VILLAGE OF BIG VALLEY—VILLAGE OF BOTHA—VILLAGE OF CAROLINE—VILLAGE OF CLIVE—VILLAGE OF CREMONA—VILLAGE OF DELBURNE—VILLAGE OF DONALDA—VILLAGE OF ELNORA—VILLAGE OF GADSBY—VILLAGE OF HALKIRK—VILLAGE OF MIRROR—SUMMER VILLAGE OF BIRCHCLIFF—SUMMER VILLAGE OF GULL LAKE—SUMMER VILLAGE OF HALF MOON BAY—SUMMER VILLAGE OF NORGLINWOLD—SUMMER VILLAGE OF ROCHON SANDS—SUMMER VILLAGE OF WHITE SANDS—SUMMER VILLAGE OF JARVIS BAY—COUNTY OF LACOMBE No. 14—COUNTY OF MOUNTAIN VIEW No. 17—COUNTY OF PAINTEARTH No. 18—COUNTY OF RED DEER No. 23—COUNTY OF STETTTLER No. 6—MUNICIPAL DISTRICT OF CLEARWATER No. 99

BYLAW NO. 2672/A-89

Being a Bylaw to amend Bylaw No. 2672/80, the Land Use Bylaw of  
The City of Red Deer.

COUNCIL OF THE CITY OF RED DEER IN THE PROVINCE OF ALBERTA  
ENACTS AS FOLLOWS:

- (1) Section 4.13.1 is amended by adding the following:
  - (31) On those sites, or portions thereof, hereinafter listed,  
"Small Animal Pet Clinic" is a permitted use.
    - (a) Lot 7, Block 7, Plan 862-1357
- (2) This Bylaw shall come into force upon the final passing thereof.

READ A FIRST TIME IN OPEN COUNCIL, this \_\_\_\_ day of \_\_\_\_\_ A.D. 1989

READ A SECOND TIME IN OPEN COUNCIL, this \_\_\_\_ day of \_\_\_\_\_ A.D. 1989

READ OF THIRD TIME AND FINALLY PASSED IN OPEN COUNCIL, this \_\_\_\_ day  
of \_\_\_\_\_ A.D., 1989.

\_\_\_\_\_  
MAYOR

\_\_\_\_\_  
CITY CLERK

BYLAW NO. 2672/A-89

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READ OF THIRD TIME AND FINALLY PASSED IN OPEN COUNCIL, this \_\_\_\_ day  
of \_\_\_\_\_ A.D., 1989.

\_\_\_\_\_  
MAYOR

\_\_\_\_\_  
CITY CLERK

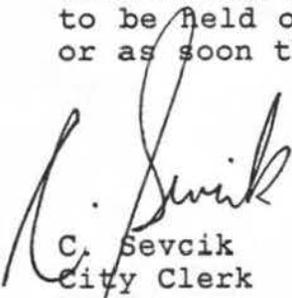
DATE: January 24, 1989  
TO: Urban Planner  
FROM: City Clerk  
RE: LAND USE BYLAW AMENDMENT 2672/A-89

---

I would advise that Council of The City of Red Deer at its meeting held on January 23, 1989, gave first reading to the above noted bylaw.

Bylaw 2672/A-89 provides for a "small animal clinic" as a permitted use on Lot 7, Block 7, Plan 862-1357 (Deer Park Commercial Site), a copy of which is enclosed herewith.

This office will now proceed with advertising for a public hearing to be held on Monday, February 20, 1989, commencing at 7:00 p.m. or as soon thereafter as Council may determine.

  
C. Sevcik  
City Clerk  
CS/ds  
c.c. Bylaws & Inspections Manager  
City Assessor  
Fire Chief  
Dir. of Engineering Services  
Dir. of Community Services  
E.L. & P. Manager

Encl.

**THE CITY OF RED DEER**

P.O. BOX 5008, RED DEER, ALBERTA T4N 3T4

City Clerk's Department 342-8132

January 24, 1989

Cedarwood Veterinary Clinic  
4831 - 53 Street  
Red Deer, Alberta  
T4N 2E7

Attention: Dr. Ken Hubbard

Dear Sir:

RE: ANIMAL PET CLINIC/DEER PARK VILLAGE MALL - LAND USE BYLAW  
AMENDMENT 2672/A-89

---

Council of The City of Red Deer at its meeting held on Monday, January 23, 1989, gave first reading to Land Use Bylaw Amendment 2672/A-89, a copy of which is enclosed herewith.

This office will now proceed with advertising for a Public Hearing to be held on Monday, February 20, 1989, commencing at 7:00 p.m. or as soon thereafter as Council may determine. We have received your \$200.00 deposit to cover the cost of advertising. As indicated in our letter to you of January 11, 1989, once the actual costs are known, you will be invoiced for the balance.

Trusting you will find this satisfactory. If you have any questions, please do not hesitate to contact the undersigned.

Sincerely,

C. Sevcik  
City Clerk  
CS/ds  
c.c. Wilma



# RED DEER REGIONAL PLANNING COMMISSION

18.

2830 BREMNER AVENUE, RED DEER, ALBERTA, CANADA T4R 1M9

NO. 3

DIRECTOR: Robert R. Cundy M.C.I.P.

Telephone: (403) 343-3394

Fax: (403) 346-1570

January 11, 1989

Mr. Charlie Sevcik  
City Clerk  
City of Red Deer  
Red Deer, Alberta  
T4N 3T4

Dear Sir:

Re: East Hill Concept Plan

At its October 3, 1988 meeting, Council passed the following motion:

"Resolved that Council of the City of Red Deer hereby agree to approve the East Hill Concept Plan as presented to Council October 3, 1988 subject to a further report for Council's review on a possible large commercial site."

Please find enclosed herewith the required report, prepared by Vern Parker, which summarizes the extent and distribution of retail shopping facilities throughout Red Deer and compares the development of shopping centres in the City with "standards" as determined by the Urban Land Institute.

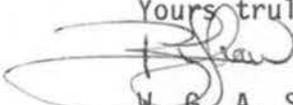
It is our conclusion from this information that the planned population for the East Hill Concept Plan area will be adequately served by two district centres, being the Eastview and Deer Park Co-op centres. Given the accessibility of other major shopping facilities in the City and their location within a general ten to fifteen minute distance from the East Hill, a third major commercial site on the East Hill cannot be justified for the concept plan area.

It is our recommendation that the City's next major commercial expansion be directed to the downtown area as part of the downtown railyards comprehensive redevelopment plan.

Also attached is a copy of the text of the East Hill Concept Plan with some minor revisions as underlined.

Council's final approval of this plan is recommended.

Yours truly

  
W. B. A. SHAW  
DEPUTY DIRECTOR

WGAS/pim

MUNICIPALITIES WITHIN COMMISSION AREA

CITY OF RED DEER—~~ENC~~ OF BLACKFALDS—TOWN OF BOWDEN—TOWN OF CARSTAIRS—TOWN OF CASTOR—TOWN OF CORONATION—TOWN OF DIDSBURY—TOWN OF ECKVILLE—TOWN OF INNISFAIL—TOWN OF LACOMBE—TOWN OF OLDS—TOWN OF PENHOLD—TOWN OF ROCKY MOUNTAIN HOUSE—TOWN OF STETTLER—TOWN OF SUNDRE—TOWN OF SYLVAN LAKE—VILLAGE OF ALIX—VILLAGE OF BENTLEY—VILLAGE OF BIG VALLEY—VILLAGE OF BOTHA—VILLAGE OF CAROLINE—VILLAGE OF CLIVE—VILLAGE OF CREMONA—VILLAGE OF DELBURNE—VILLAGE OF DONALDA—VILLAGE OF ELNORA—VILLAGE OF GADSBY—VILLAGE OF HALKIRK—VILLAGE OF MIRROR—SUMMER VILLAGE OF BIRCHCLIFF—SUMMER VILLAGE OF GULL LAKE—SUMMER VILLAGE OF HALF MOON BAY—SUMMER VILLAGE OF NORGLIEWOLD—SUMMER VILLAGE OF ROCHON SANDS—SUMMER VILLAGE OF WHITE SANDS—SUMMER VILLAGE OF JARVIS BAY—COUNTY OF LACOMBE No. 14—COUNTY OF MOUNTAIN VIEW No. 17—COUNTY OF PAINTERTH No. 18—COUNTY OF RED DEER No. 23—COUNTY OF STETTLER No. 6—MUNICIPAL DISTRICT OF CLEARWATER No. 99

A REPORT ON  
RETAIL COMMERCIAL DEVELOPMENT  
IN RED DEER

Requested by: City of Red Deer Council  
October 3, 1988

Submitted By: City Planning Section  
January, 1989

Prepared by: Vernon Parker, MCIP  
Associate Planner

## 1.0 INTRODUCTION

In October and November of 1988 the City Planning Section undertook an inventory of commercial floor space throughout all commercial districts in the City. The following report compares the extent and location of retail floor space distribution in the City with the standard classification of shopping centres as defined by the Urban Land Institute (U.L.I.).

The report shows that the types of shopping centres in Red Deer are very similar to the standard classifications. However, the population base to support the extent of retail facilities in Red Deer appears to be much less than that indicated as being required by the U.L.I. standards.

## 2.0 CLASSIFICATION OF SHOPPING CENTRES - URBAN LAND INSTITUTE

The Community Builders Handbook is published in the U.S. by the Urban Land Institute as a guide for private-sector community developers. Whereas it provides a practical approach to construction and investment, the Handbook has been used as a reliable reference for community planning for over 40 years.

The Handbook defines three classifications of shopping centres; the neighbourhood centre (or in Red Deer's terms the district centre), the community centre, and the regional centre:

As the shopping centre evolved, three types emerged, each distinctive in its own function: The Neighborhood, the Community, the Regional. In all cases the shopping centre's type is determined by its major tenant or tenants. Neither site area nor building area determines the type of center.

- (2.1) **The Neighborhood Centre (i.e. District Centre)** - provides for the sale of convenience goods (food, drugs and sundres) and personal services (laundry and dry cleaning, barbering,

shoe repairing, etc.) for day-by-day living needs of the immediate neighborhood.

It is built around a supermarket as the principal tenant.

In size, the neighborhood centre has an average gross leasable area of close to 50,000 sq. ft. It may range from 30,000 sq. ft. to as much as 100,000 sq. ft. For its site area, the neighborhood center needs from four to ten acres. It normally serves a trade area population of 4,000 to 40,000 people within six minutes driving time.

The neighborhood (or District Centre) is the smallest type of center.

(2.2) **The Community Center** - in addition to the convenience goods and personal services of the neighborhood center, the community centre also provides a wider range of facilities for the sale of soft lines (wearing apparel for men, women, and children) and hard lines (hardware and appliances). It makes more depth of merchandise available, including broader ranges of styles, sizes, colors and prices.

It is built around a junior department store or a variety store as the major tenant, in addition to the supermarket. It does not have a full-line department store, though it may have a strong specialty store.

In size, the community center has an average gross leasable area of about 150,000 sq. ft. but the range is between 100,000 sq. ft. and 300,000 sq. ft. For its site area, the community center needs from 10 to 30 acres or more. It normally serves a trade area population of 40,000 to 150,000 people.

This is the type of center that is most difficult to estimate for size and pulling power. Because some shopping goods are available, the shopper will compare price and style. This complicates sales volume predictions and opens the way to competition from other centers. The shopper is less predictable in her shopping habits for clothes and appliances, but she will generally go to her favorite supermarket for her household's daily needs.

The community is the intermediate or "in-between" type of center.

- (2.3) **The Regional Center** - provides for general merchandise, apparel, furniture and home furnishings in full depth and variety.

It is built around a full-line department store as the major drawing power. For even greater depth and variety in comparative shopping, two department stores, or even three and more, are being included in the tenancy.

In size, the regional center has an average gross leasable area of 400,000 sq. ft. Regional centers range in area from 300,000 sq. ft. up to 1,000,000 sq. ft. or more. Normally about one-third to one-half of the total gross leasable area is devoted to department stores. The regional center needs at least a population of 150,000 to draw upon. It is generally designed to serve a trade area of 150,000 to 400,000 or more people. In site area, the average regional center needs at least 30 acres or more.

The regional center provides complete comparison shopping goods in depth and variety. Because of this characteristic, its customer drawing power stems from its capacity to offer complete shopping facilities. This attraction extends its trade area by 10 or 15 miles or so, modified by the factors

of competitive facilities, travel time over access highways, etc.

The regional centre is the largest type of shopping center. It comes closest to reproducing the shopping facilities and customer attractions once available only in central business districts.

### 3.0 THE RED DEER SITUATION

Red Deer typifies the above classification of shopping centres. Our existing three District Shopping Centres (Highland Green, West Park, and Eastview) are similar to the above described "neighbourhood centre" and range in size from 21,020 ft.<sup>2</sup> to 50,258 ft.<sup>2</sup>. The Eastview IGA is considering an expansion and two additional District Shopping Centres are in the proposal stage; Deer Park Co-op at 52,000 ft.<sup>2</sup> and a similar site in the Heritage Business Park.

The Village Mall @ 99,243 ft.<sup>2</sup> could be considered similar to the described "community centre" with the Work Warehouse and former Saveco stores as the equivalent of a junior department store. To offset the marketing problems associated with this "in between" size of shopping centre, the Village Mall was located across the street from a regional shopping centre and, in effect, becomes an extension of the Parkland Mall.

The Parkland Mall at 442,735 ft.<sup>2</sup> and the Bower Mall at 433,941 ft.<sup>2</sup> are Red Deer's regional shopping centres. They combine with the Downtown (714,425 ft.<sup>2</sup> of retail, convenience and personal service commercial) to provide three major regional shopping facilities.

In addition to this hierarchy of shopping centre facilities, Red Deer has a further 612,074 ft.<sup>2</sup> of retail and personal service stores along Gaetz Avenue, and 67,790 ft.<sup>2</sup> of convenience and personal service commercial development at 13 local convenience outlets throughout the residential areas.

The two proposed District Shopping Centres, East Hill Co-op and the Heritage Business Park site will add 120,140 ft.<sup>2</sup> and raise Red Deer's total retail and service commercial floor area to just over 2.5 million square feet. (This total does not include the majority of restaurants, lounges, and automotive uses.)

This 2.5 million square feet of commercial floor space can be basically divided into:

- a) Approximately 2.3 million square feet of regional shopping space comprising the downtown area, the two regional malls and Gaetz Avenue.
- b) District Shopping Centre space totalling 224,075 ft.<sup>2</sup>.
- c) Local convenience shopping space totalling 67,790 ft.<sup>2</sup>.

#### 4.0 CONCLUSION

Local convenience facilities serve walk-in traffic, district shopping centres serve 3-4 neighbourhoods within a 6 minute driving distance, and regional centres cater to the whole city and surrounding communities.

In Red Deer, the location of shopping facilities and their accessibility via the arterial road system allow all residents to be within a 10-15 minute drive of all shopping facilities. Such accessibility is expected to be maintained, even as the city grows to double its present population, by future expansion of the arterial road system. Therefore, it should not be necessary to provide for other major commercial facilities on the East Hill in addition to the Eastview and Deer Park Centres.

The next major commercial expansion should be directed towards the downtown railway yards which will provide a unique opportunity for mixed use development that has never before been available. Appropriately scaled commercial development in conjunction with other

uses on the railway yards site should strengthen the downtown commercial core and bolster the downtown as a shopping district. To designate major commercial areas elsewhere in the City, other than those outlined in the East Hill Concept Plan and Northwest Area Structure Plan, will detract from the commercial prospects for the downtown railyards.



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## INTRODUCTION

The East Hill Concept Plan embraces much of the eastern portion of the City and some surrounding lands as shown of Map 1.

As a guide to the future development of this area the first East Hill Concept Plan was approved by Council in June of 1978. It was subsequently revised in response to changes in the utility service area, altered needs for public schools, the accommodation of the County of Red Deer regional sewer outfall line and the recognition that light industrial lands, previously provided for, would not be required in the plan area. The revised plan was approved in principle by Council in October of 1985.

Since 1985 a new traffic analysis has been completed for the East Hill and the Recreation, Parks and Culture Master Plan has been updated. These factors, together with the need to reassess school sites based upon projected population density changes for new development areas, necessitated that the East Hill Concept Plan once again be updated.

This revised plan has been prepared in consultation with the affected City Departments, the County of Red Deer and the school authorities, being the Red Deer Catholic Board of Education and the Red Deer Public School District No. 104.

## OBJECTIVES

The objectives of the East Hill Concept Plan are:

1. to guide City expansion in an orderly manner mindful of the agricultural resources of the area;
2. to provide a framework for neighbourhood land use planning and subsequent subdivision and development;
3. to outline the location of major roads, in keeping with the City's new transportation study; and
4. to outline the open space system, in keeping with the updated Recreation, Parks and Culture Master Plan.

## PRESENT SITUATION

The plan area is shown in more detail on Map 2. It includes about 3,680 acres (1,490 hectares) or 23 quarter sections, of which 9.5 quarter sections lie within the County of Red Deer. Approximately 800 acres (325 hectares) are fully or partially developed, being the Rosedale, Clearview, Eastview Estates, Morrisroe Extension and Deer Park areas.

The map also shows public lands. Three quarters are owned by the

City along 30th Avenue, as is the portion of a quarter section in the most northwesterly segment of the plan. The Crown owns the remainder of the quarter section east of the Michener Centre. All other lands are held by private interests.

The lands not currently developed for urban purposes are generally flat to gently rolling, consisting of better agricultural soils and actively farmed with the exception of some scattered country residences, the College Park subdivision and a church.

### CONCEPT PLAN

Except for some future expansion to West Park and some scattered infill residential development, the lands within the Concept Plan represent the majority of the City's residential expansion areas south of the Red Deer River. The 1988 population of the plan area was slightly over 8,000.

The concept plan is shown on Map 3. This plan focusses on the lands within the study boundary, which is the same as for the 1985 concept plan. However, also shown are how the five other quarter sections adjacent to the 20th Avenue Expressway in the future could be integrated into an overall area plan.

As shown on Map 3, The East Hill is to be a major residential area accommodating a series of neighbourhoods linked by collector roads and pathways. The entire area is dedicated to residential development and the associated needs for open space, schools and commercial areas.

Given an engineering design density of 50 persons per hectare for utility planning purposes, the population that could be accommodated in the plan area is approximately 73,600. However, in past years the density of development and populations achieved in new areas is somewhat lower than the design density. It is anticipated that the realized density may be 43 persons per hectare, which would result in a population of 64,400 persons in the plan area when fully developed. Depending on future City growth rates, this represents a projected 20 to 25 year land base for this growth segment of the City assuming the City boundary is permitted to expand as needed in the near future.

A series of arterial roads are not only accommodated, but are also used to shape the development of neighbourhoods by forming their boundaries. These arterials provide access to and through the area. The major east - west arterials are the Delburne Road (Secondary Road 595), Bannister Drive, 32nd Street, Ross Street 61st and 67th Street. The latter connects to the major north - south arterial, being 30th Avenue. The other north - south arterial is 40th Avenue. A long term expressway is planned, this being on the 20th Avenue alignment and curving northwest over the river to an eventual link with Highway 11A.

Local commercial sites are planned at a spacing of a general average of one per two quarter sections. These are often situated near the intersection of a key collector road with a major arterial. A district commercial site is provided in the Deer Park subdivision along 30th Avenue. It will complement the Eastview district commercial site, which is one-half mile west of the plan area.

The provision of open space is an integral aspect of the concept plan. Twenty neighbourhood parks are situated throughout the area, generally being one for every developed quarter section in accordance with the standards in the Recreation, Parks and Culture Master Plan. A district recreation site is located at the southeast corner of the 32nd Street - 30th Avenue intersection. Future subdivision designs will incorporate pathways which link these open spaces for pedestrians and bicycling. As well, environmental reserve is contemplated along Piper Creek as a logical extension to the existing park system between Kin Canyon and the Westerner site. The plan also provides for the TransAlta Utility right of way.

Future school sites are planned in conjunction with the open space areas. Public schools could include a senior high school, three junior high schools and six elementary schools. Separate school provisions include sites for a senior high school and four K-9 schools.

#### IMPLEMENTATION

Whereas it is only a concept plan, the East Hill Concept Plan has no statutory basis but may be used by City Council and its Departments in guiding residential expansion on the East Hill. It also serves to guide the location of roads, utilities, open spaces, schools and commercial sites.

As well, the concept plan communicates to the County of Red Deer the future needs of the City for growth to the east in order to accommodate expected population increases. It thereby permits the County to consider appropriate policies within its planning documents and decision making processes in response to these future needs.

However, it is recommended that Council consider formalizing that portion of the plan area which lies within the City as an area structure plan, thus providing it the same status as the Northwest Area Structure Plan. Such status would:

(a) ensure that the review of any proposals and subsequent subdivision and development is on the basis of adopted Council directions;

(b) endorse a land use strategy that achieves the goals and objectives of the City's General Municipal Plan and growth

strategy; and

(c) conform with the provisions of The Planning Act.

The proposed area structure plan will be more thorough in its consideration of planning matters for the plan area, including the phasing of development in response to the economical provision of utilities and agricultural land conservation needs.

RECREATION, PARKS AND CULTURE BOARD MEMORANDUM

FILE #: 29876  
 DATE: August 11, 1988  
 TO: Mayor and Council  
 FROM: Jack Engel, Chairman  
 Recreation, Parks and Culture Board  
 RE: EASTHILL CONCEPT PLAN

=====

The Recreation, Parks & Culture Board at its meeting on August 9th, heard a presentation from Bill Shaw of the Regional Planning Commission on the Easthill Concept Plan. It is our understanding that the two school authorities have seen the plan and are supportive of it as is our Board and we recommend to you approval of it.

With respect to the District Open Space allocation, we recommend the acquisitions of it now with the following resolutions passed unanimously.

"THAT the Recreation, Parks & Culture Board, having considered correspondence from Red Deer Regional Planning dated July 18, 1988, the Recreation & Culture Manager dated July 21, 1988, and the Director of Community Services dated August 8, 1988 re: Easthill Concept Plan, hereby recommend to Council of The City of Red Deer the acquisition of a 60 acre site from the City Land Bank for the development of a District Recreation Centre, and that funding for the acquisition of the site be a combination of reserve dedication (5 acres), 1991 C.R.C. Fund (\$118,000) and capital from the Public Reserve Trust Fund, and as directed by the Board August 9, 1988."

Jack Engel

CC: C. Curtis

**REFERENCES**

City of Red Deer General Municipal Plan, March 1980.

City of Red Deer Urban Growth Strategy, December 1984.  
(incomplete draft).

Red Deer Recreation, Parks and Culture Plan, March 1986.

Red Deer Regional Plan, Red Deer Regional Planning Commission,  
May, 1986.

Southeast Red Deer Transportation Study, prepared for the City of  
Red Deer by GCG Dillon, March 1988.

Commissioners' Comments

We would concur with the comments of the Deputy Director and recommend Council give final approval to the East Hill Concept Plan with the revisions as presented to Council.

"R.J. MCGHEE"  
Mayor

"M.C. DAY"  
City Commissioner

DATE: October 4, 1988  
TO: Senior Planner, City Planning Section  
FROM: City Clerk  
RE: EAST HILL CONCEPT PLAN

At the Council meeting of October 3, 1988, the following motion was passed approving the East Hill Concept Plan.

"RESOLVED that Council of The City of Red Deer hereby agree to approve the East Hill Concept Plan as presented to Council October 3, 1988, subject to a further report on a possible large commercial site for Council's review."

BF.

As noted in the above resolution, Council wishes to review the possibility of a large commercial site being included in said Concept Plan and in this regard, we would request that you submit a further report for Council's consideration.

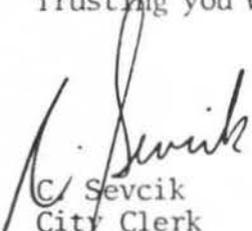
It is further our understanding that the portion of the East Hill Concept Plan located within the City boundaries is to be incorporated in an area structure plan and that you will be submitting this to Council for approval early in the New Year.

BF.

By way of a copy of this memo, we are reminding the Director of Community Services to submit a separate report to Council recommending acquisition of the 60 acre site from the City Land Bank for the development of a district recreation centre including the funding source.

to council  
Oct 17/88

Trusting you will find this satisfactory.

  
C. Sevcik  
City Clerk  
CS/ds

- c.c. City Commissioners
- Dir. of Community Services
- Recreation & Culture Manager
- Parks Manager
- Recreation, Parks & Culture Board
- Dir. of Finance
- Dir. of Engineering Services
- Bylaws & Inspections Mgr.
- City Assessor
- Economic Development Manager

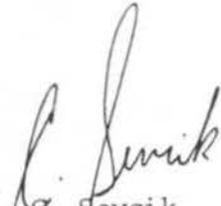
NO. 1

DATE: September 21, 1988  
TO: City Council  
FROM: City Clerk  
RE: EAST HILL CONCEPT PLAN

---

The above matter appeared on the Council Agenda of September 19, 1988, however a motion was passed agreeing that the item be tabled for two weeks to provide sufficient opportunity to review and study the said Plan.

We are reproducing hereafter the material which appeared on the Council Agenda of September 19th. You are requested to bring with you the two large plans which were delivered separate from the September 19th agenda.

  
R. Sevcik  
City Clerk  
CS/ds



# RED DEER REGIONAL PLANNING COMMISSION

2830 BREMNER AVENUE, RED DEER, ALBERTA, CANADA T4R 1M9

DIRECTOR: Robert R. Cundy M.C.I.P.

Telephone (403) 343-3394  
Fax: (403) 346-1570

September 9, 1988

Mr. C. Sevcik  
City Clerk  
City Hall  
Red Deer, Alberta

Dear Sir:

Re: East Hill Concept Plan

Enclosed herewith are twelve copies of the revised East Hill Concept Plan, the brief contents of which are self-explanatory.

The district recreation site has been reduced to 60 acres, the funding for which has been discussed between the Treasury and Community Services Departments. Major roads conform with the 1988 Southeast Red Deer Transportation Study.

The Plan has been prepared in close co-operation with the two school boards, Parks and Recreation, Engineering and Planning Departments.

The East Hill Concept Plan has been approved by the Recreation, Park and Culture Board and the administration of the two Schools on behalf of their Boards.

We are recommending the City Council adopt this Plan replacing the 1985 East Hill Concept Plan.

Yours truly

D. ROUHI, M.C.I.P.  
SENIOR PLANNER  
City Planning Section

DR/pim

Enc.

#### MUNICIPALITIES WITHIN COMMISSION AREA

CITY OF RED DEER—TOWN OF BLACKFALDS—TOWN OF BOWDEN—TOWN OF CARSTAIRS—TOWN OF CASTOR—TOWN OF CORONATION—TOWN OF DIDSBURY—TOWN OF ECKVILLE—TOWN OF INNISFAIL—TOWN OF LACOMBE—TOWN OF OLDS—TOWN OF PENHOLD—TOWN OF ROCKY MOUNTAIN HOUSE—TOWN OF STETTLER—TOWN OF SUNDRE—TOWN OF SYLVAN LAKE—VILLAGE OF ALIX—VILLAGE OF BENTLEY—VILLAGE OF BIG VALLEY—VILLAGE OF BOTHA—VILLAGE OF CAROLINE—VILLAGE OF CLIVE—VILLAGE OF CREMONA—VILLAGE OF DELBURNE—VILLAGE OF DONALDA—VILLAGE OF ELNORA—VILLAGE OF GADSBY—VILLAGE OF HALKIRK—VILLAGE OF MIRROR—SUMMER VILLAGE OF BIRCHCLIFF—SUMMER VILLAGE OF GULL LAKE—SUMMER VILLAGE OF HALF MOON BAY—SUMMER VILLAGE OF NORGLNWOLD—SUMMER VILLAGE OF ROCHON SANDS—SUMMER VILLAGE OF WHITE SANDS—SUMMER VILLAGE OF JARVIS BAY—COUNTY OF LACOMBE No. 14—COUNTY OF MOUNTAIN VIEW No. 17—COUNTY OF PAINTEARTH No. 18—COUNTY OF RED DEER No. 23—COUNTY OF STETTLER No. 6—MUNICIPAL DISTRICT OF CLEARWATER No. 99

DATE: August 22, 1988 CS-1.836

TO: BILL SHAW  
Deputy Director  
Regional Planning Commission

FROM: CRAIG CURTIS  
Director of Community Services

RE: EAST HILL CONCEPT PLAN  
Your memo dated August 18, 1988 refers.

---

I have discussed the revised East Hill Concept Plan with the Parks, Recreation & Culture and Social Planning Managers. As you are aware, we have been part of the team involved in updating the plan. Consequently, we support the revised concept as presented.

I enclose a copy of my report to the Recreation, Parks & Culture Board regarding the acquisition of the District Recreation site. The Board has made a recommendation to City Council that this site be acquired from the City land bank as soon as possible.

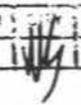
Once the plan is adopted in principle, I recommend that the portion of development within the City boundary be approved as a formal Area Structure Plan, in terms of the Planning Act.

  
CRAIG CURTIS

CC:dmg

Attach.

- c. Lowell Hodgson, Recreation & Culture Manager
- Don Batchelor, Parks Manager
- Rick Assinger, Social Planning Manager

RECEIVED	
AUG 23 1988	
RED DEER REGIONAL PLANNING COMMISSION	
ADM. SERV.	URBAN/RURAL REGION
	

4.

FILE #: 29876  
DATE: August 11, 1988  
TO: Mayor and Council  
FROM: Jack Engel, Chairman  
Recreation, Parks & Culture Board  
RE: EASTHILL CONCEPT PLAN

---

The Recreation, Parks & Culture Board at its meeting on August 9th, heard a presentation from Bill Shaw of the Regional Planning Commission on the Easthill Concept Plan. It is our understanding that the two school authorities have seen the plan and are supportive of it as is our Board and we recommend to you approval of it.

With respect to the District Open Space allocation, we recommend the acquisitions of it now with the following resolutions passed unanimously.

"THAT the Recreation, Parks & Culture Board, having considered correspondence from Red Deer Regional Planning dated July 18, 1988, the Recreation & Culture Manager dated July 21, 1988, and the Director of Community Services dated August 8, 1988 re: Easthill Concept Plan, hereby recommend to Council of The City Of Red Deer the acquisition of a 60 acre site from the City Land Bank for the development of a District Recreation Centre, and that funding for the acquisition of the site be a combination of reserve dedication (5 acres), 1991 C.R.C. Fund (\$118,000) and capital from the Public Reserve Trust Fund, and as directed by the Board August 9, 1988."

  
Jack Engel

JE/zea

cc C. Curtis

112

# Red Deer Catholic Schools



(403) 343-1055

Administration Offices  
3827 - 39 STREET  
RED DEER, ALBERTA

September 8, 1988

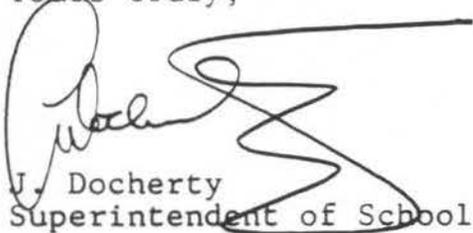
Mr. Djamshid Rouhi  
Red Deer Regional  
Planning Commission  
2830 Bremner Avenue  
Red Deer, Alberta  
T4R 1M9

Dear Djamshid,

At its meeting of September 6, 1988, the Red Deer Catholic Board of Education approved the northwest sector plan and the east hill concept plan.

My apologies for not having approval earlier. However, this is the first meeting of our Board since June.

Yours truly,



J. Docherty  
Superintendent of Schools

JD/1a

SEP 12 1988

PK



# RED DEER PUBLIC SCHOOL DISTRICT NO. 104

4747 - 53 Street

RED DEER, ALBERTA  
T4N 2E6

Phone 343-1405

AUG 25 1988

August 23, 1988

## BOARD OF TRUSTEES

R.E. SCHNELL  
Chairman

L.L. CAMPBELL-CARDWELL

L.E. GODDARD

L.D. HARRIS

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Superintendent of Schools

D.A. BLACKER  
Deputy Superintendent

L.A. PIZZEY  
Assistant Superintendent

R.E. CONGDON  
Assistant Superintendent  
(Business Services)

## CO-ORDINATORS

A BURLEY  
DR. R.B. DRYSDALE  
E.M. KULMATYCKI  
R.R. LANG  
R.W. PAWLOFF

Mr. Bill Shaw  
Deputy Director  
Red Deer Regional Planning Commission  
2830 Bremner Avenue  
RED DEER, Alberta  
T4R 1M9

Dear Mr. Shaw:

Re: East Hill Concept Plan

In reply to your letter of August 18, 1988 regarding the above, we wish to advise that the plan has been reviewed by the Red Deer Public School District No. 104 and we are in agreement with the proposed school sites.

Yours sincerely,

R. E. Congdon  
Assistant Superintendent  
Business Services

REC:jhb

5-513

DATE: August 8, 1988  
TO: RECREATION, PARKS & CULTURE BOARD  
FROM: CRAIG CURTIS  
Director of Community Services  
RE: EASTHILL CONCEPT PLAN:  
Acquisition of Easthill District Site

---

CS-1.805

1. The Easthill Concept Plan recommends that a 60-acre site at the intersection of 32nd Street and 30th Avenue be reserved for the future development of a district recreation centre. This concept was incorporated in the approved Recreation, Parks and Culture Master Plan, and is planned to include two future high schools and shared recreation facilities.
2. If the 60-acre site is to be used solely for recreation and school purposes, it would have to be acquired, as it could not be assembled through reserve dedication. The quarter-section, including the 60-acre site, is owned by the City land bank, and the estimated cost (including carrying charges) is \$9,333.00 per acre.
3. It is proposed that the district recreation centre site be acquired through a combination of reserve dedication, C.R.C. funds (City share) and capital from the Public Reserve Trust Fund. The breakdown of costs and revenues would be as follows:

COSTS:

• 5 acres reserve dedication (from balance of quarter section)	----
• 55 acres @ \$9,333 per acre	\$ 513,315.00
TOTAL	<u>\$ 513,315.00</u>

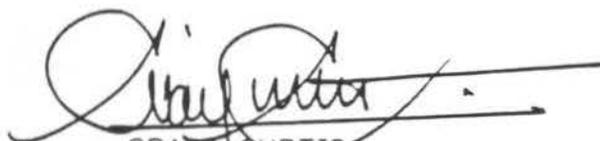
REVENUE:

• 1991 C.R.C. funds (City share)	\$ 118,000.00
• Public Reserve Trust Fund	<u>395,315.00</u>
TOTAL	<u>\$ 513,315.00</u>

.../2

4. RECOMMENDATION:

- It is proposed that the Recreation, Parks and Culture Board recommend to City Council the acquisition of a 60-acre site from the City land bank, for the development of a district recreation centre, as outlined in the Easthill Concept Plan.
- It is proposed that the funding for the acquisition of the site be a combination of reserve dedication (5 acres), 1991 C.R.C. funds (\$118,000.00) and capital from the Public Reserve Trust Fund.



CRAIG CURTIS

CC:dmg

- c. Lowell Hodgson, Recreation & Culture Manager  
Don Batchelor, Parks Manager

EAST HILL CONCEPT PLAN

Prepared by:  
City Planning Section  
Red Deer Regional Planning Commission  
August 1988

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## INTRODUCTION

The East Hill Concept Plan embraces much of the eastern portion of the City and some surrounding lands as shown of Map 1.

As a guide to the future development of this area the first East Hill Concept Plan was approved by Council in June of 1978. It was subsequently revised in response to changes in the utility service area, altered needs for public schools, the accommodation of the County of Red Deer regional sewer outfall line and the recognition that light industrial lands, previously provided for, would not be required in the plan area. The revised plan was approved in principle by Council in October of 1985.

Since 1985 a new traffic analysis has been completed for the East Hill and the Recreation, Parks and Culture Master Plan has been updated. These factors, together with the need to reassess school sites based upon projected population density changes for new development areas, necessitate that the East Hill Concept Plan once again be updated.

This revised plan has been prepared in consultation with the affected City Departments, as well as the Red Deer Catholic Board of Education and the Red Deer Public School District No. 104.

## OBJECTIVES

The objectives of the East Hill Concept Plan are:

1. to guide City expansion in an orderly manner mindful of the agricultural resources of the area;
2. to provide a framework for neighbourhood land use planning and subsequent subdivision and development;
3. to outline the location of major roads, in keeping with the City's new transportation study; and
4. to outline the open space system, in keeping with the updated Recreation, Parks and Culture Master Plan.

## PRESENT SITUATION

The plan area is shown in more detail on Map 2. It includes about 3,680 acres (1,490 hectares) or 23 quarter sections, of which 9.5 quarter sections lie within the County of Red Deer. Approximately 800 acres (325 hectares) are fully or partially developed, being the Rosedale, Clearview, Eastview Estates, Morrisroe Extension and Deer Park areas.

The map also shows public lands. Three quarters are owned by the City along 30th Avenue, as is the portion of a quarter section in

the most northwesterly segment of the plan. The Crown owns the remainder of the quarter section east of the Michener Centre. All other lands are held by private interests.

The lands not currently developed for urban purposes are generally flat to gently rolling, consisting of better agricultural soils and actively farmed with the exception of the odd scattered country residence, the College Park subdivision and a church.

### CONCEPT PLAN

Except for some future expansion to West Park and some scattered infill residential development, the lands within the Concept Plan represent the majority of the City's residential expansion areas south of the Red Deer River. Given an engineering design density of 20 persons per acre for utility planning purposes, the anticipated population to be accommodated in the plan area is approximately 73,600. However, in past years the density of development and populations achieved in new areas is somewhat lower than the design density. It can be anticipated that the realized density may be 17.5 persons per acre, which would accommodate 64,400 persons in the plan area when fully developed. Depending on future City growth rates, this represents a projected 12 to 20 year land base for this growth segment of the City assuming the City boundary is permitted to expand as needed in the future.

The conceptual details of the plan are shown on Map 3.

A series of arterial roads are not only accommodated, but are also used to shape the development of neighbourhoods by forming their boundaries. These arterials provide access to and through the area. The major east - west arterials are the Delburne Road (Secondary Road 595), Bannister Drive, 32nd Street, Ross Street and 67th Street. The latter connects to the major north - south arterial, being 30th Avenue. The other north - south arterial is 40th Avenue. A long term expressway is planned, this being on the 20th Avenue alignment and curving northwest over the river to an eventual link with Highway 11A.

As shown on Map 3, The East Hill is to be a major residential area accommodating a series of neighbourhoods linked by collector roads and pathways. The entire area is dedicated to residential development and the associated needs for open space, schools and commercial areas.

Local commercial sites are planned at a spacing of a general average of one per two quarter sections. These are often situated at the intersection of a key collector road with a major arterial. A district commercial site is provided in the Deer Park subdivision along 30th Avenue.

The provision of open space is an integral aspect of the concept

plan. Twenty neighbourhood parks are situated throughout the area, generally being one for every developed quarter section in accordance with the standards in the Recreation, Parks and Culture Master Plan. A district recreation site is located at the southeast corner of the 32nd Street - 30th Avenue intersection. Future subdivision designs will incorporate pathways which link these open spaces for pedestrians and bicycling. As well, environmental reserve is contemplated along Piper Creek as a logical extension to the existing park system between Kin Canyon and the Westerner site. The plan also provides for the TransAlta Utility right of way.

Future school sites are planned in conjunction with the open space areas. Public schools could include a senior high school, three junior high schools and six elementary schools. Separate school provisions include sites for a senior high school and four K-9 schools.

### IMPLEMENTATION

Whereas it is only a concept plan, the East Hill Concept Plan has no statutory basis but may be used by City Council and its Departments in guiding residential expansion on the East Hill. It also serves to guide the location of roads, utilities, open spaces, schools and commercial sites.

As well, the concept plan communicates to the County of Red Deer the future needs of the City for growth to the east in order to accommodate expected population increases and thereby permits the County to consider appropriate policies within its planning documents and decision making processes in response to these future needs.

However, it is recommended that Council consider formalizing that portion of the plan area which lies within the City as an area structure plan, thus providing it the same status as the Northwest Area Structure Plan. Such status would:

- (a) ensure that the review of any proposals and subsequent subdivision and development is on the basis of approved Council directions;
- (b) endorse a land use strategy that achieves the goals and objectives of the City's General Municipal Plan and growth strategy; and
- (c) conform with the provisions of The Planning Act.

The area structure plan would be more thorough in its consideration of planning matters for the plan area, including the phasing of development in response to agricultural land conservation needs and the economical provision of utilities, and development densities.

RECREATION, PARKS AND CULTURE BOARD MEMORANDUM

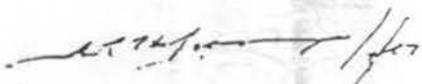
FILE #: 29876  
DATE: August 11, 1988  
TO: Mayor and Council  
FROM: Jack Engel, Chairman  
Recreation, Parks & Culture Board  
RE: EASTHILL CONCEPT PLAN

---

The Recreation, Parks & Culture Board at its meeting on August 9th, heard a presentation from Bill Shaw of the Regional Planning Commission on the Easthill Concept Plan. It is our understanding that the two school authorities have seen the plan and are supportive of it as is our Board and we recommend to you approval of it.

With respect to the District Open Space allocation, we recommend the acquisitions of it now with the following resolutions passed unanimously.

"THAT the Recreation, Parks & Culture Board, having considered correspondence from Red Deer Regional Planning dated July 18, 1988, the Recreation & Culture Manager dated July 21, 1988, and the Director of Community Services dated August 8, 1988 re: Easthill Concept Plan, hereby recommend to Council of The City Of Red Deer the acquisition of a 60 acre site from the City Land Bank for the development of a District Recreation Centre, and that funding for the acquisition of the site be a combination of reserve dedication (5 acres), 1991 C.R.C. Fund (\$118,000) and capital from the Public Reserve Trust Fund, and as directed by the Board August 9, 1988."

  
Jack Engel

JE/zea

cc C. Curtis

**REFERENCES**

City of Red Deer General Municipal Plan, March 1980.

City of Red Deer Urban Growth Strategy, incomplete draft -  
December 1984.

Red Deer Recreation, Parks and Culture Plan, March 1986.

Southeast Red Deer Transportation Study, prepared for the City of  
Red Deer by GCG Dillon, March 1988.

Commissioners' Comments

Attached is the recommended East Hill Concept Plan, together with a map showing the former East Hill Concept Plan. We would recommend Council table this matter for 2 weeks to enable further study and at the next meeting of Council, the Planners will outline the detailed differences between the 2 plans for Council's consideration and the Director of Engineering Services will **outline** changes to the traffic patterns to the south east area which were of concern to the Anders Park residents.

"R.J. MCGHEE"  
Mayor

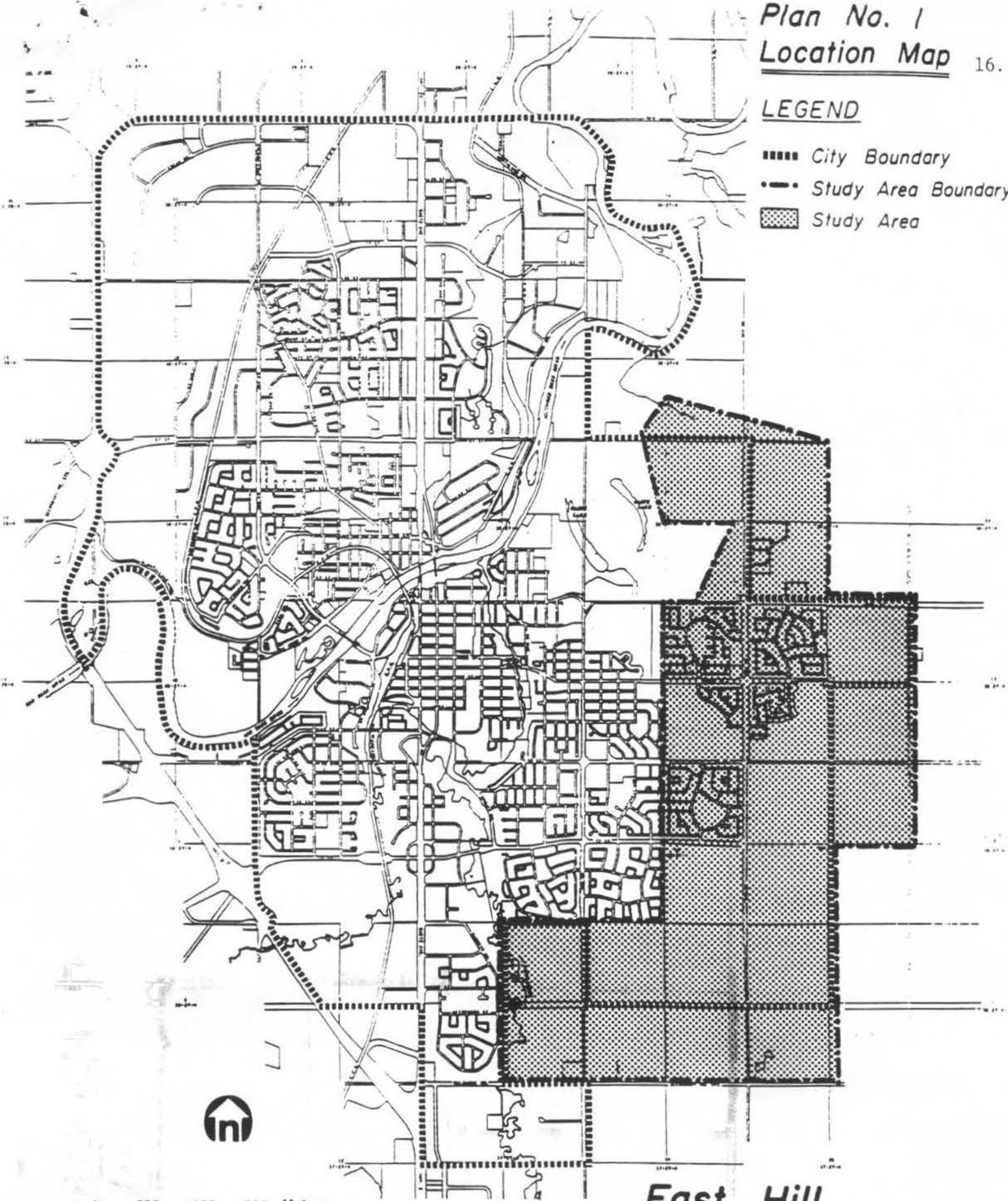
"M.C. DAY"  
City Commissioner



CONCEPT #10

LEGEND

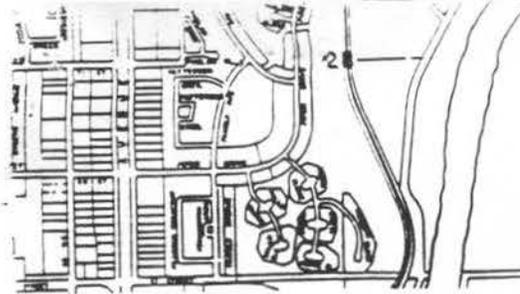
- City Boundary
- Study Area Boundary
- ▨ Study Area



0 500 1000 1500 Metres

Prepared by : R. D. R. P. C. August, 1988

**East Hill  
Concept Plan**



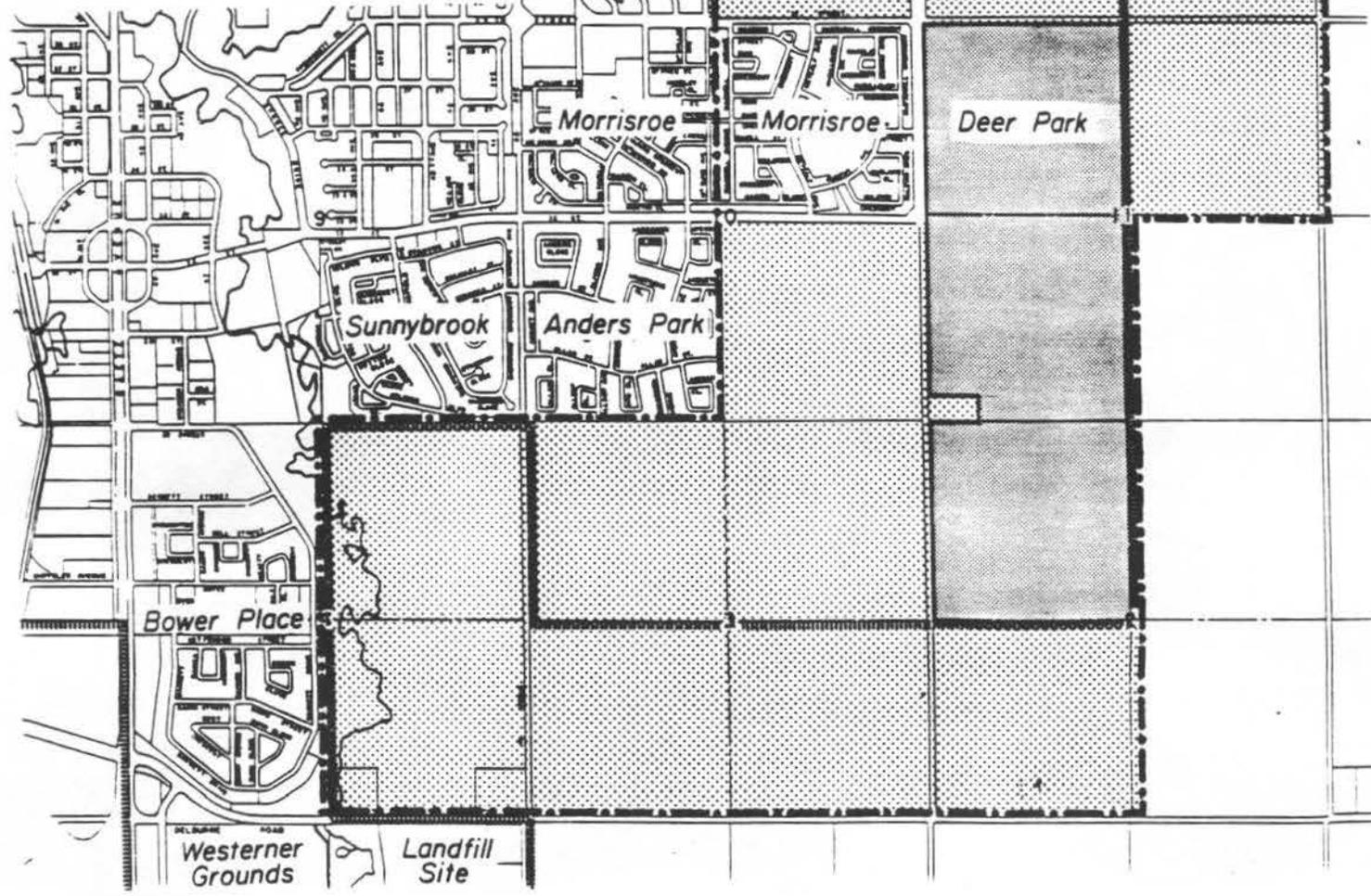
# East Hill Concept Plan

## LEGEND

-  City Boundary
-  Study Area Boundary
-  City Owned
-  Crown Owned
-  Private Owned

0 500 1000 1500 Metres

Prepared by : R. D. R. P. C.  
August, 1988



September 23, 1988

TO: CITY COUNCIL

FROM: CITY CLERK

RE: Mr. Doug Grinder - Hours of Business Bylaw  
Eastview Super Drugs/Highland Green Super Drugs

At the Council meeting of September 6, 1988 the attached material appeared on the agenda. At the aforesaid meeting it was agreed by Council that no action be taken with regard to the request from Mr. Doug Grinder to amend the Hours of Business Bylaw until such time as a ruling was received from the Supreme Court of Canada.

As the Supreme Court has ruled on this issue we are re-presenting this material for Council's consideration and a decision.

In addition to the request from Mr. Doug Grinder, we are enclosing hereafter a letter received from Mr. J.A. McGrath objecting to the Hours of Business Bylaw.

Respectfully submitted,



C. SEVCIK  
City Clerk

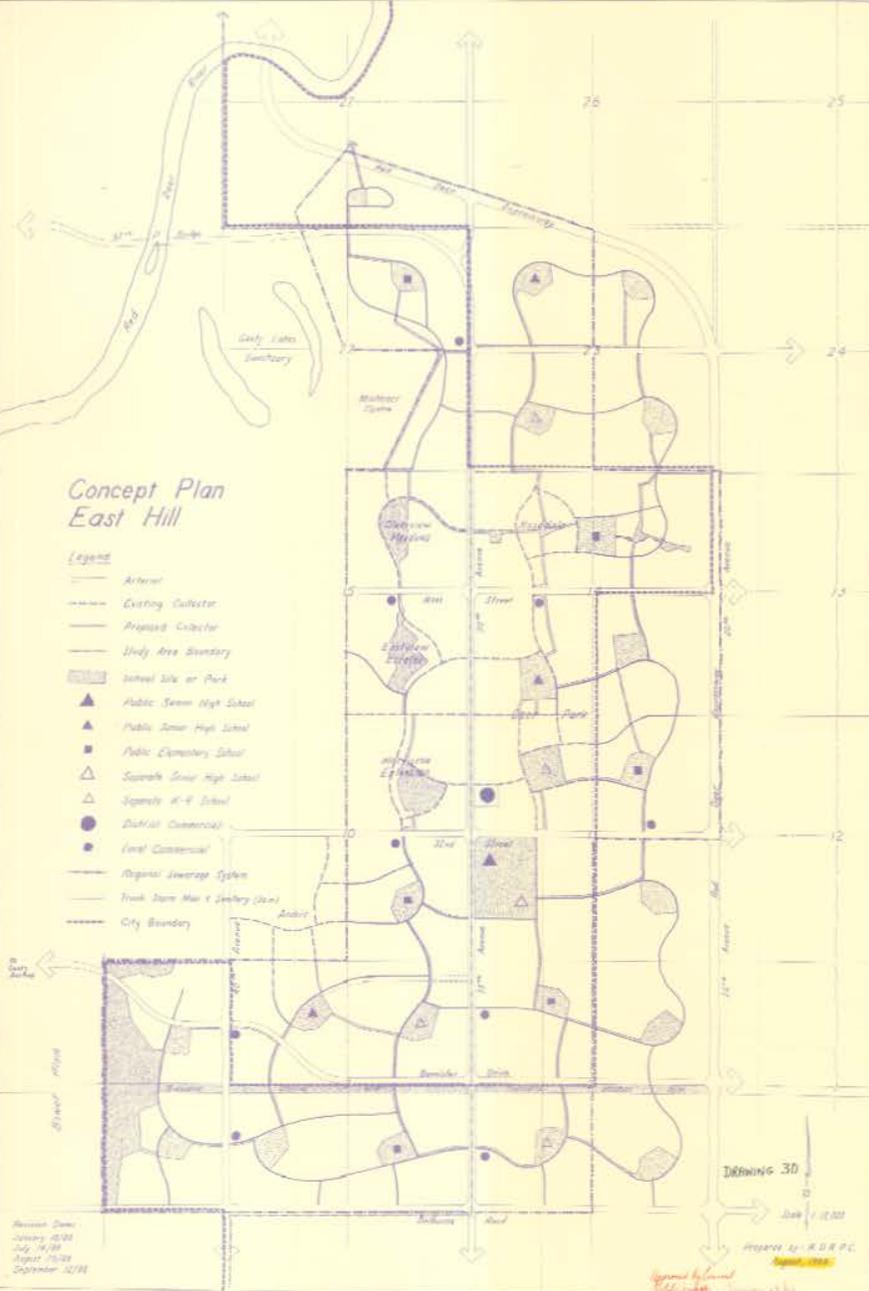
CS/gr

Attach:

# Concept Plan East Hill

## Legend

- Arterial
- - - Existing Collector
- Proposed Collector
- Study Area Boundary
- ▨ School Site or Park
- ▲ Public Senior High School
- ▲ Public Junior High School
- Public Elementary School
- △ Separate Senior High School
- △ Separate K-8 School
- District Commercial
- Local Commercial
- Regional Sewerage System
- Truck Stop Mail & Jewelry (Zoned)
- City Boundary



Revision Dates:  
January 1978  
July 1978  
August 1978  
October 1978

DRAWING 30

Prepared by: KDRPC  
Approved by: [Signature]

DATE: January 24, 1989  
TO: Deputy Director, W.G.A. Shaw, R.D.R.P.C.  
FROM: City Clerk  
RE: EAST HILL CONCEPT PLAN

---

I would advise that your report dated January 11, 1989, concerning the above matter including a copy of the text of the East Hill Concept Plan with some minor revisions underlined, received consideration at the Council meeting of January 23, 1989.

At the above noted meeting, Council passed the following motion approving the said Plan.

"RESOLVED that Council of The City of Red Deer hereby approve the East Hill Concept Plan as presented to Council January 23, 1989."

The decision of Council in this instance is submitted for your information and I trust you will find same satisfactory.



C. Sevcik  
City Clerk  
CS/as

c.c. Dir. of Community Services  
Dir. of Engineering Services  
Dir. of Finance  
Bylaws & Inspections Manager  
City Assessor  
E.L. & P. Manager  
Economic Development Manager  
Fire Chief  
Transit Manager  
Recreation & Culture Manager  
Parks Manager

NO. 4

DATE: JANUARY 16, 1989 CS-2.041

TO: CITY COUNCIL

FROM: CRAIG CURTIS  
Director of Community Services

RE: DAY CARE CENTRE ROOF:  
A letter from the Chairman of the F.C.S.S. Board,  
dated January 12, 1989, refers.

---

1. In January 1988, there were extensive water problems throughout the Red Deer Day Care Centre, and the Day Care Management Board expressed concern that major damage could occur to the facility. These problems were reported to City Council in February, and Council authorized the hiring of an independent roofing consultant to investigate the problem.
2. In March 1988, Alberta Independent Inspection & Consulting Services (1983) Limited was contracted to undertake an evaluation of the roof. Their report was completed. and submitted to the City in June.

The consultants undertook cut tests of the roof, and concluded that moisture was not penetrating the exterior membrane. It was noted, however, that vapour barriers were absent or incomplete in several locations. Consequently, it was concluded that the water problems in the building were likely caused by condensation. In this respect, the report concluded:

"The Otto Roofing Limited criteria does not appear to have taken into consideration the importance of reducing the movement of moisture from occupied areas to the roof space. This movement of humid, interior air into colder ceiling and attic temperatures increases, dramatically, the potential for frost build-up in cold, winter weather."

3. The consultants' report was considered by a committee of the F.C.S.S. Board in July, when it was recommended that Group 2 Architects be hired to investigate remedial measures which might be undertaken to reduce condensation in the building. This matter was considered by City Council at its meeting on August 8th, when the following resolution was adopted:

"RESOLVED that Council of The City of Red Deer, having considered a report dated August 2nd, 1988, from the Director of Community Services re: Red Deer Day Care Centre Roof Repairs, hereby agree that Group 2 Architects be hired to investigate, recommend and carry out consulting for remedial work to the Red Deer Day Care Centre roof, at a cost of \$2,000

.../2

City Council  
Page 2  
January 16. 1989  
Day Care Centre Roof

---

plus disbursements, said cost to be charged as an over-expenditure to the 1988 Day Care Budget (50% of this cost to be recovered from the federal government under the Canada Assistance Plan), and as recommended to Council August 8th, 1988."

4. The report on the building prepared by Group 2 Architects was completed in December, and the conclusions are summarized in the report to City Council from the F.C.S.S. Board dated January 12, 1989 (copy attached).

In summary, it has been confirmed that the roof of the building is not leaking. However, the vapour barrier is defective in numerous locations, and this problem should have been addressed in the design and construction of the roof. In addition, the report notes that the general assembly of the trailers is very poor, and this will likely result in increased maintenance costs in the future.

The report concludes that interim modifications to the building to eliminate the condensation problems will cost approximately \$29,200, including consultants' fees.

5. The report was considered by the F.C.S.S. Board at a meeting on January 10th, 1989. The Board is recommending:
- that the modifications to the building to eliminate condensation be undertaken at a cost of \$29,200;
  - that the current warranty/maintenance contract with Otto Roofing Limited be terminated;
  - that immediate steps be taken to fully finance the capital cost of the Red Deer Day Care Centre, to be paid off over the next ten years.
6. I have carefully reviewed the various reports on the roof of the Red Deer Day Care Centre, together with the F.C.S.S. Board recommendations, and my comments are as follows:
- I consider that the modifications to the building must be undertaken to resolve the condensation problems. It should be once again noted, however, that the roof and ventilation system designed and installed by Otto Roofing

City Council  
 Page 3  
 January 16, 1989  
 Day Care Centre Roof

---

Limited is somewhat unorthodox, and does not conform to accepted standards. It is, consequently, possible that the entire roof may have to be replaced within an undetermined period of time.

The costs of undertaking these modifications are included in the draft 1989 budget to be financed as follows:

-	AMPLE Grant	\$ 7,300
-	Canada Assistance Plan (CAP)	7,300
-	Community Facility Enhancement Grant Program (Subject to approval by the Province)	<u>14,600</u>
-	<b>TOTAL</b>	<b><u>\$29,200</u></b>

- Otto Roofing Limited claims that the condensation problems are not covered by their warranty/maintenance contract. In addition, the contract would be terminated if modifications are undertaken by another party, as proposed by Group 2 Architects. In my view, the City would be well advised to terminate the present contract, and undertake the modifications outlined in the architects' report.
- It is clear, from the report, that the assembly of the trailers was very poor, and this may result in additional maintenance costs in the future which may not be cost effective. I, consequently, support the proposal to recover the initial construction cost over a nine-year period. The additional cost per annum will be approximately \$10,800, 50% of which can be recovered through the Canada Assistance Plan (CAP). The balance should either be added as a net cost to the Social Planning Budget and recovered through the tax levy, or recovered through an increase in user fees.

#### 7. RECOMMENDATIONS

I recommend that City Council:

- approve the sum of \$29,300 for modifications to the Red Deer Day Care Centre, as outlined in the draft 1989 budget;

.../4

City Council  
Page 4  
January 16, 1989  
Day Care Centre Roof

---

- support the termination of the current warranty/maintenance contract with Otto Roofing Limited;
- approve an alteration to the financing of the initial construction of the Red Deer Day Care Centre, to recover the total cost over a nine-year period, effective 1990.



CRAIG CURTIS, Director  
Community Services Division

CC:dmg

Attachment

- c. Rick Assinger, Social Planning Manager  
Dr. Gordon Mundle, Day Care Management Board Chairman  
Colleen Palichuk, F.C.S.S. Board Chairman

DATE: January 12, 1989

TO: MAYOR R.J. MCGHEE & COUNCIL

FROM: COLLEEN PALICHUK, Chairman  
F.C.S.S. Board

RE: DAY CARE CENTRE ROOF REPORT

---

At its regular meeting on August 8, 1988, Red Deer City Council approved the hiring of Group 2 Architects to investigate, recommend and carry out consulting for remedial work to the Red Deer Day Care Centre roof. Background information, explaining the need to investigate the roof, was submitted to Council at that time.

Attached is the report from Group 2 Architects on the moisture problems at the Red Deer Day Care Centre. Also attached are the comments from Red Deer Day Care Services on this roof report and a letter from Group 2 Architects.

The essence of the Roof Report is as follows:

1. The roof is not leaking but there are severe internal moisture problems that need to be addressed at an estimated cost of \$26,400.00 including:
  - sealing the gaps between the trailer units,
  - improving the existing vapour barrier,
  - reducing humidity in the building.
2. There is some question about the suitability of the roof installed by Otto Roofing and how long it will last.
3. The general quality of the trailers and the way in which they have been reassembled is poor and will likely result in increasing maintenance costs.
4. There are serious questions about the operational and functional efficiency of these trailer units as a day care centre.

Council should also be aware that there is an existing Warrantee/Maintenance Contract in effect with Otto Roofing for a fifteen year period commencing November, 1986.

The Family and Community Support Services Board held a special meeting on January 10, 1989 to review all of these reports and make recommendations to City Council. It is important that Council make the necessary budget provisions (in the 1989 budget) to resolve the moisture problems and therefore it is important that Council deal with this matter at its January 23 meeting. The Social Planning budget will be discussed by Council on January 25.

The F.C.S.S. Board, along with the Day Care Management Board, is concerned about three major items:

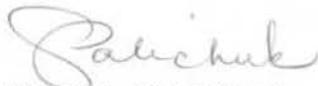
1. The expected lifespan of the trailer units as a day care facility.
2. The long-term suitability of the roof of the facility installed by Otto Roofing.
3. The increasing maintenance costs of the facility.

In light of these major concerns, the F.C.S.S. Board has requested the Social Planning Manager to investigate other options to the continuing use of the trailer units as a day care facility in the event that there is a better option than continuing to invest further resources in these trailer units.

In spite of the above concerns, the F.C.S.S. Board is of the opinion that it likely will be necessary to continue using the facility in place and therefore, the recommended renovations will be necessary to increase the lifespan and reduce further maintenance costs. Accordingly, the F.C.S.S. Board recommends to City Council:

1. That City Council approve a budget of \$26,400.00 to make the adjustments to the facility as proposed and \$2,800.00 to engage the services of Group 2 Architects to oversee this project to its completion.
2. That the estimated cost of \$29,200.00 be charged to A.M.P.L.E. and/or application be made for matching funding under the Community Facility Enhancement Program.
3. That the current Warrantee/Maintenance Contract with Otto Roofing be terminated immediately.
4. That immediate steps be taken to fully finance the capital costs of the Red Deer Day Care Centre to be paid off over the next ten years.

We would encourage Council to adopt the recommendations of the Board.



COLLEEN PALICHUK

/jmf

- c. A. Wilcock, Director of Finance  
C. Curtis, Director of Community Services  
G. Mundle, Chairman, Day Care Management Board  
K. Barnhart, Day Care Administrator



RED DEER



DAY CARE SERVICES

ADMINISTRATION  
BOX 246  
RED DEER, ALBERTA  
T4N 5E8  
347-7973

December 20, 1988

F.C.S.S. Board  
c/o Rick Assinger  
Social Planning Department  
4th Floor, City Hall  
RED DEER, Alberta

Dear Rick:

On your request Cathy Pattison and myself have discussed the architects' report with Mr. Graham Leadbetter and his colleague, John.

We are prepared to make the following recommendations to City Council with Management Board approval.

1. The work on the roof recommended by the Architects' Report should commence as soon as possible -- preferably, the spring of 1989.
2. An ad hoc committee should be established to consider the options available to the Red Deer Day Care Centre.

We agree with the architects' conclusion that a replacement facility will be necessary in the next five to ten years.

In addition to the concerns outlined in the report, such as insulation and heating efficiency, damaged floors and inefficient windows, we wish to draw to Council's attention the age of the furnaces and plumbing fixtures. These fixtures are all showing their age and have required substantial maintenance over the past two years (see report by Cathy Pattison).

We agree that repairing the roof and decreasing the humidity may slow down the deterioration of the structure, however, the costs of maintaining this facility will continue to increase as the fixtures, flooring and structure age.

. . . . 2

Red Deer Day Care Centre  
Behind  
Lindsay Thurber Comprehensive  
High School  
Box 246  
Red Deer, Alberta

Family Day Home Program  
#303, 5000 Gaetz Ave.  
Red Deer, Alberta  
T4N 6C2  
342-0644

Normandeau Day Care Centre  
53 Noble Ave.  
Red Deer, Alberta  
T4P 2C4  
346-1305

School-Age Child  
Care Programs  
Box 246  
Red Deer, Alberta  
T4N 5E8  
346-3660

- 2 -

The Management Board is waiting to hear about the proposed maintenance support that was approved in 1988. We have budgeted for our contribution to this service but due to lack of expertise in this area we have not planned for additional maintenance costs in 1989 above what we consider to be normal wear and tear on a facility such as ours.

If there is any additional information you require we will do our best to provide it.

Yours truly,

  
Kathy Barnhart  
Administrator

KB:kjt  
Enclosures

Report to the Management Board regarding the Red Deer Day Care facility.

In response to the report prepared by Group 2 Architects (Sept/88) which investigated problems with the roof at Red Deer Day Care Centre. I feel it is necessary as the program director to share some concerns about the day care facility.

First some history on the Red Deer Day Care facility:

In 1986 13 Atco trailer units were purchased complete with furnaces, air conditioners, electrical and plumbing fixtures. These were 12 years old and operable but not in excellent condition. Our relocation budget was very limited and the used equipment and fixtures were refurbished and made functional. All that was salvageable from the previous eight year old day care centre was used, kitchen cupboards, shelving, toilets and sinks. In June 1986 we were in a different but certainly not new facility. From the onset we realized the facility would have a life expectancy of no more than 15 years. With this in mind we purchased lower grade commercial carpeting and lino and chose to leave major features of the building, ie. doors, windows, wall-board, exterior siding, as it was.

An energy audit was conducted in August 1986 by Alberta Energy and Natural Resources, this outlined ways to reduce energy consumption but again because of the limited life expectancy of the building our energy dollars saved would never repay the cost of modifications to the structure.

Fixtures and features of the facility must be considered in their present state and the costs associated with repair or replacement in the future.

PLUMBING

- 7 child size toilets - 10 years old  
Fair condition, minor repairs have been made to all in the past.  
Estimated replacement cost: \$3,000
- 6 small sinks - 10 years old  
Fair condition, taps have been replaced  
Temperature regulators dysfunctional since installation June 1986.  
Estimated replacement cost: \$900
- 1 small urinal - 10 years old  
Presently dysfunctional, costs to rebuild flushing unit cost more than the urinal is worth.  
Estimated replacement cost: \$600
- 2 staff toilets - 14 years old  
Poor condition, valves have been replaced  
Plumbers advise replacement with a conventional toilet if they break down again.  
Estimated replacement cost: \$1,000

FURNACES

- 1 NEW Flamemaster - installed November 1988 Cost: \$1,800
- 5 Lennox furnaces - 14 years old  
Fair condition, all operating  
Major repairs done to 2 furnaces in 1988, motor rebuilt and fan blower replaced.  
Estimated replacement cost: \$10,000

AIR CONDITIONERS

- 5 Air conditioning units Mounted outdoors  
- 14 years old  
New compressor and parts to rebuild unit in SE wing job completed in 1988. Cost \$1,000  
Estimated replacement cost: \$10,000

ELECTRICAL

- Light fixtures & wiring - 14 years old  
Good condition, balasts replaced on a regular basis as they burn out.
- Exit lights - new 1986
- Fire alarm system - new 1986
- Anticipate minor repairs to electrical system.

OUTDOOR LANDINGS

- Cement work - Built new 1986. Quality of materials and workmanship was fair.  
Cement patio already pitting and cracking.  
Wooden landings have needed minor repair.  
Estimated replacement cost: \$2,000.

FLOOR COVERINGS:

- 1986 installation of low grade commercial carpet and lino, applied directly to sub floor (K3 board used in renovation not plywood)  
Estimated replacement cost by 1995: \$13,000.

\* some sub floor damage exists due to leaking humidifier lines to furnaces (1987) unable to repair damage without rebuilding subfloor.

WALL BOARD

- Gypsum - Original wall board used in 75% of the facility  
14 years old  
Fair condition.  
Some replacement is anticipated due to wear and tear and holes.  
Estimated replacement costs: \$2,000

Having reviewed the information presented by Group 2 Architects and also understanding the history and design of the Red Deer Day Care facility, I feel the necessary work outlined in the Group 2 report must be completed to ensure we are operating in a safe and healthy environment.

It must be understood that once this work is completed:

- 1) The life expectancy of the facility will not be extended dramatically. By 1995 major expenses should be expected. ie. flooring and furnaces.
- 2) The current warranty with Otto Roofing is in question and until we hear from the City's solicitor it is not certain what expenses we can expect in the future.

submitted by:  
Cathy Pattison.  
Director  
Red Deer Day Care Centre.

File No: 8825-00

November 28, 1988

Mr. Rick Assinger  
Manager  
Social Planning Department  
City of Red Deer  
P.O. Box 5008  
Red Deer, Alberta  
T4N 3T4

Dear Mr. Assinger:

Re: Red Deer Daycare Centre- Moisture Problem Study

Further to your recent call we are pleased to outline our service fees to undertake the translation of our report recommendations into a tender document.

Should you decide to implement all our recommendations the fees will be as follows:

- 1) Working Drawings: to show architectural/mechanical extent and details of the renovations.  
Specifications: to give detailed description of materials, methods, workmanship and tendering requirements.

Topset Fee: \$1,400.00

- 2) Tendering: administer a public or invitational tender and prepare construction contracts for the City and successful bidder.

Topset Fee: \$400.00

- 3) Construction Administration and Inspections: regular inspections as construction proceeds are essential to successful completion. Work of this phase also includes standard contract administration procedures such as review of progress claims, changes to contract and contract close-out.

Topset Fee: \$400.00  
Plus construction inspections/site meetings  
@\$75.00 each

...2

Page 2  
Mr. Rick Assinger

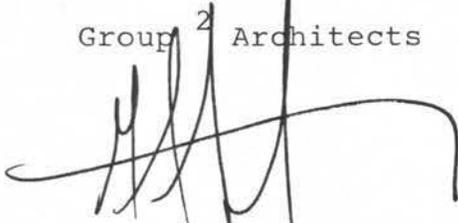
We anticipate approximately 5-7 site inspections will be required depending on contractor progress and workmanship.

Standard disbursements for printing, communication (telephone, courier etc.) will be billed extra to the amounts noted. No travel costs for out-of-town engineering will be charged.

We trust you will find this proposal acceptable.

Yours truly,

Group 2 Architects

A handwritten signature in black ink, appearing to be 'G. Leadbeater', written over the typed name below.

Graeme Leadbeater  
GL:sd

Commissioners' Comments

We would concur with the recommendations of the Director of Community Services.

"R.J. MCGHEE"  
Mayor

"M.C. DAY"  
City Commissioner

REPORT ON MOISTURE PROBLEMS  
AT THE RED DEER DAY CARE CENTRE

Prepared by:

Group <sup>2</sup> Architects  
5024 Ross Street  
Red Deer, Alberta  
T4N 1Y3

October, 1988

CONTENTS:

- 1.0 EXECUTIVE SUMMARY
- 2.0 INTRODUCTION
- 3.0 FACILITY INVESTIGATION  
PHOTOS  
DRAWINGS
- 4.0 RECOMMENDATIONS
- 5.0 ADDITIONAL CONCERNS

## RED DEER DAY CARE MOISTURE PROBLEMS

### 1.0 EXECUTIVE SUMMARY

A detailed investigation of the Red Deer Day Care was carried out in September 1988 by Group 2 Architects to study moisture penetration and related damage (caused by condensation in the roof plane).

The main problem from a construction point of view is that inadequate consideration was given to the junction of the 13 trailer units when they were combined to form the present facility. This has resulted in large linear gaps in the air/vapour barrier which allows the warm, moist air inside to enter and freeze in the cold roof attic zones.

Operationally, the other area of concern is the very high interior humidity levels found during the winter.

In Section 4 we make recommendations and cost estimates for solving the problems including sealing the trailer connections with expanding polyurethane foam, sealing damaged ceiling areas, upgrading bathroom and mechanical roof penetrations and reducing the humidity levels.

Our investigation of the facility has brought to light several concerns which, while not relating to the moisture problem, have implications for the City's long term planning of the Day Care programme. These are reviewed in Section 5.

## 2.0 INTRODUCTION

On September 2, 1988, we began our investigation of the Red Deer Day Care's building envelope problems. After reading an overview report of the situation and an analysis of the roof prepared for the City by Alberta Independent Inspection Services, we interviewed the director of the Day Care and undertook our preliminary inspection.

We were told that there was severe, non-localized water leaking into the facility last winter and it appeared to relate to a warm spell following a severe cold period. There has been no indication of water leakage relating to rain storms. The Day Care is a well-used facility with an occupant load of around 60 children and 20 adults over about a 10 hour period, 5 days a week.

The thirteen TRAUCO trailer units which comprise the day care are about 12 years old (see plan, attached). They are of wood-frame construction with R-12 fibreglass batt installation, polyethylene vapour barrier and drywall interior finish. The roof construction varies slightly depending on the slope conditions and it was originally designed as a sealed roof system (no ventilation).

Prior to our detailed site investigation, we outlined four areas of concern based on the available file correspondence and the initial site visit. These areas are outlined below:

1. The recently installed (1986) roofing and ventilation system.
2. The quality of the existing air/vapour barrier.
3. Possible deterioration of the roof plane components.
4. Air movement, space venting and humidity levels.

Our report discusses each of these areas of concern in the following section.

### 3.0 FACILITY INVESTIGATION

#### .1 1986 Roofing and Ventilation System

In 1986, the City accepted a roofing proposal from Otto Roofing which included the construction of a ventilation system on top of the roof insulation. The ventilation proposal was made based on Otto Roofing's experience with previous trailer re-roofing projects. The proposal was made with good intentions and the actual design of the ventilation system seems appropriate. That said, we agree with the NRC observation of September, 1986 that venting the roof in this case "may have increased the condensation problem".[1]

Both a sealed and a vented roof system require a well designed and properly installed air/vapour barrier to function properly. An air-vapour barrier is that component of a building's envelope which resists the tendency of air and water vapour to migrate (because of a variety of forces) to undesirable locations within the envelope. The inadequacy of the present Day Care barrier is discussed in 2.2 below.

Photo 1 shows severe condensation in the form of ice under the previous metal roof which indicates that the Day Care would have had moisture problems with or without the Otto Roofing proposal.

Our concern with the 1986 roofing is the projected life span of the roofing membranes themselves. The Alberta Roofing Contractors Association report of September, 1986 must be taken seriously when it states:

"The use of NIS [nineteen inch selvage - used at the Day Care] rolled roofing systems was not developed for a building of this design.....the NIC membrane is unorthodox and not recommended for this slope."

[1] Letter from the National Research Council to the Alberta Roofing Contractors Association, regarding the Day Care facility roof. City Hall file Documents.

### 3.2 AIR/VAPOUR BARRIER

- a) The air/vapour barrier of the trailer units consists of vinyl-faced drywall backed by 4 mil polyethylene sheet. Typically, when individual units are joined together, the industry uses a gasket comprised of a continuous polyethylene bag, glass fibre insulation and acoustic sealant (see Sketch 4) which compresses to provide continuity of the air/vapour barrier from one unit to the other.

Of major concern with regard to the Day Care facility is that no attempt was made to provide this continuity when the trailers were assembled on the present site.

During our site inspection, several of these areas of connection were investigated. Three of these sections are shown in the sketches 1, 2A and 2B. While small variations exist, typically a gap of between 1/2" to 2" penetrates from the interior into the roof plane. The wider gaps contain glass fibre insulation; some others have a plywood cover plate nailed along their bottom edges; some gaps are completely open; and, where two full height walls are joined, the gap is continuous vertically from crawl space to roof plane (See Sketch 2B; Photos 2,3 and 5).

- b) Of additional concern with the air/vapour barrier is that over the years, several alterations have been made to the trailers which have tended to compromise the integrity of the seal.

Examples of these penetrations of the existing air/vapour barrier include the following:

- .1 Light fixtures have been removed or relocated, leaving exposed junction boxes with gaps in the polyethylene to the roof plane.
- .2 An abandoned chimney location has been left unrepaired.
- .3 Various holes in the ceiling drywall have been left unrepaired.
- .4 Very poor sealing of roof penetrations for chimneys, air intakes and vents in four mechanical rooms.
- .5 Various wall penetrations for services have been left unrepaired.

### 3.3 CONDITION OF ROOF PLANE COMPONENTS

Photo 5 shows the condition of some wood framing that was discovered by Otto Roofing during their contract. In a letter of September, 1986, Otto Roofing refers to "the plywood deck being considerably damaged".

We have recently taken three roof cuts. In each, the plywood showed a tendency towards delamination and initial signs of dry rot although no severe deterioration was found. (See Photo 6).

While Otto Roofing claims that damaged decking etc. was repaired during his roofing contract, we have no way of determining the exact extent of deterioration without complete removal of the roof deck.

The insulation that was checked at the three roof cuts and one location inside the facility was all in good condition.

### 3.4 HEATING, VENTILATION AND HUMIDITY LEVEL

#### a. Air Movement

Air in each zone is mechanically moved in ductwork through five gas-fired warm air furnaces. Each furnace has a fresh air intake on the return air plenum connected directly through the roof to the exterior. This is to supplement re-circulated air with fresh outside air.

Warm air supply ducts at the crawl space level should have been connected between trailers to complete the air supply system. Instead, they are gapped (as photo 7 shows) which causes warm air to flood between units into the ceiling space and crawl space.

To further complicate the situation, during winter the furnace system tends to establish a slightly positive air pressure in the Day Care. This pressurization, combined with the chimney effect [1] helps to drive heated, moist air into the roof plane through penetrations in the air/vapour barrier.[1]

[1] Chimney effect is the pressure differential across the roof plane as a result of the difference in density between inside and outside air.

## b. Ventilation

Each washroom and mechanical room is vented to the exterior. The mechanical rooms have direct undampened openings through the roof plane into uninsulated gooseneck weathershields. These openings serve to supply combustion air to the mechanical rooms. The openings are generally poorly constructed with no effort made to secure or maintain an air barrier to the ceiling space.

The mechanical room doors are locked and do not contain air transfer grilles. The washroom vents are fan driven units with back draft dampers. Two are wired with the washroom lights and two are wired to separate switches.

In terms of space venting, these vents perform well for the rooms they serve. Our concern with them in regard to the moisture problems at the Day Care is twofold. First, the lack of a seal between the ductwork and the vapour barrier and the resulting access of warm, moist air into the roof space; and second the possibility of room air forming an ice buildup inside the uninsulated ductwork in extremely cold conditions, with subsequent migration into the roof system during a thaw cycle.

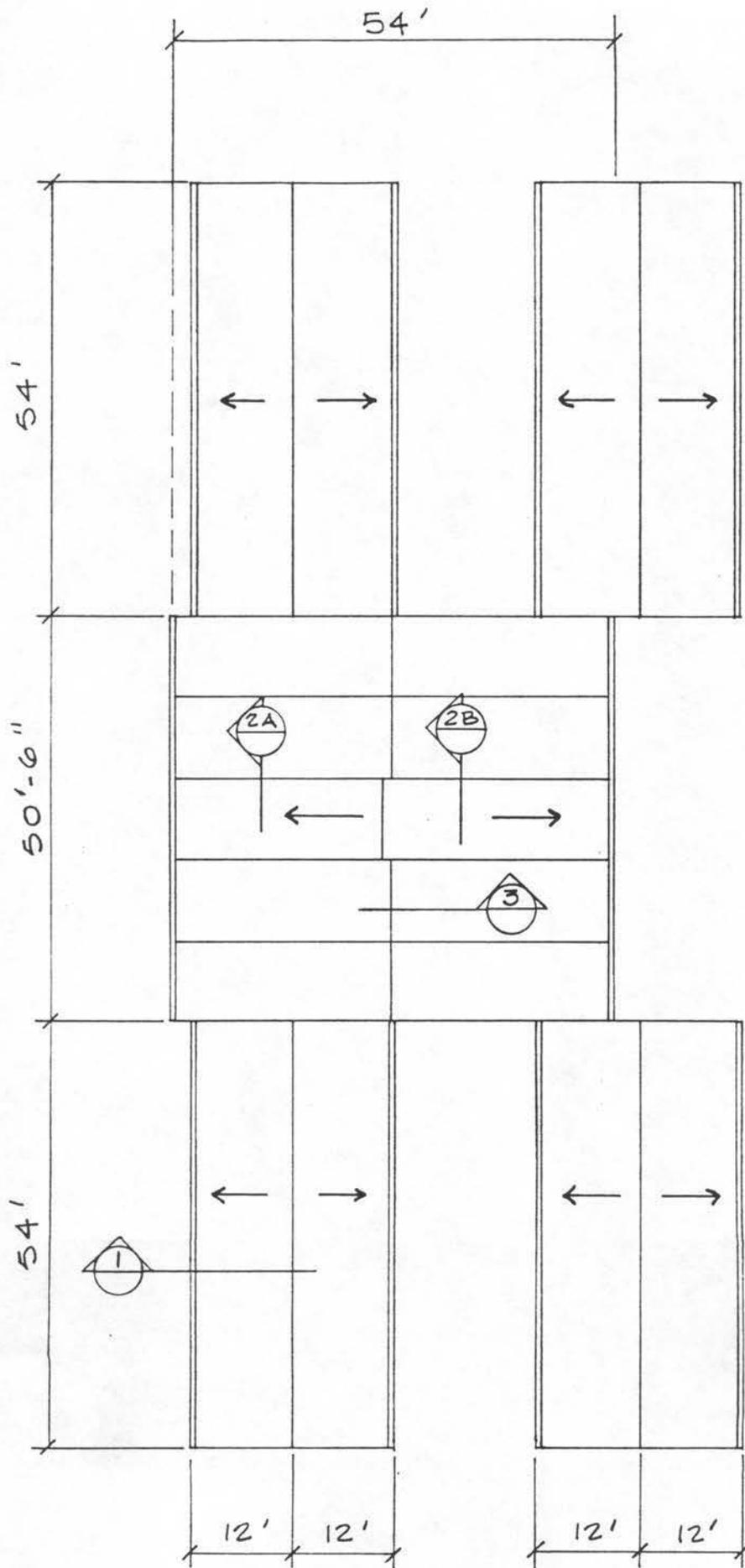
## c. Humidity Levels

Two measurements of humidity were made at the Day Care in January and February of 1988. Levels of 50%-55% were recorded both times. These levels are considered very high with 15% - 20% being the Government of Alberta optimum winter standard. The major sources of moisture are as follows:

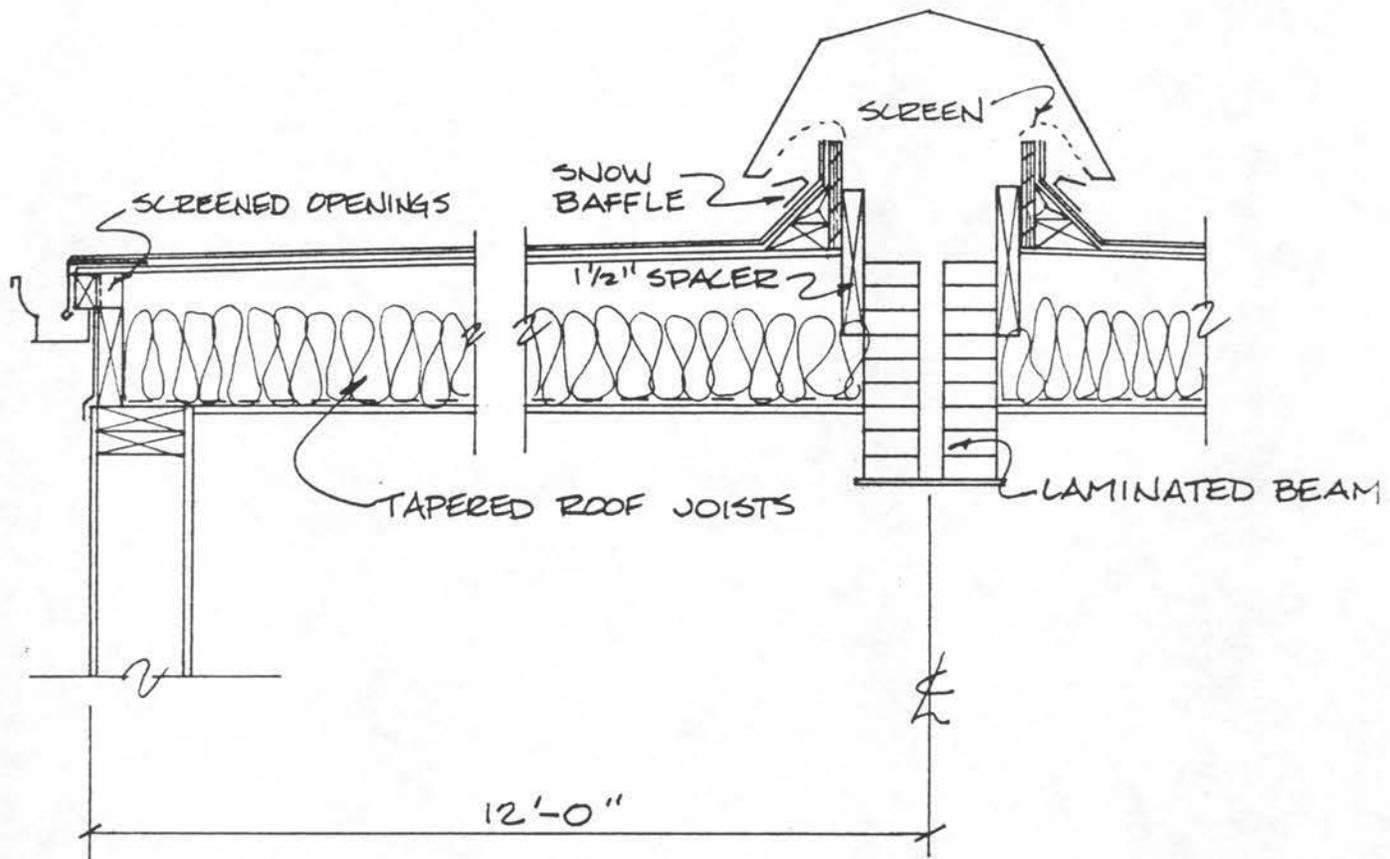
1. Normal occupancy load of 80 people.
2. Kitchen area, especially the non-vented range hood and commercial-type dishwasher.
3. Children's activities involving water such as the water table, painting and crafts, diaper changing etc.
4. Laundry and janitorial functions.
5. Washrooms.
6. Ground moisture - (the crawl space does not have a ground cover and, although it was dry at the time of inspection, there is no doubt moisture is migrating from the crawl space during periods of thaw). Also, there is at least one bad water leak into the basement which appears to be of a long duration. (See Photo 8)

Aside from a fresh air intake into the return air side of each furnace, there is no other provision for mechanical ventilation of the Day Care. Some fresh air is introduced through windows and doors, but as shown by subjective observation and measurement, not enough to reduce the humidity to average levels.

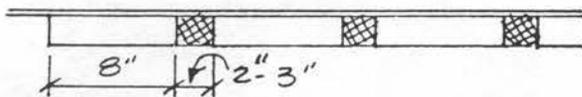
This moist ambient air in the Day Care contributes to the pressure differential of the chimney effect. This is the moisture which condenses when it hits a cold surface in the roof plane (such as the uninsulated deck, framing or metal flashings and ductwork) and is the source of the present moisture problems at the Day Care.



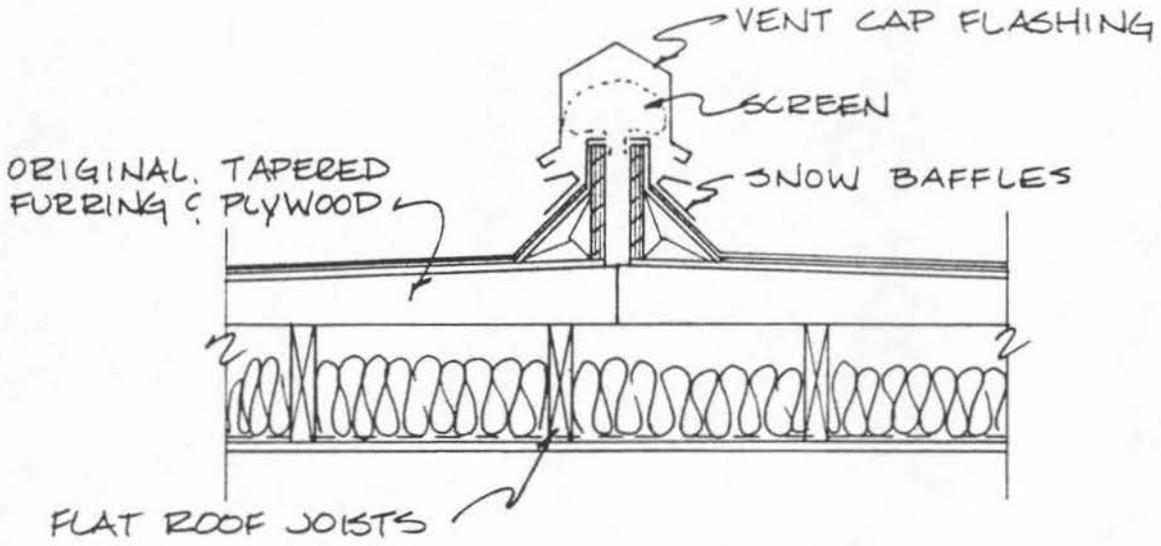
ROOF PLAN



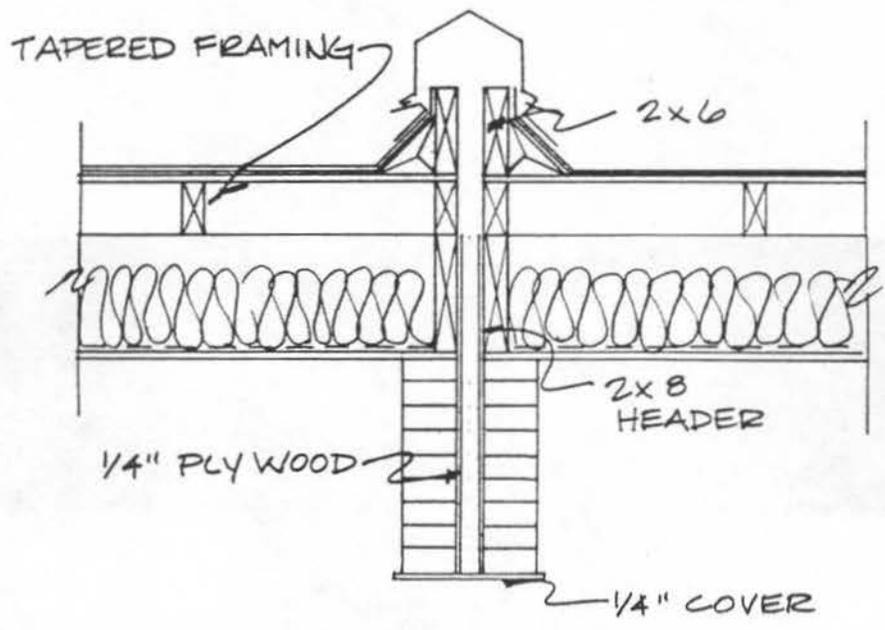
SECTION 1



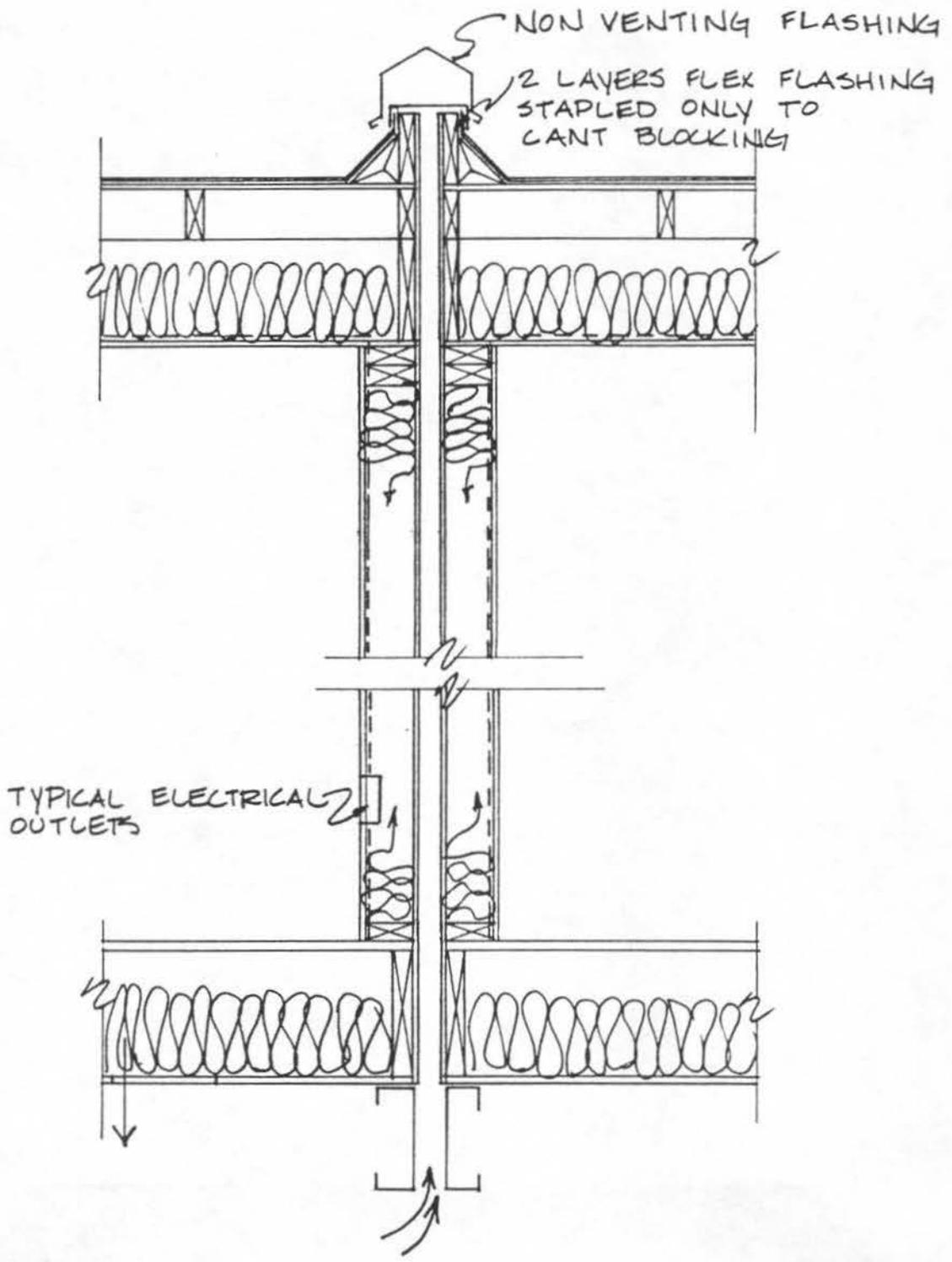
SCREENED OPENING DETAIL



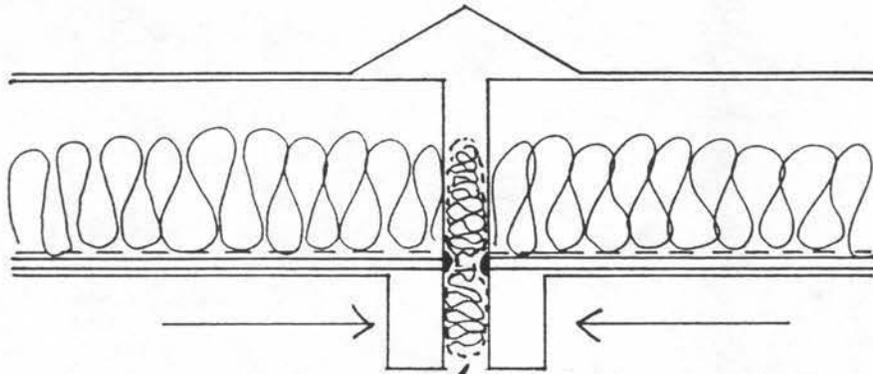
SECTION 3



SECTION 2A



SECTION 2B



CONTINUOUS POLY BAG, FILLED  
WITH FIBREGLASS, SEALED  
BOTH SIDES WITH CONTINUOUS  
ACOUSTIC SEALANT, COMPRESSED  
AS UNITS PULLED TOGETHER

## 4.0 RECOMMENDATIONS

Our proposal addressing the moisture problems at the Day Care is comprised of three main components:

1. Sealing the gaps between the trailer units.
2. Addressing the problems with the existing poly vapour barrier; and
3. Reducing the humidity level in the building.

### 4.1 SEALING TRAILER UNITS

The most cost effective way to seal the gaps between the trailer units is to use an expanding polyurethane foam applied from the roof.

All sheet metal caps would be removed and a slow acting, fire-rated foam installed in such a way as to establish a full, continuous seal in the gaps. Preliminary work would include ensuring that no foam could get through into the day care areas by caulking, blocking with fibreglass etc.

The estimated cost for this work is \$5,000.00

### 4.2 REPAIRING AIR/VAPOUR BARRIER

- a) All electrical and other penetrations of the ceiling plane vapour barrier should be sealed. This would include sealing penetrations caused by alterations to the units (as seen in Photo 3) as well as sealing wiring penetrations for each existing light fixture.

It may be unrealistic to think that the polyethylene itself can be repaired in these locations. What should be attempted, through the use of sealants and drywall repair, is the establishment of a continuous air barrier at the drywall plane.

Estimated cost for this work is \$4,000.00

- b) Replace existing bathroom ceiling fans and gooseneck hoods with dampered, light-switch activated fans and insulated ductwork. Where possible, install these in an exterior wall location.

Estimated cost for this work \$2,400.00

- c) Repair gaps at ceiling where mechanical ductwork and chimney pass through the drywall, using metal shields and sealants. Provide insulated roof ductwork for these as required.

Estimated cost for this work is \$3,200.00

### 4.3 REDUCTION OF HUMIDITY LEVELS

We reviewed the Day Care Facility with a mechanical engineer. He outlined the following as a likely solution to the high humidity problem but emphasized that additional information would be required before designing the actual system. It must be noted that there will be some additional operating costs as a result of implementing these ventilation recommendations.

#### a) Central Core Unit

The kitchen is the main source of humidity here. It is recommended that a 500 cfm exhaust fan be installed above the dishwasher and the existing recirculating range hood be replaced with a 250 cfm ducted range hood. Make-up air for this exhaust would be supplied and heated by a new small furnace installed in the mechanical room and ducted into the kitchen area.

Estimated cost for this is \$5,500.00

#### b) Four Wing Units

We recommend installing a roof mounted exhaust fan centrally in each unit. We are assuming that the present furnaces would be able to handle the heating of the make-up air required. Balancing of the air system would be required to ensure that the make-up air comes in the fresh air intake of the furnace rather than the windows etc.

Cost for this work including balancing would be \$3,500.00

c) The Laundry room should be vented and a grille installed in the door.

Cost for this work \$400.00

#### 4.4 SUMMARY

##### Total Estimated Costs

Foam Seal	\$5,000.00
Seal existing UB penetrations	4,000.00
Upgrade bathroom vents	2,400.00
Upgrade mechanical room roof penetrations	3,200.00
Mechanically reduce humidity levels	<u>9,400.00</u>
Total	24,000.00
Contingency 10%	2,400.00

---

\*TOTAL \$26,400.00

\*Excludes Consultant fees and any City of Red Deer internal costs.

## 5.0 ADDITIONAL CONCERNS

During the course of our investigation of the moisture problems at the Day Care, several problems with the building became apparent. Although a discussion of these is theoretically outside the mandate of this report, we feel obliged to note them and strongly recommend that the City consider these issues when formulating long range policy regarding the Day Care Facility.

### .1 Roofing System Life Span

As described by the Alberta Roofing Contractors Association, the roof installed by Otto Roofing is not recommended for slopes as low as those on the Day Care. The concern is that there will be eventual delamination of the membranes resulting from water infiltration (caused by capillary action, wind-driven rain or negative drainage due to depressed sheathing) especially during freeze/thaw cycles. We have discussed this roofing system with local roofing contractors, and, although none recommend it for such a low slope, they cannot give an expected life span.

The City has entered into a 15 year Maintenance Contract with the installer which provides for inspections of the roof every two years. Deficiencies in material or workmanship by Otto Roofing is covered under the terms of this contract, providing routine maintenance is carried out (by the City) as recommended by Otto Roofing's inspections every 2 years.

### .2 Construction Quality

As shown in Photographs 5 and 6, evidence of some serious roof construction deterioration, has been found. There is no way to know the extent of additional deterioration but certainly a limited life span must be anticipated. As well, the floor above the leak seen in Photo 8 has buckled severely.

The general quality of the trailers and the way they have been re-assembled for the Day Care is poor and invites additional maintenance costs.

### .3 Operational Efficiency

For the reasons noted below, we anticipate this building to be costing substantially more to heat than a comparable new facility.

- .1 Twelve year old insulation and construction standards.
- .2 Uninsulated crawl space walls combined with large areas of the insulated floor system damaged and uninsulated. (See Photo 9).
- .3 Improper connection of warm air ducts between units in the uninsulated crawl space results in wasted heat.
- .4 Very large exterior surface to total volume ratio combined with a large number (77) of inefficient aluminum slider windows results in high heat loss.

### .4 Functional Efficiency

The Day Care programme has had to accommodate itself to the layout dictated by the trailer arrangement. While it appears to function reasonably under these circumstances, we are sure that there are difficulties and inefficiencies with the layout. For example, a building designed to the Day Care requirements would not require five mechanical rooms or have such a uniform, inappropriate window pattern on all elevations. (See Photo 10).

## 5.5 CONCLUSION

Our feeling is that the Day Care facility will require additional major maintenance costs over the next 5 to 10 years. Careful consideration must be given to any proposed repair/maintenance expenditures in light of the limited life cycle of the facility. We recommend that consideration be given in the City's capital planning programme to replacing the existing building in the five to ten year time frame.

DATE: January 12, 1989  
TO: MAYOR R.J. MCGHEE & COUNCIL  
FROM: COLLEEN PALICHUK, Chairman  
F.C.S.S. Board  
RE: DAY CARE CENTRE ROOF REPORT

---

At its regular meeting on August 8, 1988, Red Deer City Council approved the hiring of Group 2 Architects to investigate, recommend and carry out consulting for remedial work to the Red Deer Day Care Centre roof. Background information, explaining the need to investigate the roof, was submitted to Council at that time.

Attached is the report from Group 2 Architects on the moisture problems at the Red Deer Day Care Centre. Also attached are the comments from Red Deer Day Care Services on this roof report and a letter from Group 2 Architects.

The essence of the Roof Report is as follows:

1. The roof is not leaking but there are severe internal moisture problems that need to be addressed at an estimated cost of \$26,400.00 including:
  - sealing the gaps between the trailer units,
  - improving the existing vapour barrier,
  - reducing humidity in the building.
2. There is some question about the suitability of the roof installed by Otto Roofing and how long it will last.
3. The general quality of the trailers and the way in which they have been reassembled is poor and will likely result in increasing maintenance costs.
4. There are serious questions about the operational and functional efficiency of these trailer units as a day care centre.

Council should also be aware that there is an existing Warrantee/Maintenance Contract in effect with Otto Roofing for a fifteen year period commencing November, 1986.

The Family and Community Support Services Board held a special meeting on January 10, 1989 to review all of these reports and make recommendations to City Council. It is important that Council make the necessary budget provisions (in the 1989 budget) to resolve the moisture problems and therefore it is important that Council deal with this matter at its January 23 meeting. The Social Planning budget will be discussed by Council on January 25.

The F.C.S.S. Board, along with the Day Care Management Board, is concerned about three major items:

1. The expected lifespan of the trailer units as a day care facility.
2. The long-term suitability of the roof of the facility installed by Otto Roofing.
3. The increasing maintenance costs of the facility.

In light of these major concerns, the F.C.S.S. Board has requested the Social Planning Manager to investigate other options to the continuing use of the trailer units as a day care facility in the event that there is a better option than continuing to invest further resources in these trailer units.

In spite of the above concerns, the F.C.S.S. Board is of the opinion that it likely will be necessary to continue using the facility in place and therefore, the recommended renovations will be necessary to increase the lifespan and reduce further maintenance costs. Accordingly, the F.C.S.S. Board recommends to City Council:

1. That City Council approve a budget of \$26,400.00 to make the adjustments to the facility as proposed and \$2,800.00 to engage the services of Group 2 Architects to oversee this project to its completion.
2. That the estimated cost of \$29,200.00 be charged to A.M.P.L.E. and/or application be made for matching funding under the Community Facility Enhancement Program.
3. That the current Warrantee/Maintenance Contract with Otto Roofing be terminated immediately.
4. That immediate steps be taken to fully finance the capital costs of the Red Deer Day Care Centre to be paid off over the next ten years.

We would encourage Council to adopt the recommendations of the Board.

COLLEEN PALICHUK

/jmf

- c. A. Wilcock, Director of Finance  
C. Curtis, Director of Community Services  
G. Mundle, Chairman, Day Care Management Board  
K. Barnhart, Day Care Administrator

DATE: August 9, 1988  
TO: Dir. of Community Services  
FROM: Asst. City Clerk  
RE: RED DEER DAY CARE CENTRE - ROOF REPAIRS

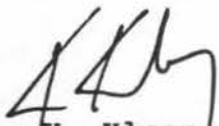
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At the Council meeting of August 8, 1988, consideration was given to your report dated August 2, 1988, regarding the Red Deer Day Care Centre Roof Repairs and at which meeting, the following resolution was introduced and passed.

"RESOLVED that Council of The City of Red Deer having considered report dated August 2, 1988, from the Director of Community Services re: Red Deer Day Care Centre Roof Repairs hereby agree that Group 2 Architects be hired to investigate, recommend and carry out consulting for remedial work to the Red Deer Day Care Centre Roof at a cost of \$2,000 plus disbursements, said costs to be charged as an overexpenditure to the 1988 Day Care Budget (50% of this cost to be recovered from the Federal Government under the Canada Assistance Plan), and as recommended to Council August 8, 1988."

The decision of Council in this instance is submitted for your information and appropriate action. I trust the report and recommendations from Group 2 Architects will be submitted to City Council in due course.

Trusting you will find this satisfactory.



K. Kloss  
Asst. City Clerk  
KK/ds  
c.c. Dir. of Finance  
Social Planning Manager  
F.C.S.S. Board  
Day Care Management Board

DATE: August 2, 1988 CS-1.786  
TO: CITY COUNCIL  
FROM: CRAIG CURTIS  
Director of Community Services  
RE: RED DEER DAY CARE CENTRE:  
ROOF REPAIRS

---

1. In September 1986, City Council considered bids for the replacement of the roof of the Red Deer Day Care Centre, based on specifications prepared by Tremco.

City Council approved a less expensive method of repairing the roof proposed by Otto Roofing Limited, which did not meet the specifications. Reservations regarding the Otto Roofing Limited proposal were outlined in a report from the Alberta Roofing Contractors Association (A.R.C.A.), which expressed concerns regarding the ventilation system and the roofing material proposed. These concerns may be summarized as follows:

- The roofing system installed is a two-ply NIS system over a low slope plywood deck. The A.R.C.A. expressed "grave concern" about this system, and noted that the minimum slope recommended for this material is 1:4. The Day Care roof has a slope of 1:50. It is also noted that the NIS system is not recommended to be used on its own, but in conjunction with an additional felt and asphalt membrane.
  - The ventilation system was designed and installed as part of the Otto Roofing Contract. In their report, the A.R.C.A. noted that prior to the new roof being installed, there was "no evidence of a condensation problem", and questioned whether ventilation was necessary or desirable. It also questioned whether the ventilation system proposed would achieve the desired effect. This view was further confirmed in a letter from the National Research Council, which expressed the view that venting of the attic would draw moist air into the area, at a time when the outside air has almost no capability to carry additional moisture.
2. In December 1986, the replacement of the roof was completed, and a maintenance contract was signed with Otto Roofing Limited. This guarantees the roof for a period of 15 years against leaks due to failure in material and/or poor workmanship.

.../2

In June 1987, the Social Planning Manager completed his final report on the Day Care building and noted that "there is still some concern about the long-term practicality of the roof design and roofing materials used".

3. In January 1988, there were extensive water problems throughout the building, and the Day Care Management Board was concerned that this could result in major damage.

Mr. DeBoon of Otto Roofing Limited was contacted, and he stated that the problem was entirely due to condensation and, therefore, not covered by the warranty. He noted that the humidity was very high, (likely as a result of the humidifier), and recommended that additional ventilation be installed.

Independent Controls was contacted and confirmed the high humidity levels. However, the humidifier was not the problem, as it was not in operation.

4. The major water problems in the building were reported to City Council by the Day Care Management Board in February 1988. Council supported the recommendation that no further action be taken on installing additional ventilation, as proposed by Otto Roofing Limited. It also authorized the hiring of an independent roofing consultant to investigate the problem.

5. In March 1988, Alberta Independent Inspection & Consulting Services (1983) Limited was contracted to undertake an evaluation of the roof. Their report was completed and submitted to the City in June.

The consultants undertook cut tests of the roof, and concluded that moisture is not, at present, penetrating the exterior membrane. It was noted, however, that vapour barriers are absent or incomplete in several locations. Consequently, the water problems are likely to have been caused by condensation. In this respect, the report concludes:

"The Otto Roofing Limited criteria does not appear to have taken into consideration the importance of reducing the movement of moisture from occupied areas to the roof space. This movement of humid interior air into colder ceiling and attic temperatures, increases dramatically the potential for frost build-up in cold winter weather."

6. The Day Care Management Board reviewed the consultants' report, and referred the matter to the Social Planning Department to hire an architect "to explore the costs of a new roof versus the cost of reconstructing the existing one".

The Social Planning Manager and I requested Group 2 Architects to submit a fee proposal for an investigation of the remedial measures which might be taken to prevent the condensation. The cost of the initial investigation, including removal of sections of the ceiling and the preparation of a detailed report, would be \$2,000. Thereafter, the preparation of specifications, tender documents and supervision will be based on a percentage fee.

7. The matter was considered by an informal committee of the F.C.S.S. Board, which is recommending that Group 2 Architects be hired to undertake an investigation of remedial work required to the building, at a cost of \$2,000.

8. RECOMMENDATION

It is clear that the design of the roof and ventilation system is somewhat unorthodox, and does not conform with accepted standards.

It is, consequently, quite likely that the entire roof may have to be replaced within a relatively short period. At present, however, the roof membrane is not leaking, and attempts should be made to resolve the condensation problem by repairing and/or replacing the vapour barrier.

I, consequently, support the proposal of the informal committee of the F.C.S.S. Board, and recommend that Group 2 Architects be hired at a cost of \$2,000 to undertake an investigation of remedial measures.

It is recommended that this cost be charged to the 1988 Red Deer Day Care Budget as an over-expenditure. Consequently, 50% of this cost will be recovered from the federal government under the Canada Assistance Plan (C.A.P.).



CRAIG CURTIS

CC:dmg

- c. Jack VanVliet, F.C.S.S. Board Chairman  
Gordon Mundle, Day Care Management Board Chairman  
Rick Assinger, Social Planning Manager

DATE: July 28, 1988  
TO: CITY COUNCIL  
FROM: RICK ASSINGER, Manager  
Social Planning  
RE: RED DEER DAY CARE CENTRE ROOF

---

Council will recall that a report from the Day Care Management Board along with other administrative comments was sent to the March 7, 1988 meeting of Council. Council agreed with a recommendation that an independent roofing consultant be hired to investigate the problem. Alberta Independent Inspection and Consulting Services Ltd. was contracted to investigate. Their report was submitted in May, 1988 and is attached.

This report was forwarded to the Day Care Management Board and we waited for a sufficiently heavy rainfall before proceeding. A copy of the reponse of the Day Care Management Board is also attached. They agreed with the recommendation that we hire an architect or roofing design consultant to explore the costs of a new roof vs. the cost of reconstructing the existing one.

Group 2 Architects were requested to submit a proposal for investigating remedial work at the Red Deer Day Care Centre. Their report is also attached.

The committee of the F.C.S.S. Board that reviewed the reports on the Golden Circle roof also reviewed the information on the Day Care Roof. This committee consisted of Gail Surkan, Tim Guilbault, Bernie Fritze, Craig Curtis, and myself.

#### RECOMMENDATION

It is recommended that Group 2 Architects be contracted at a fixed fee of \$2,000 plus disbursements to investigate the roof construction at the Red Deer Day Care Centre and that the cost of this project be charged to the 1988 Red Deer Day Care Centre budget as an over-expenditure.

SP-1.789  
July 28, 1988  
Page 2

Under the cost-sharing in day care 50% of this cost will be recovered from the federal government under the Canada Assistance Plan.

Respectfully submitted,



RICK ASSINGER

/jmf

- c. Craig Curtis, Director of Community Services
- Al Wilcock, Director of Finance
- Jack VanVliet, F.C.S.S. Board Chairman
- Gordon Mundle, Day Care Management Board Chairman



# alberta independent inspection

& Consulting Services (1983) Ltd.

Suite 202, 9335-47 Street  
Edmonton, Alberta T6B 2R7  
Phone: (403) 469-9939

Mobile: 1-551-2978.

ROOF INSPECTION REPORT  
RED DEER DAY CARE  
RED DEER, ALBERTA

PREPARED FOR: THE CITY OF RED DEER  
CITY HALL  
P. O. BOX 5008  
RED DEER, ALBERTA  
T4N 3T4

ATTENTION: MR. CRAIG CURTIS

SUBMITTED BY: MR. WAYNE SAUNDERS  
ALBERTA INDEPENDENT INSPECTION  
AND CONSULTING SERVICES (1983) LTD.  
#202, 9335 - 47 STREET  
EDMONTON, ALBERTA  
T6B 2R7



# alberta independent inspection

& Consulting Services (1983) Ltd.

Suite 202, 9335-47 Street  
Edmonton, Alberta T6B 2R7  
Phone: (403) 469-9939

May 24, 1988

The City of Red Deer  
City Hall  
P. O. Box 5008  
Red Deer, Alberta  
T4N 3T4

Attention: Mr. Craig Curtis

Dear Sir

Re: Red Deer Day Care  
Red Deer, Alberta

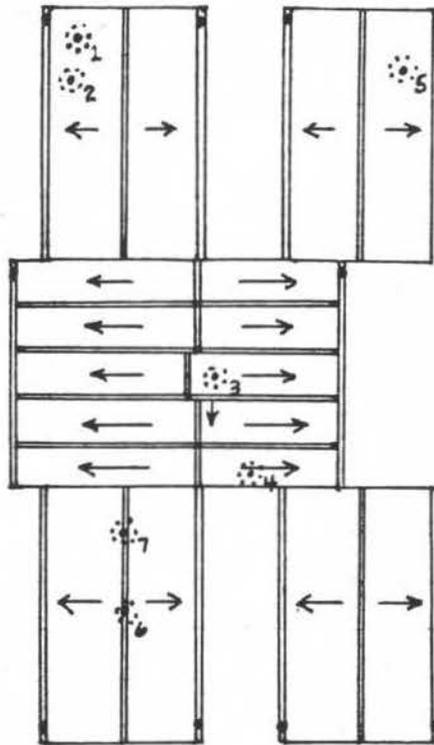
Pursuant to your request we have completed an analysis of the above roof and submit the enclosed information. The inspection criteria included visual observation of roof surfaces and building interior as necessary to confirm components of the roof system and their performance status. Daycare personnel were consulted for information on past and present roof performance.

The information is outlined as follows:

Page Two	Roof Plan Highlighting	- Roof slopes. - Photo locations.
Pages Three, Four, Five and Six	Report Information and Comments	- Included.
Page Seven	Comments on Photos	- Included.
Pages Eight and Nine	Photos	- Included.

RED DEER DAY CARE

- UNITS TEN YEARS OLD WHEN ACQUIRED
- ON SITE SINCE DECEMBER 1985
- RENOVATED SPRING 1986
- NEW ROOFING MEMBR. FALL 1986



-  - EAVES TROUGHING & DOWNSPOUT
-  - ROOF SLOPE
-  - PHOTO LOCATION
-  - DIRECTION OF PHOTO



# alberta independent inspection

& Consulting Services (1983) Ltd.

Suite 202, 9335-47 Street  
Edmonton, Alberta T6B 2R7  
Phone: (403) 469-9939

May 24, 1988

The City of Red Deer  
City Hall  
P. O. Box 5008  
Red Deer, Alberta  
T4N 3T4

Attention: Mr. Craig Curtis

Dear Mr. Curtis

Re: Red Deer Day Care

Pursuant to your request the writer has inspected the above facilities roof, and acquired from staff members information on recent moisture that accessed the building since the 1986 re-roof by Otto Roofing (Red Deer) Ltd. We also obtained for background information, from Mr. Rick Assinger, Community Services Manager, pertinent correspondence that was on file prior to the requisition of the new roofing. This enables us to interpret the sequencing of events, commencing with the Otto Roofing (Red Deer) Ltd. quotation letter of August 26/86 and concluding with the October 14/86 Otto Roofing (Red Deer) Ltd. letter describing progress of the roof on the Day Care Centre. All correspondence and information at our disposal is itemized as follows.

- Aug. 26/86 Otto Roofing (Red Deer) Ltd. letter
- Sept. 9/86 A. R. C. A. report
- Sept. 18/86 Otto Roofing (Red Deer) Ltd. letter
- Sept. 23/86 National Research Council letter
- Oct. 14/86 Otto Roofing (Red Deer) Ltd. letter.

## Information Assessment

Having reviewed this information we share the following thoughts and comments.

Although the correspondence does not reveal to us the contents of the original roof specification that Mr. B. G. de Boon of Otto Roofing (Red Deer) Ltd. refers to in his August 26/86 quotation letter, it does confirm, Mr. de Boon is determined to have his own design expertise prevail, to change the original roof specification to a criteria that he is convinced is the most appropriate workable



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Suite 202, 9335-47 Street  
Edmonton, Alberta T6B 2R7  
Phone: (403) 469-9939

solution to repetitious Day Care leak problems. We suggest that relative to Mr. de Boon's determination to have his criteria accepted, he seems to have taken over the role of the design authority and Otto Roofing (Red Deer) Ltd. might ultimately be responsible for materials, craftsmanship, design and all factors that influence roof performance. If you seek legal counsel they should be the final arbiter as to whether Otto Roofing (Red Deer) Ltd. should be retained for any more work that he might recommend for this roof. In event he makes any alterations to his original recommendations, it may be legally prudent further work is at his cost and not embraced by an additional contract.

### Important Pertinent Information Provided by Others

Sources of the following are the previously mentioned correspondence of Otto Roofing (Red Deer) Ltd., the A. R. C. A., and the National Research Council.

Otto Roofing (Red Deer) Ltd, August 26/86 letter:

- condensation forms on underside of plywood deck due to lack of ventilation and settlement of insulation.
- recommends a ventilation criteria to resolve condensation.
- recommends a N. I. S. roofing application.

A. R. C. A., September 9/86 report:

- mentions water infiltration through existing metal roofing.
- initially does not recognize need for ventilation but contacts the National Research Council for information.
- recommends against use of N. I. S. roofing.

National Research Council, September 23/86 letter:

- mentions air leakage prime culprit in bringing moisture into attic space.
- penetrations allow interior humidity access to attic
- venting by itself not a total cure of condensation, may increase the problem
- first attempt at cure should be to stop moisture from entering attic.

### Roof Composition

Deck - presumed to be plywood according to written records.

Roof Membrane - N. I. S. roofing, nailed, adhered and laminated with asphalt.



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Edmonton, Alberta T6B 2R7  
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Flashing - prefinished metal edge flashing.

Base and Cap Flashing - galvanized iron provided to roof dividers and venting constructions erected by Otto Roofing (Red Deer) Ltd.

### Observations and Conclusions Drawn From Information by Others

Having not been a participant from prior to the tendering process and up to this time; we draw freely from previously cited correspondence, and bring this together with what we can observe at this time. We combine this with information from various involved people such as occupants of the day care, to form the following conclusions.

- It appears that condensation collects within the building construction underneath roof deck, during cold winter weather conditions.

- When winter thawing occurs the trapped moisture in the form of frost, melts, and through the ceiling enters occupied areas and light fixtures.

- The amount of leakage is influenced by duration of freeze-thaw cycles and by the amount of humidity, condensating from air, that accesses attic and ceiling construction.

- The Otto Roofing (Red Deer) Ltd. criteria does not appear to have taken into consideration the importance of reducing the movement of moisture from occupied areas to the roof space. This movement of humid interior air into colder ceiling and attic temperatures, increases dramatically the potential for frost build-up, in cold winter weather.

### Supporting Information of Condensation Conclusion

- Photographs were taken of interior ceiling construction that confirm areas over corridors are vapour barrier deficient and in event vapour barrier is present in other ceiling areas, there are a multitude of vapour barrier penetrations by utility items and mechanical fasteners of ceiling panels.

- The writer interviewed Mrs. Cathy Pattison, Director of Red Deer Day Care Center. She advised me there has been no roof leakage due to rains that have occurred since the roof installation and this includes during the month of August 1987 when there was record rainfall.

### Summation

The writer feels that attempts to resolve the condensation problem by partial installations of new interior air barrier material



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Edmonton, Alberta T6B 2R7  
Phone: (403) 469-9939

or by altering the ventilation, could be categorized as experimental. As roofing inspectors we do not have the expertise to be involved in re-construction and re-design of the structure. Our mandate is to document leak conditions. We would suggest an architect or consultant be hired to explore the costs of a new facility versus the costs of re-constructing the existing.

We were hopeful a substantial rain this spring would allow us an opportunity to observe summer roof performance but an unusual drought seems to have precluded this.

Yours truly

  
Wayne R. Saunders

/lg



## alberta independent inspection

& Consulting Services (1983) Ltd.

Suite 202, 9335-47 Street  
Edmonton, Alberta T6B 2R7  
Phone: (403) 469-9939

### Comments on Photos

#### Red Deer Day Care

- Photo #1                      Illustrates expanse of day care roof.  
Roof slopes are discernable.
- Photo #2                      Depicts silver or grey colored applic-  
ation on exposed asphalt.
- Photo #3                      Note above application also made to some  
seams.
- Photo #4                      Note water stains in interior light fixtures.
- Photo #5                      Illustrates water stains on interior ceiling  
tile.
- Photo #6                      Depicts incomplete vapour barrier above  
ceiling interior of facility.
- Photo #7                      Note absence of vapour barrier above ceiling  
in interior of facility.



Photo #1

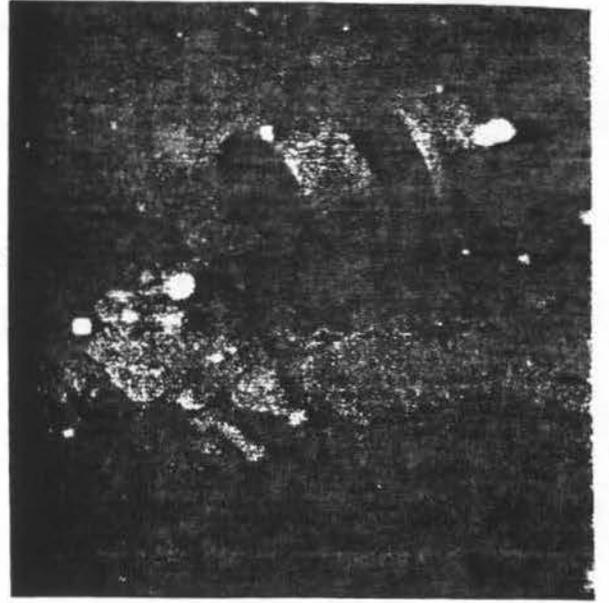
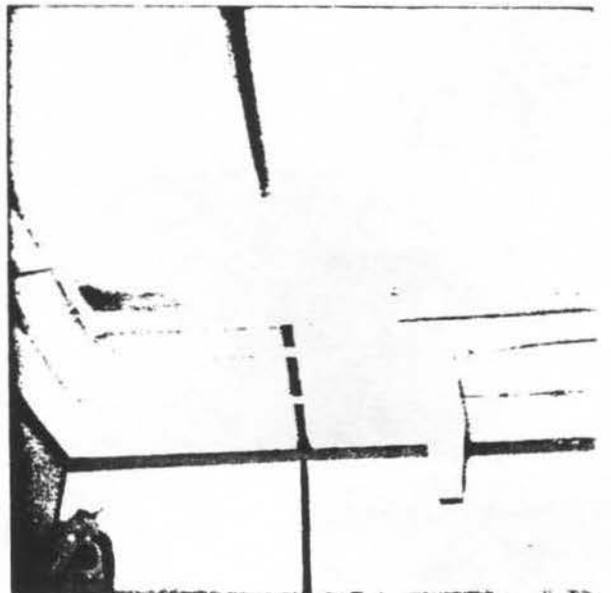


Photo #2

Photo #3



Photo #4



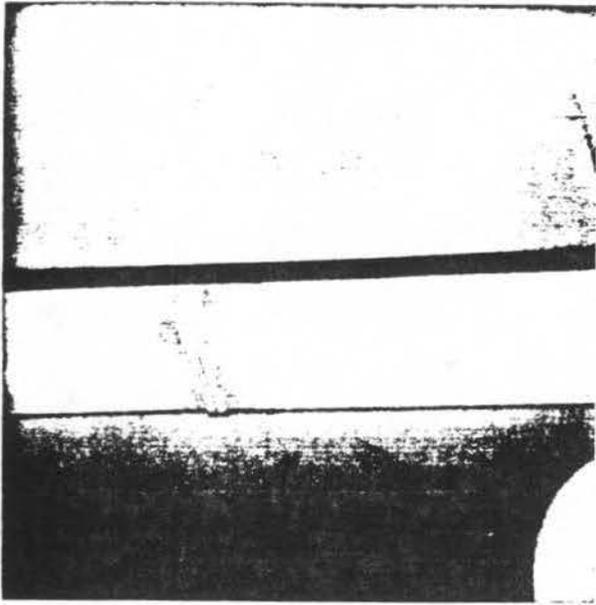


Photo #5

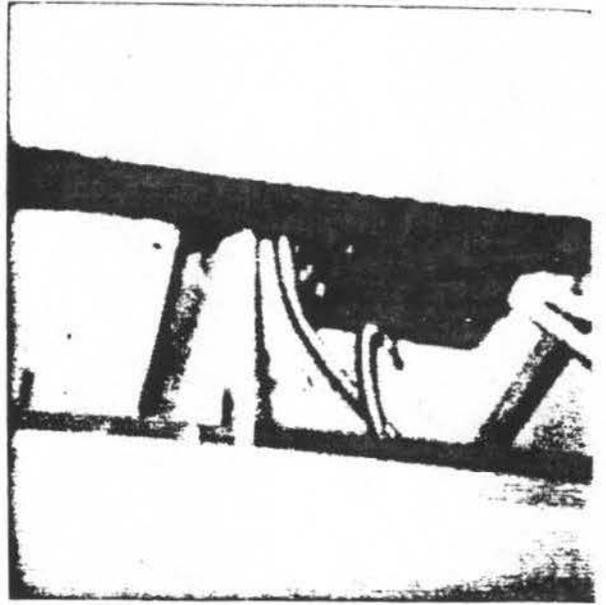
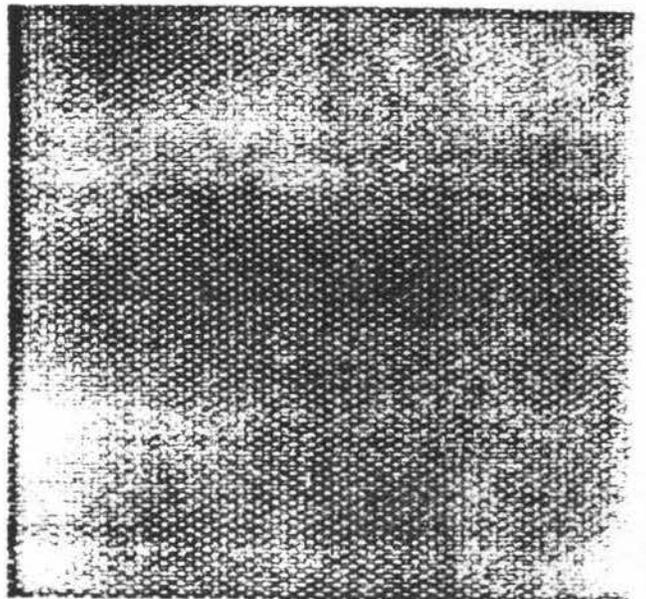
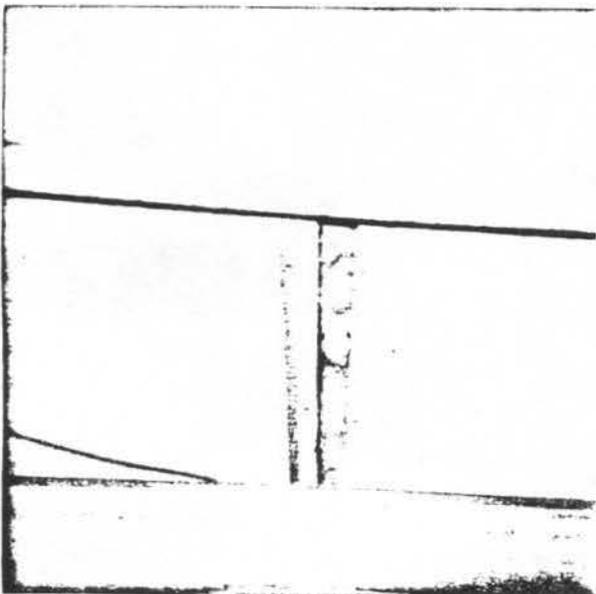


Photo #6

Photo #7



# THE CITY OF RED DEER

39.



ADMINISTRATION  
BOX 5008  
RED DEER, ALBERTA  
T4N 3T4

## DAY CARE SERVICES



1988 07 11

Rick Assinger, Manager  
Family and Community Support Services  
Box 5008  
City Hall  
Red Deer, Alberta  
T4N 3T4

Dear Rick:

Since we have experienced very heavy rainfall this summer we agree with the report submitted by Wayne Saunders that the problem appears to be condensation. The design of the roof is questionable.

The Day Care Board has reviewed Mr. Saunders report and agrees with your recommendation that we follow up on the suggestion of the consultant to hire an architect or a roofing design consultant. It is our understanding that the City will explore the costs of a new roof versus the cost of reconstructing the existing one.

A question raised at the Board concerned the financial responsibility for this consultation and further costs that may arise if reconstruction is necessary. As you know our budgets are very tight this year and any additional expense could cause an overexpenditure.

There is still an outstanding invoice from Otto Roofing for \$120.00 dating back to the time when severe leakage was occurring. As advised by yourself, we have not paid this bill. Would you notify us if there will be any further correspondence required with Otto Roofing? (reference letter dated June 1, 1988 from Mr. DeBoon cc. to yourself and Craig Curtis) To date we have not responded to this last letter.

Thank you for your attention to this matter. We await further information.

Sincerely,

*Kathy Fairbank per/*  
Gord Muddle  
Board Chairperson

ka

cc. Cathy Pattison, Director RDDC

Red Deer Day Care Centre  
700 Wing  
Lindsay Thurber Comprehensive  
High School  
Box 246  
Red Deer, Alberta  
T4N 5E8 346-2378

Family Day Home Program  
Montfort Community  
Services Centre  
5210 - 61st St  
Red Deer, Alberta  
T4N 6N8  
342-0644

Normandeu Day Care Centre  
53 Noble Ave.  
Red Deer, Alberta  
T4P 2C4  
346-1305

School-Age Child  
Care Programs  
Box 246  
Red Deer, Alberta  
T4N 5E8  
346-3660

July 25, 1988

Mr. Craig Curtis  
Director, Community Services Division  
City of Red Deer  
P.O. Box 5008  
Red Deer, Alberta  
T4N 3T4

Dear Mr. Curtis:

Re: Red Deer Day Care Centre - Roof Construction Investigation

We are pleased to submit the enclosed Fee Proposal to investigate, recommend and carry out consulting for remedial work to the Red Deer Day Care Centre.

We appreciate this opportunity to submit a Fee Proposal and should you have any questions, please let us know.

Yours truly,

Group <sup>2</sup> Architects

  
Ron Chikmoroff

Enclosure:  
RC:sd

FEE PROPOSAL  
RED DEER DAY CARE CENTRE  
ROOF CONSTRUCTION INVESTIGATION

1.0 PHASE 1

1.1. INVESTIGATION

- .1 Open-up ceiling at representative locations in the facility to determine type and extent of vapour barrier. At the same time view the state of construction generally.
- .2 Remove existing construction as required to determine construction and details of installation of the roof venting system.
- .3 Interview building User and Owner regarding the history of the facility, the roof and the subsequent water problems.
- .4 Interview Roofer who installed present roof and venting system.
- .5 Analyze information and data assembled, and supplement with the necessary research, i.e. National Research Council.
- .6 Provide a detailed Report with identification of the problem, proposed solution or solutions with related cost estimates and time frames.
- .7 Fee - fixed fee of \$2,000.00 plus disbursements.

2.0 PHASE 2

- 2.1 Prepare the necessary documentation including detailed drawings and specifications suitable for competitive contractor bidding, building permit application and construction.
- 2.2 Fee - 7.5% cost of construction.

## FEE PROPOSAL - Page 2 (Cont'd)

3.0 PHASE 3

- 3.1 Call tenders, review tenders and submit Tender Report to Owner with the view to award a contract to carry-out the necessary work.
- 3.2 Administer construction contract, carry-out periodic on-site inspections, provide Notice of Change and Charge Orders if and as required, review Contractors Progress Claim and submit Certificates of Payment to the Owner. Carry-out Inspection for Substantial Completion, Close-Out Contracts, follow-up on deficiency and warranty items through-out the warranty period.
- 3.3 Fee - 2.5% cost of construction.

Commissioners' Comments

We would support the recommendations that Group 2 Architects be hired to investigate, recommend and carry out consulting for remedial work to the Red Deer Day Care Centre roof at a cost of \$2,000.00 to be charged as an overexpenditure to the 1988 Day Care Budget and as outlined by the Dir. of Community Services.

"L. PIMM"  
Deputy Mayor

"M.C. DAY"  
City Commissioner

DATE: March 8, 1988  
TO: Red Deer Day Care Management Board  
FROM: City Clerk  
RE: LEAKY ROOF/RED DEER DAY CARE CENTRE

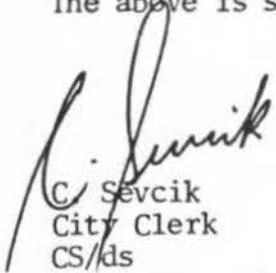
*none of the attached  
for open an*

Your report of February 12, 1988, including various correspondence and administrative reports concerning the above problem were presented to Council Monday, March 7, 1988, and at which meeting Council passed the following motion:

"RESOLVED that Council of The City of Red Deer having considered correspondence and reports re: Red Deer Day Care Centre leaky roof hereby agree that an independent appraisal be undertaken at an estimated cost of \$500.00 - \$600.00 and as recommended to Council March 7, 1988."

By way of a copy of this memo, we are requesting the administration to hire an independent roofing consultant to investigate the roofing problem, to identify the cause and to recommend a course of action to resolve said problem.

The above is submitted for your information and trust you will find same satisfactory.



C. Sevcik  
City Clerk  
CS/ds  
c.c. Dir. of Community Services  
F.C.S.S. Mgr.  
F.C.S.S. Board  
Day Care Administrator  
City Commissioners  
Dir. of Finance



ADMINISTRATION  
BOX 246  
RED DEER, ALBERTA  
T4N 5E8  
347-7973

## DAY CARE SERVICES

DATE: February 12, 1988  
TO: City Council  
FROM: Red Deer Day Care Management Board  
RE: Leaky Roof at Red Deer Day Care Centre

RECEIVED  
11:00 am  
February 19/88  
C. Sewick

We wish to bring the following matter to your attention.

On February 3, 1988, it was reported by our staff at our monthly meeting that the roof at Red Deer Day Care Centre was leaking quite badly.

Since this matter has already been dealt with by City Council (refer Council minutes dated September 29, 1986) we felt it was necessary that Council inform us of the manner in which we should deal with this problem.

As the attached report from Mrs. Pattison shows the problem is of the utmost importance and worsens as the temperature increases. It is our concern that the spring thaw will bring major damage to our ceilings and carpets as ice melts between the roof and the inside ceiling.

Mr. DeBoon of Otto Roofing Ltd. has been contacted to inspect the problem. He feels that the problem can be corrected at further cost to the Day Care of approximately \$750. We are not certain of the legalities involved since there is a warranty on the roof. Mr. DeBoon has informed us that the warranty does not cover this instance.

Considering the history of the decision to award the contract to Mr. DeBoon in spite of the report from the Alberta Roofing Contractors' Association, we would like to know which direction Council wishes us to take. Do we re-contract with Otto Roofing to correct the problem or hold them to the warranty?

Since this matter was originally dealt with by Council we do not wish to proceed unless Council has been notified of the situation.

. . . . 2

Red Deer Day Care Centre  
Behind  
Lindsay Thurber Comprehensive  
High School  
Box 246  
Red Deer, Alberta  
T4N 5E8 346-2378

Family Day Home Program  
Montfort Community  
Services Centre  
5210 - 61st St.  
Red Deer, Alberta  
T4N 6N8  
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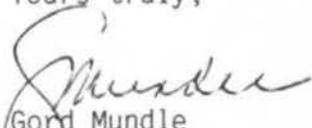
Normandeau Day Care Centre  
53 Noble Ave.  
Red Deer, Alberta  
T4P 2C4  
346-1305

School-Age Child  
Care Programs  
Box 246  
Red Deer, Alberta  
T4N 5E8  
346-3660

- 2 -

We await your advice on this matter.

Yours truly,



Gord Mundle  
Chairperson

**RED DEER DAY CARE MANAGEMENT BOARD**

c.c. Rick Assinger, FCSS Manager

Attachments: Report from C. Pattison  
Log of Events  
Letter from B. DeBoon

February 10, 1988

ROOF - RED DEER DAY CARE CENTRE

The most recent series of leakage from the ceilings in the Red Deer Day Care Centre began January 14, 1988. It appears that condensation has built up on the underside of the roof membrane during the cold weather experienced in the first two weeks of January. When the air temperature outside warmed to above freezing, the ice build-up melted and the water found its way down through the ceiling. All areas of our building were affected in the same way, leading me to believe that there is insufficient air flow throughout the entire roofing system.

After three days of warm weather the dripping ceased and once again temperatures outside dropped (for the first two weeks of February temperatures were in the  $-20^{\circ}\text{C}$  range). During this cold spell, it is probable that again condensation has built up and frozen on the underside of the roof membrane and will thaw and drop through the ceiling once the temperatures outside rise above freezing.

This cycle of freezing, condensation and thawing to leak through the ceiling will continue unless a system to ensure sufficient air flow under the roof membrane can be guaranteed.

The reason this problem was not identified in the '86 - '87 winter season was simply that since December, 1986, when the roof was completed until January, 1988, we did not experience a lengthy cold spell.

Cathy Pattison, Director  
Red Deer Day Care Centre

ROOFING - RED DEER DAY CARE CENTRE

- June, 1986 - Renovations completed
- June 19, 1986 - Pat and Jim to discuss with Jo-Jak (warm dry month)
- June 26, 1986 - Pat to advise city solicitor - discuss matter with Otto
- June 30, 1986 - Move to facility
- July, 1986 - rain
- July 10, 1986 - meeting - Pat - contact Jo-Jak  
- opinion from Tremco
- July 17, 1986 - Pat - estimates of repair cost from Tremco (heavy rain)
- July 25, 1986 - Pat - Harry Cole - Tremco reviewing options  
- Don Moore advised  
- Pat - call for tenders to close August 15.
- August 18, 1986 - tenders received from Hayhoes and Cooper  
- Hayhoes - \$29,415 lowest
- September 1, 1986 - Consultant from Roofing Association called in
- September 9, 1986 - Roofing Association report received - confidential report received by City Council
- September 29, 1986 - Council OK'd Otto contract
- November 11, 1986 - cold week
- November, 1986 - Otto Roofing - start on roof, completed first week of December
- March 3, 1987 - no problems with leaks (warm weather)
- May, 1987 - still no problems with roof
- June, 1987 - final report from FCSS
- November, 1987 }  
December, 1987 } - drips from fans in bathroom consistently  
January, 1988 }
- January 15, 1988 - call to Otto Roofing - leaks throughout building
- January 16, 1988 - DeBoon's son supposedly came to view outside only
- January 18, 1988 - roof vent installed, pictures taken
- January 22, 1988 - Independent Controls checked humidity levels.  
- Humidifiers not working properly.  
- Shut off all units.  
- asked for written report from Otto Roofing
- January 23, 1988 }  
January 24, 1988 } - profuse leaking  
January 25, 1988 } - about 30 buckets, dishes out over entire centre  
- high winds and mild temperatures. Dripping stopped on Sunday.

- 2 -

- Jan. 25-29, 1988 - Mild weather - no drips
- January 29, 1988 - cold weather
- Feb. 1-6, 1988 - Very cold - -21° high - no drips
- February 2, 1988 - Independent Controls returned to check humidity levels.  
Still above normal, but no apparent cause for high readings.
- Feb. 7-11, 1988 - temperatures still very cold - -20° - -15° day time highs



ROOFING (RED DEER) LTD.

Res-782-3767

68.

Ben G. de Boon  
Manager

947-1145

~~10,7460 49 Avenue, Red Deer, Alberta T4P 1M2~~

947-1146

24 Hour Answering Service  
842-6866

*New Address:*  
OTTO ROOFING (RED DEER) LTD  
BOX 1478  
LACOMBE, ALBERTA T0C 1S0

File No. 16014C

January 26, 1988

Red Deer Day Care Services  
Box 246  
Red Deer, Alberta  
T4N 5E8

FEB. 1, 1988  
REVISED COPY  
SEE PAGE 4.

Attention: Ms. Kathy Barnhart  
Administrator

Dear Madam:

Re: Roof on Red Deer Day Care Center

At your request, due to dripping in your building, we have inspected the roof of the Red Deer Day Care Center.

As stated, we found that there were no leaks due to moisture coming through the roofing membrane, but we found that it was due to condensation. Therefore, we are reporting to you as follows, and we refer you to the attached photographs to explain the problems that we found.

First and foremost, we must advise you that the humidity in this building is by far in excess of normal conditions, and we refer you to photographs no. 1, 2, and 3, as follows.

Photographs no. 1 and 2 show the windows, and the door, on a mild day. Even on a mild day you can see the amount of moisture on the windows, as you can hardly look out. We understand that in the winter, when it is real cold, the doors are covered with ice.

Photograph no. 3 shows one of the humidifiers that are in your building. We believe that these humidifiers pump out a considerable amount of water, or else you would not have the moisture/ice on the windows and the doors.

We, therefore, would like to advise you that you should have someone check the humidity as, we believe, the humidity is way higher than it should be or it needs to be.

In regards to the leak in the front office, we refer you, first of all, to photograph no. 4, which was taken before we did the reroofing on this building, and it shows that there was no material or insulation on the ceiling.

At the time we did the reroofing, we asked you to make certain that the insulation, when replaced in the ceiling, did not get pushed up to the extent that it would block off the venting we created by making holes in the bottom and vents in the center. However, if you look at photographs no. 5 and 6, you can see that this was not done.

Photograph no. 5 shows that, when we cut a hole in the deck, through the roofing, the insulation was completely pushed up against the plywood; when we removed one part of the plywood, the insulation popped right up through the hole.

This means that there is no circulation of air in this area, therefore, you have leaks due to condensation in this office space.

Also shown on photograph no. 5, you can see that there was no moisture, ice or snow, on the roof in this area. Therefore, we conclude that there is no moisture coming through the roof, from the top.

Photograph no. 6 shows the same opening, after we inserted some tools to push the insulation down, as far as we could reach, and then we installed an otto vent to take the hot air out of this area so that there would be no further leaks. However, one vent is not enough for this area, therefore, this requires another otto vent to make certain that there is no build-up of moisture in this area, which freezes below the plywood deck, then drips down.

Photographs no. 7, 8 and 9 show some of the problems with the bathroom vents.

Photograph no. 7 shows the bathroom vent, from the bottom up. It happens that this bathroom vent has a good damper in it, closing off the air so that it can not go into the goosenecks, as shown on photographs no. 8 and 9. However, there are several bathroom vents which have no dampers in them, or which are staying open. Therefore, the hot air goes up, hitting the metal gooseneck, as shown on photographs no. 8 and 9.

As you can see on photographs no. 8 and 9, the moisture is dripping out of the goosenecks, and onto the roof, forming ice. Also, because of the high humidity and the improper or missing dampers, the hot air is also hitting and collecting on the inside of the goosenecks, condensing and forming ice, and when you have a mild spell, of course, this moisture comes down.

Photographs no. 10, 11 and 12 show the bottom side of the vents that we installed in the center of these trailers/units.

Photograph no. 10 shows the unit on the northwest corner of your building, where the babies are taken care off, and there is ice/moisture under the cap. If you look closely, you will see some ice laying on the screen, on top of the vent.

On photograph no. 11 you can see the tear drops on the bottom of the metal. The same is shown on photograph no. 12.

The total venting area we created is more than ample for normal circumstances but, because of the high humidity, more air circulation will have to be created. Therefore, we recommend that you consider installing, on the ends of the vent units (see photographs no. 13 and 14), 2" round vents with screens and louvers and, on top of the center vents (see photograph no. 15), install additional small goosenecks to create more of a gravity to take the hot, moist air out of the attic space, quicker than we do now.

If you have us install the vents on the ends, and the vents in the center, and if you decrease and not increase the humidity, there should be no further problems.

We would not need the vents if we removed the snow guard but, since our experience with the City Hall roof, we do not dare remove the snow guards as we may, then, have other problems with snow and rain blowing in under the vent, particularly in view of the fact that you are out in the open and you get a considerable wind up and over your roof.

The cost of the above work would be as follows:

1. To supply and install 2 otto vents over the front office in order to create additional venting, and to lower the insulation as far as possible after the hole is cut for vents, at \$48.00 each, would cost: \$ 96.00
2. To install 8, 2" round vents on the edge of the vents, as shown on photographs no. 13 and 14, would cost: \$ 32.00
3. To supply and install 17 small goosenecks on top of the present vents, as shown on drawing A, to make the air come out from under the metal cap of the vents quicker, and to prevent condensation, would cost: \$ 314.50
4. To supply and install 6 new dampers in the bathroom vents, would cost: \$ 111.00
5. To insulate 12 goosenecks, that are used for bathroom vents and for furnace fresh air intakes, to prevent ice from forming inside and from dripping down, would cost: \$ 180.00

This makes the cost, to correct the problems on this building, a total of: \$ 733.50

Providing you do not increase the humidity in the building, over what you have now, the above work and cost will eliminate the problems on your building.

Red Deer Day Care Services  
January 26, 1988  
Page 4

71.

The above matter is not covered under our guarantee and maintenance contract. Furthermore, we need to hear from you, as soon as possible, as to what you intend to do about this problem because the problem over the front office is effecting our roofing because there is ice building up between the roofing and the plywood deck, and it could cause the roofing to crack and to split, which would not be covered under our guarantee and maintenance contract.

Furthermore, we are sending you, attached, our invoice, for the investigation and reporting, in the amount of \$72.00, which we ask you to pay, as caused by a failure of material and/or workmanship. (IT WAS NOT)

In addition to this, we are also sending you another invoice for \$48.00 for installing one otto vent over the front office, as we had to open it up to see any way. As we have installed this vent already, it can be deducted from the price we gave above, for the work required, if you pay this invoice.

Our terms are: 4% discount if 50% is paid before we start, and  
50% is paid upon completion of the work;

OR 2% discount if paid in full upon completion of the work;

Due to the shortage of working capital, we are unable to give credit terms at this time.

Yours truly,

OTTO Roofing (Red Deer) Ltd.



Per: B. G. deBoon  
Pres./Manager

CW

attachments

# OTTO

ROOFING (RED DEER) LTD.

782-3767

Ben G. de Boon  
Manager

24 Hour Answering Service

*New Address:*  
**OTTO ROOFING (RED DEER) LTD.**  
**BOX 1478**  
**LACOMBE, ALBERTA T0C 1S0**

File No. 16032C  
February 15, 1988  
REGISTERED

Red Deer Day Care Service  
Box 246  
Red Deer, Alberta  
T4N 5E8



Dear Sirs/Madams:

Re: Roof on Red Deer Day Care Center

Further to our letter of January 26, 1988, and the revised letter of February 1, 1988, we would like to advise you as follows.

In accordance to the reports that we hear, the Day Care Center and/or the Family Social Services do not agree with our report. If this is so, we would advise you to submit our report to qualified people who know about condensation and the problems thereof.

However, in the meantime, we are concerned about the area over the front office of Kathy Barnhart, in that the roofing membrane will crack if ice builds up between the membrane and the plywood, due to the lack of ventilation after others closed off the ceiling space.

We are, therefore, sending you this registered letter, and a copy of our guarantee and maintenance contract, attached, and we are stating that the areas that are highlighted on the drawing, attached to our guarantee, will no longer be covered by our guarantee and maintenance contract. This will only be in effect until such time as the corrective work, which is necessary, is done to make certain that the air flow can go through again because the ice build-up, in the cold winter, between the plywood and the membrane, will cause the membrane to crack.

We feel that in no way should we be responsible for the repair of this, therefore, we have taken this action.

The other work that is required in order to prevent any moisture from coming down inside the building does not effect our roofing membrane, therefore, it does not effect our guarantee.

Red Deer Day Care Service  
February 15, 1988  
Page 2

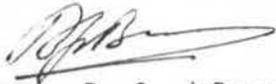
In spite of your opinion, or others, the water is not coming through the roofing membrane, but it is coming from ice forming due to, at that time, excess moisture in the building.

Please advise us in regards to this matter because, as owners, you have a responsibility too.

We feel that the problems with this dripping of condensation is not included or covered under our guarantee and maintenance contract.

Yours truly,

OTTO Roofing (Red Deer) Ltd.



Per: B. G. deBoon  
Pres./Manager

CW

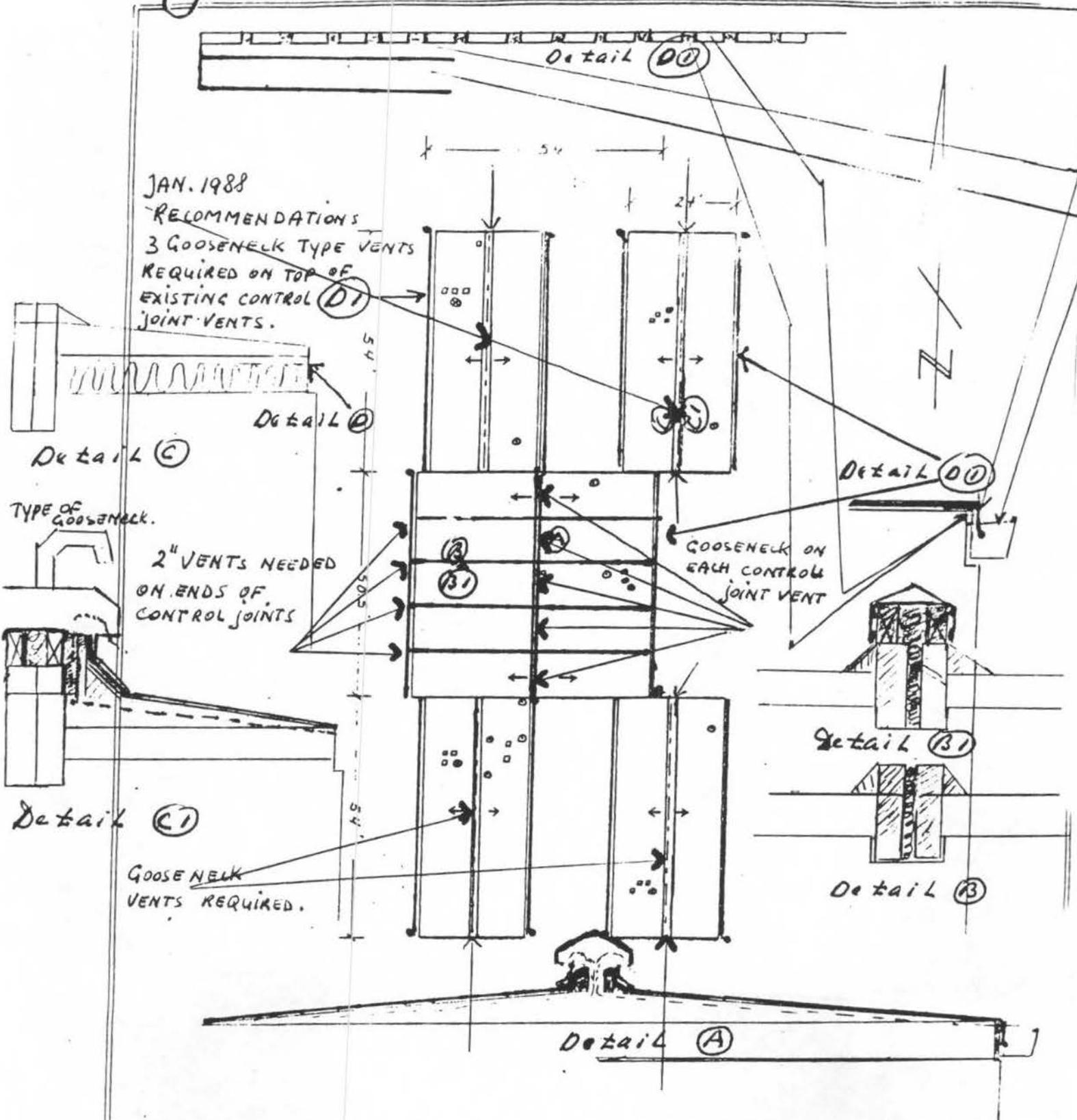
AREA HIGHLIGHTED IN YELLOW DELETED FROM OUR  
 GUARANTY + MAINTENANCE CONTRACT AS PER FEBR. 15, 1988.

JAN. 1988  
 RECOMMENDATIONS  
 3 GOOSENECK TYPE VENTS  
 REQUIRED ON TOP OF  
 EXISTING CONTROL (D1)  
 JOINT VENTS.

2" VENTS NEEDED  
 ON ENDS OF  
 CONTROL JOINTS

GOOSENECK  
 VENTS REQUIRED.

GOOSENECK ON  
 EACH CONTROL  
 JOINT VENT



LEGEND

- |                 |                   |                 |
|-----------------|-------------------|-----------------|
| ⊙ Plumbing Vent | ⊠ Masonry Chimney | ⊙ Metal Chimney |
| ● Roof Drain    | ⊠ Sky-light       | ↗ Roof Slope    |
| ⊗ Roof Jack     | □ Ventilator      | ⊠ T.V. Antenna  |
| ⊠ Roof Hatch    | ⊠ Staircase       | ⊠ Fire Ladder   |

PROJECT Red Deer Day Care Facility  
 ADDRESS Red Deer, Alta.



ROOFING (RED DEER) LTD.

347-1145

Bay 9 & 10, 7460 - 49 Avenue, Red Deer, Alberta T4P 1M2

347-1146

CERTIFICATE OF ASSURANCE

15 year WARRANTY

15 year MAINTENANCE CONTRACT

NOVEMBER 24, 1986 date of issue CERTIFICATE No. 690

This letter of assurance is issued to assure you that we have applied this roof in accordance with Plans & Specifications or as per our quotation, or as per your Contract, see copy attached.

Size of Roof on Building 7200 SQ FT RED DEER DAY CARE CENTRE

Building located at BEHIND L.T.C.H. SCHOOL

Owner of Building CITY OF RED DEER, Box 5008 RED DEER

General Contractor N/A

Architect or Engineer N/A

Roof System, deck 3/8" Plywood insulation 6" IN CEILING SPACE

membrane 2 PLY N.I.S. NAILED AND MOPPED flashing 26 GA CALV. IRON

R value of Roof System: Ceiling 1.52

Air space VENTED

Roof deck VENTED BELOW

Insulation IN CEILING 20.00

B.U.R. system N/A

Other VAPOR BARRIER 0.16

Total R value: 21.68

We hereby certify that we will guarantee this roof for a period of 15 years against leaks in roof due to failure in materials and/or poor workmanship, providing that our Maintenance Contract, which is included in the Document, is accepted and returned to us, so that the roof will be maintained for 15 years as stated above. If our Maintenance Contract is not accepted, then our Guarantee will be for a period of 2 years only.



ROOFING (RED DEER) LTD.

347-1145

Bay 9 & 10, 7460 - 49 Avenue, Red Deer, Alberta T4P 1M2

347-1146

Page 2

If under the Maintenance Contract and Maintenance Inspection issued every 2 years, we recommend work to be done (other than which comes under the Warrantee) and this work is done by others, or not done at all, or done without our permission, we reserve the right to cancel our 15 Yr Guarantee.

MAINTENANCE CONTRACT

As we have applied a N.I.S. type Asphalt & Gravel Roof, we will re-inspect this roof after 2 years, free of charge, with yourself or your Representative, and issue a complete report on this roof. If any work is required other than that which is required under the Guarantee as outlined above, we will give you an estimate and complete recommendation of the work to be done. If this work is done by us, or by others approved by us, our Guarantee will remain in effect for the total life of the roof indicated, namely 15 years. However, this will only be so, if you enter into our Maintenance Contract Agreement below, and as follows:

This Agreement dated Nov. 24, 1986. is made for the purpose of Maintenance Inspections, which will be held every 2 years, for the life of this Contract. The first Inspection and Maintenance Report will be issued 2 years from the above mentioned date, and every 2nd year there after for the life of this Contract. The first inspection is free of charge. The fee for inspection and Maintenance Report after that, will be \$80.00, and we will send our invoice with the Inspection Report. ADJUSTMENT AS PER INFLATION.

Dated NOVEMBER 24, 1986.

OTTO ROOFING (RED DEER) LTD.

[Signature]
B.G. De Boon

We hereby accept your 15 year Guarantee and 15 year Maintenance Contract and agree to pay the fee of \$80.00 every 2 years for the re-inspection and Maintenance Report, starting 4 years from date of issue.

Dated 87/01/19

Name of Company or Owner City of Red Deer

Address P.O. Box 5008 - Red Deer, Alta. - T4N 3T4

Signed by CITY OF RED DEER

[Signature] MAYOR

[Signature] CITY CLERK

DATE: February 26, 1988

TO: CHARLIE SEVCIK  
City Clerk

FROM: RICK ASSINGER  
Family and Community Support Services Manager

RE: RED DEER DAY CARE CENTRE ROOF

---

#### HISTORICAL INFORMATION

- September 2, 1986 -  
Report on the need to repair the roof of the Day Care facility submitted to Council with bids from Hayhoe, Cooper, and Otto all based on specifications prepared by Tremco. Otto Roofing proposed alternative, cheaper method of repairing roof. Council asked for new tenders based on Otto Roofing specifications.
- September 29, 1986 -  
Council awarded project "...on the basis of Otto Roofing specifications to Otto Roofing Ltd. in the amount of \$17,240.00 and that the costs be charged to the 1987 Day Care budget."
- Administrative Concerns -  
City administration backed by a report by the Alberta Roofing Contractors Association (A.R.C.A.) recommended against awarding this tender because there was "...some question in our minds about the method of repairing the roof as proposed by Otto Roofing." In fact, a letter from the National Research Council of Canada, forwarded to us by A.R.C.A. on October 1, 1986 (copy attached), also questioned the proposal by Otto Roofing.
- December 8, 1986 -  
Replacement of roof completed and maintenance contract with Otto Roofing signed by Council. This guarantees the roof for a period of 15 years against leaks in the roof due to failure in materials and/or poor workmanship.
- June 19, 1987 -  
Final report on Day Care Centre Relocation forwarded to City Council with the following notation:  

"Major roof repairs have been completed satisfactorily and there are no further water leaks. There is still some concern about the long-term practicality of the roof design and roofing materials used."
- October 29, 1987 -  
Letter from Otto Roofing indicating that the roof was inspected and "...that there should be no problems..."

PROBLEM

The letter from the Day Care Management Board dated February 12th, 1988 indicates that the roof is now leaking and that the problem appears to be fairly serious. They contacted Otto Roofing Ltd. to learn that there would be an additional cost of \$750.00 to repair the roof since Mr. deBoon feels the guarantee does not cover the problems experienced. They are requesting Council's direction.

The letter from Mr. deBoon dated January 26, 1988 suggests that the water problem at the Day Care Centre is not related to the roofing membrane but is related to condensation. He suggests that the problem is caused by two factors:

- unusually high humidity in the building,
- packed insulation over the office of the Day Care Administrator.

In a subsequent discussion with Mr. deBoon he indicated that he does not feel that this problem is due to poor workmanship or poor quality of materials used and therefore will not honor the guarantee.

INVESTIGATIONS

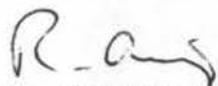
The Day Care staff invited Independent Controls to check the humidity in the building and they submitted a brief report (attached) indicating that humidity levels are higher than average but they cannot determine what is causing the high humidity. They suggested that the humidifiers had not contributed to the problem because they were not operating.

With respect to the packed insulation, we were unable to check this because it will require extensive work in removing the ceiling tile.

RECOMMENDED COURSE OF ACTION

There is some question about the cause of the roofing problem at the Day Care facility. We feel it is important to determine, from an independent appraiser, the source of the problem and the recommended method of correcting it. We understand that such an independent appraiser from Edmonton will be visiting Red Deer soon to inspect other roofs and this appraiser may be the resource we need to resolve this matter.

It is recommended that an independent roofing consultant be hired to investigate the roofing problem at the Day Care facility, identify the cause of the problem, and recommend a course of action to resolve it.



R. ASSINGER

/jmf

Encl.

c. Craig Curtis, Director of Community Services



# Alberta Roofing Contractors Association Ltd. 79.

2725 - 12 Street N.E., Calgary, Alberta T2E 7J2 • Telephone 250-7055

October 1, 1986

City of Red Deer  
Family and Community Support Services,  
P.O. Box 5008,  
Red Deer, Alberta.  
T4N 3T4

Attention: Mr. Rick Assinger, Manager

Dear Sir:-

Re: Red Deer Day Care Facility

We are enclosing herewith a copy of a letter received from the National Research Council, Institute for Research in Construction in reply to our query regarding the roofing on the Red Deer Day Care Facility.

Yours very truly,

ALBERTA ROOFING CONTRACTORS ASSOCIATION LTD.

Dennis Looten, B. Sc.,  
General Manager

DL/bj

Encl.

c.c. Mr. B. G. deBoon  
Otto Roofing (Red Deer) Ltd.

25

"Representing Alberta's Roofing Industry"



National Research Council  
Canada

Conseil national de recherches  
Canada

Institute for  
Research in Construction

Institut de  
recherche en construction

Prairie Regional Station

Station régionale des Prairies

Saskatoon, Saskatchewan  
S7N 0W9

File Référence

80-  
SEP 29 1986

23 September 1986

Dennis Looten  
Alberta Roofing Association  
2725 - 12th Street NE  
CALGARY, Alberta  
T2E 7J2

Dear Dennis,

Further to our conversation today regarding the roofing on the ATCO trailers making up the Red Deer Daycare Facility, there are a number of concerns which should be considered prior to deciding on a proper roof design.

It is most important to first understand that air leakage is the prime culprit in bringing moisture into the attic space. This is controlled by an effective air barrier system. The use of a vapour barrier as you have described it may not accomplish the function of providing sufficient air tightness for this particular project. This is particularly so if there are any penetrations through the ceiling either by light fixtures, plumbing or fire protection devices, or by penetrations above partition walls and the joint formed between individual trailers. These penetrations most likely allow moisture to escape into the attic.

Venting of the attic space is not the cure to this problem; in fact it may increase the problem by causing a draw of moist air from the living space into the attic. Ventilation is meant to carry away moisture to the outside air, but in the winter when the deposition of moisture will be greatest the outside air has almost no capability to carry additional moisture. Ventilation can provide a useful function in the summer by drying out any moist materials which may have been wetted over the winter, but again the first attempt at a cure should be to stop the moisture from entering the attic by ensuring no leakage from the living space. It should also be noted that the vents themselves may allow fine snow to enter into the attic. This has been a long standing problem in many areas of wind and driven snow.

I would suggest thermally protecting the roof membrane by adding insulation on top of the new membrane. This would protect the membrane from the extremes of temperature and similarly the attic

Canada

Serving the construction industry

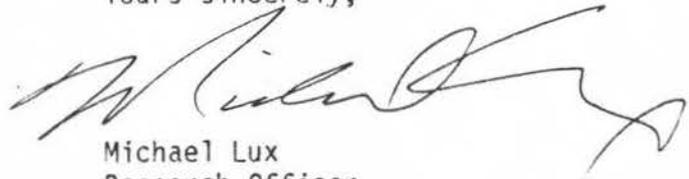
**IRC**

Au service de la construction

would not be as cold with higher possibilities for moisture deposition. The design would have to incorporate a satisfactory method of holding the insulation in place and this may prove difficult to do. The addition of insulation has little or nothing to do with the energy consumption of the building. It must be made clear that its sole function in this installation is to provide a proper thermal environment for the new roof membrane and for the attic space below. It may be noted here that the membrane will act, as did the old steel deck, as the ultimate resistance to vapour diffusion, in other words as the real vapour barrier. The polyethylene already in the ceiling has a higher perm rating than either a steel or bituminous roof.

I hope this answers some of your questions. If you have anything further to ask, you may contact us at the address above, or by phone at (306)975-4200.

Yours sincerely,

A handwritten signature in black ink, appearing to read "Michael Lux", written in a cursive style.

Michael Lux  
Research Officer

**INDEPENDENT  
CONTROL  
SERVICES LTD.**

**347-9797**

#5 - 7875 - 48 Avenue  
Red Deer, Alberta  
T4P 2K1

82.

February 23, 1988

Cathy Pattison  
Red Deer Daycare Centre  
4202-58 Street  
Red Deer, Alberta  
T4N 5E8

Dear Cathy,

On January 22, 1988 our serviceman was sent out to measure the humidity in the Daycare building. The humidity in the building ranged from approximately 50% - 55%. The humidifiers located on each furnace were not operating as the humidstats were set at 30%.

On February 5, 1988 we returned and found the humidity readings over 50% again. As the humidifiers are not operating we must assume the humidity is coming from other sources.

If you have any questions please call me at 347-9797.  
Thank you.

Sincerely,



John Planaden

SERVICE MANAGER

DATE: February 29, 1988 CS-1.534

TO: CHARLIE SEVCIK  
City Clerk

FROM: CRAIG CURTIS  
Director of Community Services

RE: RED DEER DAY CARE CENTRE ROOF  
Your memo dated February 19th, 1988 refers.

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1. The attached report from the F.C.S.S. Manager outlines the history of the repairs to the roof of the Red Deer Day Care Centre.

As can be seen, the City administration recommended against the proposal from Otto Roofing Limited because of reservations regarding the specification. These reservations were backed by a report from the Alberta Roofing Contractors Association (A.R.C.A.), which expressed concerns regarding the ventilation system and roofing material proposed. These concerns may be summarized as follows:

- The roofing system installed is a two-ply NIS system over a low slope plywood deck. The A.R.C.A. expressed "grave concern" about this system, and noted that the minimum slope recommended for this material is 1:4. The Day Care roof has a slope of 1:50. It also noted that the NIS system is not recommended to be used on its own, but in conjunction with an additional felt and asphalt membrane.
  - The ventilation system was designed and installed as part of the Otto Roofing Contract. In their report, the A.R.C.A. noted that prior to the new roof being installed, there was "no evidence of a condensation problem", and questioned whether ventilation was necessary or desirable. It also questioned whether the ventilation system proposed would achieve the desired effect. This view was further confirmed in the letter from the National Research Council, which expressed the view that venting of the attic would draw moist air into the area, at a time when the outside air has almost no capability to carry additional moisture.
2. During January, there were extensive water problems throughout the building, and the Day Care Board is concerned that the spring thaw could result in major damage.

Charlie Sevcik, City Clerk  
Page 2  
February 29, 1988  
Red Deer Day Care Centre Roof

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Mr. DeBoon of Otto Roofing Limited was contacted, and he stated that the problem was entirely due to condensation, and therefore, not covered by the warranty. He noted that the humidity was very high (likely as a result of the humidifier), and recommended that additional ventilation be installed, at a cost of \$733.50.

Independent Controls has since confirmed the high humidity levels. However, this is not a result of the humidifier, which is not operating.

3. I have inspected the roof and carefully examined the specifications under which it was installed. My conclusions are as follows:

- Water problems are being experienced throughout the building, and major damage to ceilings, carpets, etc., can be anticipated unless the problem is corrected in the near future.
- The water coming through the ceiling is likely a combination of both condensation and water penetration. The water penetration could be occurring because of the low pitch, in conjunction with the roofing material used. The high humidity is likely, in part, the result of the design of the ventilation system.
- I cannot accept Mr. DeBoon's statements that Otto Roofing Limited is not responsible, as the ventilation system was designed and installed as part of the roofing contract.
- The additional ventilation proposals submitted by Mr. DeBoon are a recognition that the existing system is not satisfactory. However, they appear to be band-aid solutions which, in my view, would not likely resolve the problem.

4. RECOMMENDATION

I strongly recommend that no action be taken on the recommendations submitted by Otto Roofing Limited,

...../3

Charlie Sevcik, City Clerk  
Page 2  
Red Deer Day Care Centre Roof  
February 29, 1988

---

and that an independent roofing consultant be hired immediately to investigate the problem.



CRAIG CURTIS  
Director  
Community Services Division

/dmg

- c. Rick Assinger, F.C.S.S. Manager  
Jack VanVliet, F.C.S.S. Board Chairman  
Kathy Barnhart, Red Deer Day Care Administrator  
Dr. Gordon Mundle, Day Care Management Board Chairman

Attach.

Commissioners' Comments

We support the recommendation that an independent appraisal be undertaken at an estimated cost of \$500-\$600.

"R.J. MCGHEE"  
Mayor

"M.C. DAY"  
City Commissioner

DATE: January 25, 1989  
TO: Dir. of Community Services  
FROM: City Clerk  
RE: DAY CARE CENTRE ROOF

---

The various reports concerning the above topic were presented to Council Monday, January 23, 1989, and at which meeting Council passed the following motion:

"RESOLVED that Council of The City of Red Deer, having considered reports to Council January 23, 1988 pertaining to the Day Care Centre Roof, hereby agree as follows:

1. To approve the sum of \$29,200 for modifications to the Red Deer Day Care Centre as outlined in the draft 1989 budget.
2. To terminate the current warranty/maintenance contract with Otto Roofing Ltd.
3. Approve an alteration to the financing of the initial construction of the Red Deer Day Care Centre to recover the total cost over a nine year period, effective 1990."

The decision of Council in this instance is submitted for your information and I trust you will undertake all of the steps as directed in the above noted resolution.

C. Sevcik  
City Clerk  
CS/ds  
c.c. City Commissioners  
Dir. of Finance  
Social Planning Manager  
Day Care Management Board  
F.C.S.S. Board

NO. 1

12 January 1989

TO: RED DEER CITY COUNCIL

RE: **MARKETING OF CITY-OWNED COMMERCIAL AND INDUSTRIAL PROPERTY  
REAL ESTATE COMMISSIONS**

---

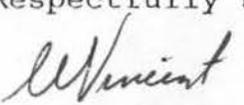
At the Economic Development Board meeting of January 11th, 1989. the following motion was passed regarding the marketing of city-owned commercial and industrial property.

"That the Economic Development Board endorse the recommendations of the Subcommittee on Real Estate Commissions as follows, and submit same for Council's consideration:

1. The realtors presently representing selected City-owned land on an exclusive basis, namely: Remax Real Estate, Royal LePage Real Estate, Sim & Thorne Realty and Weddell Mehling Pander, continue in their present roles until June 30, 1989.
2. The properties listed remain as they are for a similar period of time.
3. That future listings beyond June 30, 1989 be for a 12 month period.
4. From this point forward, it will be required that those real estate companies with exclusive listings, report monthly to the Economic Development Manager and annually to the Land Marketing Committee of the Economic Development Board.
5. The Land Marketing Committee will be responsible annually prior to renewal of contracts or establishment of contracts to invite submissions from those real estate companies wishing to represent City-owned land on an exclusive basis, and to make recommendations from this group, for consideration by Red Deer City Council."

Council's consideration of this matter is appreciated.

Respectfully submitted,

  
for W. SISSONS, Chairman,  
Economic Development Board

12 January 1989

49.

TO: RED DEER CITY COUNCIL

RE: **MARKETING OF CITY-OWNED INDUSTRIAL PROPERTY**

---

At the Economic Development Board meeting of January 11th, 1989. the following motion was passed regarding the marketing of city-owned industrial property.

"That the Economic Development Board endorse the recommendations of the Sub-committee Reviewing Marketing of Industrial Land as follows, and submit same for Council's consideration:

a) List all remaining open-listed (non-subdivided) properties with an agency on an exclusive basis. Commission would be sufficient to create incentive to market. Some vital conditions of the agreement would be:

- Cooperation with other agencies.

- The use of signage and other marketing tools.

- Renewal of the sales agreement every 12 months.

(Based on a specification, submissions from qualified agencies would be invited annually. Selection recommendations would be developed by the Land Marketing Committee for consideration by this Board and then Red Deer City Council.)

- Updates of progress to be submitted monthly to the Economic Development Manager and yearly to the Land Marketing Committee.

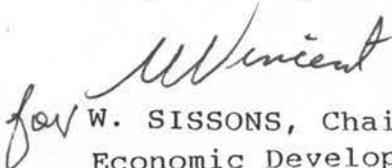
b) Integrate parcels which are currently listed through agencies into the exclusive listing after June 30, 1989.

c) Consider earmarking parcels which through a zoning revision could provide services to the employees of the park. It is recommended that this be addressed prior to 'a)' being implemented.

d) Establish a Land Marketing Committee as a standing sub-committee of the Economic Development Board to address the longer-term marketing affairs. Their scope would include both industrial and commercial City-owned land."

Council's consideration of this matter is appreciated.

Respectfully submitted,

  
for W. SISSONS, Chairman

Economic Development Board.

Commissioners' Comments

We would concur with the recommendations contained in both attached reports pertaining to marketing of industrial and commercial property with the exception of item a) in the second report. This infers that all remaining City industrial land be offered for sale through the services of an exclusive agreement with an agency. The difficulty we have with this inference is that it is just not economically feasible to service some of this land in advance of the natural progression of development from the current area. Accordingly, we would recommend that this recommendation be changed to read "List all remaining open listed nonsubdivided properties which can be realistically and economically serviced with an agency on an exclusive basis".

With respect to item C in the same report we would recommend that this be referred to the Planners for their consideration and further report back to Council.

"R.J. MCGHEE"  
Mayor

"M.C. DAY"  
City Commissioner

DATE: July 27, 1988

TO: Economic Development Board

FROM: City Clerk

RE: EXCLUSIVE LISTINGS OF INDUSTRIAL AND COMMERCIAL LAND/SELECTED  
RED DEER REALTORS

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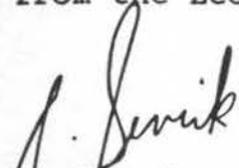
Your report dated July 15, 1988, concerning the above topic was presented to Council Monday, July 25, 1988, and at which meeting Council passed the following motion in accordance with your recommendations:

"RESOLVED that Council of The City of Red Deer hereby approve the recommendations of the Red Deer Economic Development Board re: exclusive listings of industrial and commercial land with selected Red Deer realtors as outlined in the report dated July 15, 1988, and as presented to Council July 25."

The decision of Council in this instance is submitted for your information and by way of a copy of this memo to the Econ. Dev. Mgr., we would request that appropriate action be taken.

It is my understanding that the Committee will carry out a further review after six months, in keeping with Council's wishes, and at that time give consideration to those realtors who had not been included in the first two listings, in order that all interested companies have an opportunity of displaying their ability. If the arrangement continues beyond that point, it is our further understanding that the Committee would select the top four realtors to represent the City land for somewhat longer period of time.

We look forward to receipt of further recommendations in due course from the Economic Development Committee in regard to this matter.

  
C. Sevcik  
City Clerk  
CS/ds

c.c. City Commissioner  
Econ. Dev. Mgr.  
Dir. of Finance  
Dir. of Engineering Services  
City Assessor  
Bylaws & Inspections Mgr.  
Urban Planner

B.F. - Jan 189

DATE: January 25, 1989  
TO: Economic Development Board  
FROM: City Clerk  
RE: 1) MARKETING OF CITY-OWNED COMMERCIAL & INDUSTRIAL  
PROPERTY/REAL ESTATE COMMISSIONS  
2) MARKETING CITY-OWNED INDUSTRIAL PROPERTY

---

Your reports concerning the above were considered by Council January 23, 1989, and at which meeting motions were passed as quoted hereunder.

"RESOLVED that Council of The City of Red Deer, having considered recommendations from the Economic Development Board pertaining to Real Estate Commissions for marketing of City-owned Commercial and Industrial property hereby agree as follows:

1. That realtors presently representing selected City-owned land on an exclusive basis, namely:  
Re/Max Real Estate  
Royal LePage Real Estate  
Sim & Thorne Realty and  
Weddell, Mehling & Pander  
continue in their present roles until June 30, 1989.
2. That properties listed remain as they are for a similar period of time.
3. That future listings beyond June 30, 1989 be for a twelve month period.
4. That from this point forward, it be required that those real estate companies with exclusive listings, report monthly to the Economic Development Manager, and annually to the Land Marketing Committee of the Economic Development Board.
5. That the Land Marketing Committee be responsible annually prior to renewal of contracts or establishment of contracts to invite submissions from those real estate companies wishing to represent city-owned land on an exclusive basis, and to make recommendations from this group for consideration by Red Deer City Council."

"RESOLVED that Council of The City of Red Deer, having considered recommendations from the Economic Development Board and City Commissioners regarding marketing of industrial property, hereby agree as follows:

- (a) To list all remaining open listed (non-subdivided) properties which can be realistically and economically serviced with an agency on an exclusive basis. Commission would be sufficient to create incentive to market. Some vital conditions of the agreement to be:
- co-operation with other agencies;
  - the use of signage and other marketing tools;
  - renewal of the sales agreement every 12 months; (based on a specification submissions from qualified agencies to be invited annually. Selection recommendations to be developed by the Land Marketing Committee for consideration by the Economic Development Board and Red Deer City Council);
  - Updates of progress to be submitted monthly to the Economic Development Manager and yearly to the Land Marketing Committee of the Economic Development Board.
- (b) To integrate parcels which are currently listed through agencies into the exclusive listing after June 30, 1989.
- (c) To consider earmarking commercial parcels through a zoning revision to provide services to the employees within the industrial park. This matter to be addressed prior to (a) above being implemented and to be referred to the planners for consideration and a further report back to Council.
- (d) To establish a Land Marketing Committee as a Standing Committee of the Economic Development Board to address the long-term marketing affairs. The scope of this Committee would include both industrial and city-owned land."

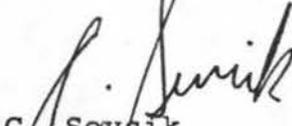
The decision of Council in this instance is submitted for your information and appropriate action.

With regard to the latter resolution, Item (c) is to be addressed prior to implementation of Item (a). By way of a copy of this memo, we are requesting the Planners give consideration to this matter

Page 3  
Economic Development Board

and to report back to Council. We will advise the Economic Development Board when the report from the Planners is received.

Trusting you will find this satisfactory.



C. Sevcik  
City Clerk  
CS/ds

c.c. City Commissioners  
Urban Planner  
Economic Development Manager  
Dir. of Finance  
City Assessor  
Dir. of Engineering Services  
Bylaws & Inspections Manager  
Dir. of Community Services

DATE: October 4, 1988  
TO: Economic Development Committee  
FROM: City Clerk  
RE: EDGAR INDUSTRIAL SUBDIVISION

---

At the Council meeting of October 3, 1988, consideration was given to a report submitted by the Director of Finance dated September 26, 1988, regarding services to the above noted subdivision, a copy of which is enclosed herewith.

At the aforesaid Council meeting, it was agreed that said matter be referred to the Economic Development Committee for consideration and recommendation back to Council with regard to a more aggressive, marketing strategy.

We look forward to recommendations from the Economic Development Committee in due course.



C. Sevcik  
City Clerk  
CS/ds  
c.c. City Commissioners  
Economic Development Manager

Reminder only 88/12/29 fo.

WRITTEN ENQUIRIES

51.

NO. 1

DATE: SEPTEMBER 26, 1988  
TO: CITY CLERK  
FROM: DIRECTOR OF FINANCE  
RE: ALDERMAN KOKOTAILO/WRITTEN ENQUIRY/NATIONAL SUPPLY - EDGAR INDUSTRIAL SUBDIVISION

---

At the August 8, 1988 Council meeting the City administration was directed to respond to the following written enquiry from Alderman Kokotailo:

"What costs were incurred by the City in order to enable National Supply to locate in the Edgar Industrial Subdivision? How are these costs financed? What are the benefits to the City?"

As I indicated at the Council meeting, a number of hours of staff time were required to respond properly to the enquiry. It has been necessary to obtain information from five departments and compile the information in order to prepare a proper response.

TERMS OF SALE TO NATIONAL SUPPLY

On March 2, 1981 City Council approved the sale of land to National Supply in the NW $\frac{1}{4}$  of Section 31 in northwest Red Deer. The significant information about the sale is:

1. Sale Price               \$1,142,768
2. Area                     24.41 acres.
3. Date of agreement March 5, 1981

ECONOMIC BENEFITS OF NATIONAL SUPPLY

The Company is now known as National Oilwell Canada Limited. It originally went into production in 1982 as National Supply Canada Limited.

Currently, National Oilwell Canada Limited employs approximately 93 people in the manufacturing of oilfield equipment and the fabrication and machining of industrial components. Approximately 45% of the materials used in their manufacturing operations are acquired within Alberta with about 10 to 15% coming from the Red Deer area. Approximately 35% of production is exported.

City Clerk  
 Page 2  
 September 26, 1988

ECONOMIC BENEFITS OF NATIONAL SUPPLY (CONTINUED)

The average 1987 hourly wage in the manufacturing sector is \$12.92 per hour. On average, National Oilwell's salaries are above average indicating the payroll would have a significant impact on the Red Deer economy.

It is generally accepted that the spending of money has a ripple effect of between two to three jobs being created for each manufacturing job. Based on this, it is conceivable to assume the 93 jobs at National Oilwell have developed between 186 to 279 non-manufacturing jobs in Red Deer. In total, then, it could be said the National Oilwell facility is responsible directly or indirectly for between 279 and 372 jobs in Red Deer and area.

National Supply is also a taxpayer in Red Deer. In 1988 \$92,789 in property and business taxes were collected.

COSTS INCURRED TO ENABLE NATIONAL SUPPLY TO LOCATE IN THE EDGAR INDUSTRIAL SUBDIVISION

Appendix "B" to this report discloses the costs incurred by the City in order to enable National Supply to locate in the Edgar Subdivision. The appendix discloses a gross cost of \$8,417,023 was incurred in 1982. This cost was intended, however, to be recovered from development of an area consisting of 230 ha. Because the National Supply site consists of 9.88 ha., only \$361,566 of the \$8,417,023 cost was allocated to the National Supply land sale. The balance of the cost, being \$8,055,457; was considered as recoverable from other properties in the service basin as the properties were sold.

For the years 1982 to 1988 inclusive, if all the servicing costs related to National Supply (including carrying costs) as well as recoveries from the sale of other sites in the service basin are taken into consideration, it is projected \$14,966,615 of costs will remain unrecovered at the end of 1988. This does not include any recoveries from 1988 land sales.

It will be recalled during 1988 budget deliberations Council agreed to reduce the net unrecovered costs by \$6.3 million. This reduction

City Clerk  
Page 3  
September 26, 1988

COSTS INCURRED TO ENABLE NATIONAL SUPPLY TO LOCATE IN THE EDGAR  
INDUSTRIAL SUBDIVISION (CONTINUED)

was necessary to reflect what could reasonably be expected to be recovered from the future servicing of sites in the service basin.

The original expenditure on services in 1982 was funded by the issue of debentures until recoveries from the sale of properties within the service basins occurred. Costs incurred since 1982 are now funded mainly by the decision during the 1988 budget deliberations to fund \$6.3 million from the Water and Sewer Utilities and property taxation.

SUMMARY OF DIRECT RECOVERIES AND COSTS RESULTING FROM THE LAND SALE  
TO NATIONAL SUPPLY

Appendix "A" discloses the direct recoveries and costs resulting from the land sale to National Supply. This appendix ignores any costs incurred prior to the decision to sell land to National Supply.

Appendix "A" discloses the net of costs and recoveries incurred since the decision was made to sell the land to National Supply is projected to be a \$2,078,588 recovery by the end of 1988.

SUMMARY

The sale of land to National Supply has resulted in a number of significant benefits to the City in:

1. Providing employment for 93 people.
2. Creating additional employment in the non-manufacturing sector of 186 to 279 jobs.
3. Property and business tax revenue of \$518,472 since 1981.

There is no doubt in hindsight the sale of land to National Supply occurred at the worst possible time. Immediately after the land sale the economy in Red Deer came to an abrupt stop because of the recession. It was a number of years before Red Deer was able to consider itself out of the depression. The growth that was occurring at the time of the land sale to National Supply has still, however, to be experienced.

The services that were extended to National Supply had to be taken through a large area of undeveloped land. Due to the recession, the

City Clerk  
Page 4  
September 26, 1988

SUMMARY (CONTINUED)

sale of the undeveloped land has occurred quite slowly. This has resulted, as disclosed in Appendix "B", in the incurring of a significant amount of carrying costs. During the 1988 budget deliberations Council recognized the unrecovered expenditure could not feasibly be recovered from the remaining undeveloped land and decided to fund \$6.3 million of the unrecovered cost from the Water and Sewer utilities and property taxation. The balance of the unrecovered cost was funded primarily by the issue of debentures.



A. Wilcock, B. Comm., C.A.  
Director of Finance

AW/mrk

Att. (2)

Commissioners' Comments

Submitted for Council's information.

"R.J. MCGHEE"  
Mayor

"M.C. DAY"  
City Commissioner

## APPENDIX "A"

## DIRECT COSTS AND RECOVERIES RELATED TO NATIONAL OILWELL CANADA LTD.

DESCRIPTION	1981	1982	1983	1984	1985	1986	1987	1988	TOTALS
RECOVERIES:									
Sale of land	1,142,768								1,142,768
Servicing	15,169								15,169
Property tax		23,538	68,985	70,724	75,274	77,351	82,721	86,400	484,993
Business tax		278	4,815	4,974	5,383	5,678	5,962	6,389	33,479
TOTALS	1,157,937	23,816	73,800	75,698	80,657	83,029	88,683	92,789	1,676,409
COSTS:									
Allocation of offsite costs per Appendix "B"		361,566							361,566
Temporary access road		147,000							147,000
TOTALS	0	508,566	0	0	0	0	0	0	508,566
NET RECOVERY	1,157,937	-484,750	73,800	75,698	80,657	83,029	88,683	92,789	1,167,843
Add: Interest on net recovery	34,738	94,080	82,213	101,578	117,562	136,128	159,701	184,745	910,745
ACCUMULATED NET RECOVERY	1,192,675	802,005	958,017	1,135,294	1,333,513	1,552,670	1,801,054	2,078,588	

## APPENDIX "B"

## NORTHWEST SERVICE BASIN COSTS INCURRED RELATED TO NATIONAL OILWELL CANADA LTD.

DESCRIPTION	1982	1983	1984	1985	1986	1987	1988	TOTALS
COSTS INCURRED:								
Water Trunk	1,040,000							1,040,000
Storm Sewer Trunk	4,141,000							4,141,000
Sanitary Sewer Trunk	1,218,000							1,218,000
Edgar Close Road east of 64th Ave.	493,500							493,500
Basin prelevelling	1,266,000							1,266,000
Design and inspection	149,800							149,800
Misc. brushing & house demolition	28,000							28,000
Edgar Drive from 64th Ave. to National Oilwell							522,015	522,015
EL& P servicing cost (50%)	80,723							80,723
<b>TOTALS</b>	<b>8,417,023</b>	<b>0</b>	<b>0</b>	<b>0</b>	<b>0</b>	<b>0</b>	<b>522,015</b>	<b>8,939,038</b>
DEDUCT RECOVERIES:								
Portion allocated to National Oilwell based on the service basin*	361,566							361,566
Other recoveries				274,111				
<b>Net for current year</b>	<b>8,055,457</b>	<b>0</b>	<b>0</b>	<b>-274,111</b>	<b>0</b>	<b>0</b>	<b>522,015</b>	<b>8,577,472</b>
ADD: OPENING BALANCE	0	8,377,675	9,198,687	10,136,954	10,862,832	11,938,252	13,132,077	
ADD: CARRYING COSTS	322,218	821,012	938,266	999,990	1,075,420	1,193,825	1,312,522	
<b>NET UNRECOVERED END OF YEAR</b>	<b>8,377,675</b>	<b>9,198,687</b>	<b>10,136,954</b>	<b>10,862,832</b>	<b>11,938,252</b>	<b>13,132,077</b>	<b>14,966,615</b>	

\* Service basin is 230 ha. The area sold to National Oilwell was 9.88 ha.

DATE: January 10, 1989

TO: City Clerk

FROM: E.L. & P. Manager

RE: 1987 EEMA Adjustment Hearing

---

The Public Utilities Board, Alberta (PUB) has concluded its public hearings in respect of the 1987 Alberta Electric Energy Marketing Agency (EEMA) Adjustment and has issued its Decision E88080. As Council will recall, the City of Red Deer was an intervenor in this matter on a joint basis with the City of Lethbridge.

Attached is a letter from the City of Red Deer's legal representative at the hearings, Mr. A. Bryan, in which he discusses the major impacts of the Decision.

It should be noted that the City's cost of purchasing power from TransAlta Utilities Corporation (TAU) will not immediately be affected. The 1987 adjustment amounts referenced in Mr. Bryan's letter will be included in the 1989 operation of EEMA which in turn will be reflected in the final rates set for TAU in their upcoming General Rate Application for test years 1988, 1989 and 1990 before the PUB.

The adjustments to the City of Red Deer Residential and General Service rates do not directly affect City of Red Deer E. L. & P. rates. The adjustments within these classifications is part of the complicated internal averaging process of EEMA which will eventually be reflected in the TAU rates as explained in the above paragraph.

The combined City of Red Deer and City of Lethbridge cost of intervention was \$141,956 of which the Red Deer share is somewhat less than 50%. I expect that all of the City of Red Deer's cost will be reimbursed to the City. The total cost of the 7 Intervenors was \$486,886.

In conclusion, it can be stated that the results of the PUB Decision are favorable to City of Red Deer residents.



A. Roth,  
E. L. & P. Manager

AR/jjd

# Bryan and Wilson

BARRISTERS AND SOLICITORS

050-15

52.

GEORGE J. BRYAN Q.C. 1900 - 1975

WILLIAM E. WILSON, Q.C.\*  
DONALD J. BOYER, Q.C.\*  
DANIEL W. HAGG\*  
ROBERT M. KELCHER  
BOGUMIL F. ROMANKO\*  
ERIC D. YOUNG\*  
MICHAEL R. KINASH  
TIMOTHY C. HAGG  
DALE E. TUMBACH  
BRIAN E. WALLACE

DONALD OSTRY\*  
LAWRENCE W. OLESEN, Q.C.\*  
BARRY D. YOUNG\*  
ROSS G. McLEOD\*  
ROBERT J. MACKAY\*  
J. PATRICK BOND\*  
JOSEPH J. KUEBER  
DOUGLAS O. GOSS  
BARRY M. HECK  
JAMES A. ANDREKSON

J. ALAN BRYAN, Q.C.\*  
JACK G. EASTON\*  
MICHAEL W. CROZIER\*  
NORMAN W. PICARD\*  
KENNETH B. BLASIUS\*  
KENNETH B. HALLSCHAK\*  
DOUGLAS N. TKACHUK  
C. RANDALL McCREARY  
NANCY E. CUMMING  
CHRISTOPHER D. FIX

2600 MANULIFE PLACE  
10180 - 101 STREET  
EDMONTON, ALBERTA T5J 3Y2

TELEPHONE (403) 423-5730  
TELECOPIER (403) 428-8324  
TELEX 037-41740  
CABLE BRANCO

SOUTH EDMONTON OFFICE  
BLUE GULL CENTRE  
292 SADDLEBACK ROAD

OUR FILE 1427-36 JAB

YOUR FILE 5th January, 1988

The City of Red Deer  
4914 - 48 Avenue  
Red Deer, Alberta  
T4N 3T4

Attention: Mr. Al. Roth  
Manager, Electric Light and  
Power Department

JAN 10 1988  
CITY OF RED DEER

Dear Sir:

Re: 1987 EEMA ADJUSTMENT HEARING

We have now received and enclose a copy of the Board's Decision (E88080) relating to the 1987 EEMA Adjustment Hearing.

You will note from Schedules A-1 to A-3 inclusive that there has been a significant adjustment in the price to the Agency for the Residential Consumer Group arising from differences between forecast and actual energy sales and the unit price expressed in \$ per kWh. These adjustments are summarized as follows:

a) Alberta Power Limited	(20,016,000)
b) Edmonton Power	( 9,578,000)
c) TransAlta Utilities Corporation	<u>(43,459,000)</u>
<b>TOTAL decrease</b>	<b>(73,053,000)</b>

These adjustments, together with the adjustments for the Large Industrial and General Service Consumer Groups, will be reflected in the current price to the Agency.

This is relatively important for the customers of TAU since the adjustment will be reflected in the cost of service to various customer classes that will be considered during the course of its upcoming General Rate Application for the test years 1988, 1989 and 1990.

With regard to the methodology for classification and allocation of fixed costs, you will note that the Board has decided, in its wisdom, to retain the modified fixed variable method of classifying the costs of production plant installed on the AIS. However, the Board did change its method of allocating total utility demand costs from that previously used.

By way of explanation, in 1986 the Board moved from the 1CP method to a method which allocated demand costs to consumer groups using 75% of the single CP peak demand and 25% of the 12 CP peak demand (this was referred to as the "Board Method" in Exhibit #84). For 1987, this has been changed to a method which:

"...considers that the relative importance of the winter months of November, December and January should be recognized by means of a weighting of 50% in the demand allocation method and all other months given a weighting of 50%.

This is referred to as the 3W/9NW Method.

The potential impact of this change, to the extent it will be reflected in TAU customer rates, is difficult to access but can be implied from the information provided in Exhibit 84, p.4, a copy of which is attached. In referring to that Schedule, and comparing the columns entitled "Board Method" and "3 Winter 9 Non-Winter Months Method" you will note the following

1.	Cost <u>decrease</u> to Residential Consumer Group (line 1)	
	3W/9NW	(18,375)
	Board Method	<u>(11,819)</u>
	Net difference	(6,556)
2.	Cost <u>decrease</u> to Total Wholesale (line 2)	
	3W9NW	732
	Board Method	<u>1,413</u>
	Net difference	(681)
3.	City of Red Deer	
a)	<u>Decrease</u> to Residential (line 3)	
	3W/9NW	(579)
	Board Method	<u>(372)</u>
	Net difference	(207)
b)	<u>Increase</u> to General Service	
	3W/9NW	388
	Board of Method	<u>248</u>
	Net difference	140

You will also note that there is a modest net decrease of 67,000 to the City of Red Deer - Total.

*Bryan and Wilson*

We trust this summary is of some benefit to you, however, if you require further particulars please do not hesitate to contact the writer.

Yours truly,  
BRYAN and WILSON

Per: 

J. Alan Bryan, Q.C.

JAB/gt

Commissioners' Comments

Submitted for Council's information only.

"R.J. MCGHEE"  
Mayor

"M.C. DAY"  
City Commissioner

*Bryan and Wilson*

TransAlta Utilities  
Impact of Changes in Demand Allocation Methods  
(Adding back Class III Interruptibles)  
Costs Increases (Decreases) to TransAlta Rate Classes after Pooling  
(Compared to 1 CP Method)

55.

Description	Allocation Method						
	12 CP Method	Board Method	4 CP Method	3 Winter 3 Summer Months Method	3 Winter 9 Non-Winter Months Method	100% Energy Only Method	Plant Factor & 12 CP Method
Residential Rate Class	(16,445)	(3,834)	(8,332)	(7,520)	(5,961)	(23,002)	(20,248)
TAU Farms Rate Class	(5,145)	(1,200)	(2,607)	(2,353)	(1,865)	(7,197)	(6,335)
REA Farms Rate Class	(6,373)	(1,486)	(3,229)	(2,914)	(2,310)	(8,914)	(7,847)
Res. Portion Wholesale	(22,731)	(5,300)	(11,517)	(10,395)	(8,240)	(31,796)	(27,988)
1. Residential Consumer Group	(50,693)	(11,819)	(25,683)	(23,182)	(18,375)	(70,908)	(62,418)
Large Industrial	22,732	5,292	12,933	12,134	13,004	62,782	45,961
Industrial Furnace	727	169	796	53	441	216	431
L.I. Portion Wholesale	4,485	1,049	3,317	3,020	2,766	6,310	5,544
Large Industrial Consumer Group	27,943	6,510	17,046	15,207	16,211	69,308	51,935
General Service Rate Class	(1,322)	(312)	(1,189)	(1,011)	(1,807)	(5,010)	(3,461)
Irrigation Rate Class	5,373	1,258	3,906	3,708	1,723	3,738	4,425
Exterior Lighting Rate Class	(1,749)	(410)	(751)	(742)	(493)	(1,360)	(1,523)
Pumping Rate Class	(459)	(109)	(514)	(506)	(294)	(5,032)	(3,111)
Small Industrial	6,830	1,595	2,795	1,277	2,322	27,807	18,996
G.S. Portion Wholesale	24,230	5,664	11,518	10,106	6,205	7,028	14,253
General Service Consumer Group	32,903	7,686	15,765	12,831	7,656	27,172	29,579
Total Industrial Rate Class	29,561	6,887	15,728	13,410	15,326	90,589	64,957
Total Wholesale Rate Class	5,984	1,413	3,318	2,731	732	(18,457)	(8,192)
Total TransAlta	10,153	2,377	7,127	4,856	5,492	25,571	19,096
City of Calgary - Residential	(18,814)	(4,386)	(9,532)	(8,604)	(6,820)	(26,317)	(23,166)
- Large Industrial	4,170	976	3,013	2,828	2,700	6,185	5,339
- General Service	21,557	5,040	9,839	8,764	5,516	6,554	12,855
City of Calgary - Total	6,914	1,629	3,320	2,988	1,396	(13,578)	(4,972)
City of Lethbridge - Residential	(1,800)	(420)	(912)	(823)	(652)	(2,518)	(2,216)
- Large Industrial	314	73	304	193	66	126	205
- General Service	1,448	338	871	586	288	175	710
City of Lethbridge - Total	(38)	(8)	263	(45)	(299)	(2,217)	(1,302)
3. City of Red Deer - Residential	(1,596)	(372)	(809)	(730)	(579)	(2,233)	(1,965)
- Large Industrial	0	0	0	0	0	0	0
- General Service	1,063	248	695	665	388	235	583
City of Red Deer - Total	(533)	(124)	(114)	(64)	(191)	(1,998)	(1,382)
Other Towns - Residential	(521)	(121)	(264)	(238)	(189)	(729)	(641)
- Large Industrial	0	0	0	0	0	0	0
- General Service	161	38	113	91	14	65	105
Other Towns - Total	(359)	(84)	(150)	(148)	(175)	(664)	(536)
2. Total Wholesale	5,984	1,413	3,318	2,731	732	(18,457)	(8,192)

using F.U. classification

rolled in class. allocation

DATE: January 25, 1989  
TO: E.L. & P. Manager  
FROM: City Clerk  
RE: 1987 EEMA ADJUSTMENT HEARING

---

Your report dated January 10, 1989, concerning the above topic was considered by Council at its meeting held on January 23, 1989.

At the aforesaid meeting, your report was accepted for information purposes and it was agreed that same be filed. We thank you for your informative report in this instance.



C. Sevcik  
City Clerk  
CS/as  
c.c. Dir. of Finance

DATE: JANUARY 16, 1989  
TO: CITY COUNCIL  
FROM: CITY CLERK  
RE: PETITION/HOURS OF BUSINESS BYLAW

---

On January 5, 1989, Mr. W. Statnyk personally delivered a 369 page petition requesting Council to prepare a bylaw to be submitted to the electors of the City of Red Deer providing for the repeal of the Hours of Business Bylaw No. 2870/85 as amended. I am enclosing herewith a copy of one typical page of the petition for Council's information. Submitted with the petition were the following:

1. A statement signed by Mr. William Statnyk indicating that he represents the petitioners.
2. Affidavits signed by 14 witnesses pursuant to Section 6 of the Municipal Government Act indicating that to the best of their belief the persons whose signatures they witnessed are electors of the City of Red Deer.

The petition is filed pursuant to Section 125 of the Municipal Government Act and accordingly, I am enclosing herewith a copy of the aforesaid section for Council's information. Also enclosed is a copy of Section 6 of the Municipal Government Act which is relevant in this instance.

The petition contains a total of 3,646 names, of which 616 were crossed off by Mr. Statnyk the vast majority of which were non-residents of Red Deer. As required under Section 6 of the Municipal Government Act, I have excluded a further 734 names for reasons as summarized hereafter:

- A) name incomplete - 506
- B) address incomplete - 50
- C) signed by witnesses not supported by affidavits - 56
- D) not witnessed - 8
- E) petitioners signature missing - 10
- F) signed more than once - 24
- G) non-resident - 36
- H) combination of A to F - 44

#### Summary

A petition under Section 125 has no effect unless the number of electors who have signed the petition equals at least 5% of the City's population, that is 2,742.

Total number of petitioners      3,646  
Crossed off by Mr. Statnyk          616  
Excluded by City Clerk pursuant to Section 6 of the Municipal

page 2  
City Council  
January 16, 1989

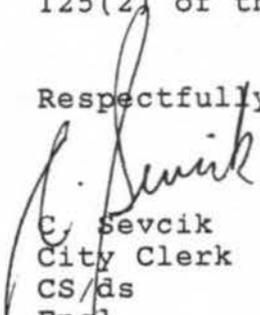
Government Act 734

Total number of petitioners accepted 2,296

Pursuant to Section 6 of the Municipal Government Act, I declare that the said petition is insufficient.

In a legal opinion provided to Council in confidence, the City Solicitor advises that the petition does not conform with Section 125(2) of the Municipal Government Act.

Respectfully submitted,



C. Sevcik  
City Clerk  
CS/ds  
Encl.

Commissioners' Comments

As the petition does not meet the requirements of the Municipal Government Act and as Council has agreed to a plebiscite pertaining to the Hours of Business Bylaw, we would recommend that Council agree to file the petition.

"R.J. MCGHEE"  
Mayor

"M.C. DAY"  
City Commissioner

AND IN THE MATTER OF CITY OF RED DEER  
BY-LAW NO. 2870/85 AS AMENDED BY BY-LAW  
NO. 2870/A-87, BY-LAW NO. 2870/B-88 AND BY-LAW NO. 2870/C-88.

4

**PETITION**

**TO THE MAYOR AND COUNCIL OF THE CITY OF RED DEER**

Whereas the undersigned electors support freedom of choice and oppose municipal by-laws which restrict the days and hours upon which businesses may open;

The undersigned electors, residing in the City of Red Deer, Alberta hereby petition the mayor and council of The City of Red Deer to prepare a by-law to be submitted to the electors of The City of Red Deer providing as follows:

The Hours of Business By-law No. 2870/85, as amended is repealed in its entirety.

<p><u>[Signature]</u> (SIGNATURE)</p>	<p><u>SIM GANSHIRT</u> (PRINTED NAME OF ELECTOR) <u>#212-6834 59 Ave.</u> (COMPLETE MUNICIPAL ADDRESS OF ELECTOR) <u>[Signature]</u> (SIGNATURE OF WITNESS)</p>	<p><u>[Signature]</u> (SIGNATURE OF ELECTOR)</p>	<p><u>[Signature]</u> (PRINTED NAME OF ELECTOR) <u>119 Capital Crescent</u> (COMPLETE MUNICIPAL ADDRESS OF ELECTOR) <u>[Signature]</u> (SIGNATURE OF WITNESS)</p>
<p><u>[Signature]</u> (SIGNATURE OF ELECTOR)</p>	<p><u>COLLEEN BATES</u> (PRINTED NAME OF ELECTOR) <u>BRIEVE GREEN</u> (COMPLETE MUNICIPAL ADDRESS OF ELECTOR) <u>[Signature]</u> (SIGNATURE OF WITNESS)</p>	<p><u>[Signature]</u> (SIGNATURE OF ELECTOR)</p>	<p><u>[Signature]</u> (PRINTED NAME OF ELECTOR) <u>28 Campbell Ave</u> (COMPLETE MUNICIPAL ADDRESS OF ELECTOR) <u>[Signature]</u> (SIGNATURE OF WITNESS)</p>
<p><u>[Signature]</u> (SIGNATURE)</p>	<p><u>MAC DONBAR</u> (PRINTED NAME OF ELECTOR) <u>27 MCBRIDE CRES.</u> (COMPLETE MUNICIPAL ADDRESS OF ELECTOR) <u>[Signature]</u> (SIGNATURE OF WITNESS)</p>	<p><u>[Signature]</u> (SIGNATURE)</p>	<p><u>[Signature]</u> (PRINTED NAME OF ELECTOR) <u>#30 Campbell Ave</u> (COMPLETE MUNICIPAL ADDRESS OF ELECTOR) <u>[Signature]</u> (SIGNATURE OF WITNESS)</p>
<p><u>[Signature]</u> (SIGNATURE OF ELECTOR)</p>	<p><u>B. KADLER</u> (PRINTED NAME OF ELECTOR) <u>152 WASH ST</u> (COMPLETE MUNICIPAL ADDRESS OF ELECTOR) <u>[Signature]</u> (SIGNATURE OF WITNESS)</p>	<p><u>[Signature]</u> (SIGNATURE OF ELECTOR)</p>	<p><u>GARRY SUPOL</u> (PRINTED NAME OF ELECTOR) <u>#18 Sutton</u> (COMPLETE MUNICIPAL ADDRESS OF ELECTOR) <u>[Signature]</u> (SIGNATURE OF WITNESS)</p>
<p><u>[Signature]</u> (SIGNATURE)</p>	<p><u>Tom Malo</u> (PRINTED NAME OF ELECTOR) <u>66 Boyce St</u> (COMPLETE MUNICIPAL ADDRESS OF ELECTOR) <u>[Signature]</u> (SIGNATURE OF WITNESS)</p>	<p><u>[Signature]</u> (SIGNATURE)</p>	<p><u>P. GENIK</u> (PRINTED NAME OF ELECTOR) <u>Box 142</u> (COMPLETE MUNICIPAL ADDRESS OF ELECTOR) <u>[Signature]</u> (SIGNATURE OF WITNESS)</p>

specifies, the right bank of the river shall be deemed to be the boundary.

RSA 1980 cM-26 s4: 1983 c38 s3

Indian Reserve

5 An Indian Reserve is not a part of a municipality for any purpose whatsoever.

RSA 1980 cM-26 s5

Petitions

6(1) When this Act provides for the doing of any thing by a petition to be presented to a council, the petition shall consist of one or more pages, each of which shall contain an accurate and identical statement of the purpose and objectives of the petition and

(a) each signature thereto shall be witnessed by an adult person, who shall take an affidavit that to the best of his belief the persons whose signatures he has witnessed are electors, and

(b) the complete municipal address and printed name of each signatory thereto shall be set out opposite his signature,

and, in addition, in any petition restricted to proprietary electors, the legal description of the property or other qualifications entitling that person to be a proprietary elector shall be set out opposite his signature.

(1.1) An adult person who witnesses a signature to a petition shall do so by signing his name opposite to the signature of the petitioner.

(2) In computing the number of petitioners on a petition there shall be excluded the name of any person

(a) whose signature appears on a page of the petition that does not contain an accurate statement of the purpose and objective of the petition identical to the statement contained on all the other pages of the petition,

(b) whose signature is not witnessed,

(c) whose municipal address or printed name is not completely set out or is incorrect,

(d) in the case of a petition restricted to proprietary electors,

(i) who is not a proprietary elector, or

(ii) whose property or other qualification as a proprietary elector is not or is incorrectly described or set out,

or

(e) in the case of a petition restricted to electors, who is not an elector.

(3) Repealed 1983 c38 s4.

(4) Every petition shall be filed with the municipal secretary who shall compute the number of petitioners that have signed the petition and determine the sufficiency of it.

(4.1) A petition shall be deemed to have been received by the council on the day the municipal secretary declares it to be a sufficient petition.

(4.2) The municipal secretary shall determine the sufficiency of a petition within 30 days of the filing of the petition with him.

(5) Every petition shall have attached to it a signed statement of a person whose name appears on the petition, stating that he represents the petitioners and that he is the person to whom the municipality may direct any inquiries with regard to the petition.

(6) No name shall be added to or removed from a petition after it has been received by the municipal secretary.

(7) When, for the purpose of allowing the electors or proprietary electors to petition for a vote thereon, a council has advertised 2 or more by-laws or questions in a single notice, a separate petition shall be filed with respect to each by-law or question on which a vote is requested.

(8) In this section "municipal address" means

(a) the address assigned pursuant to a by-law under section 175, or

(b) in the absence of such an address, the legal description

of the property on which the signatory resides.

RSA 1980 cM-26 s6; 1981 c25 s3; 1983 c38 s4; 1985 c43 s3

Determining  
residence

**7** When determining the residence of any person for the purpose of establishing the responsibility of a municipality under

(a) the *Social Development Act*,

(b) the *Child Welfare Act*, or

(c) the *Hospitals Act*,

residence shall be deemed not to have been acquired in the municipality by virtue merely of residence within a military area or camp under the jurisdiction of the Department of National Defence (Canada) and within the municipality.

RSA 1980 cM-26 s7

Rules of  
residence

**8** For the purposes of this Act, the place of residence is governed by the following rules, as far as applicable:

(a) the residence of a person is the true, fixed, permanent home or lodging place to which, when he is absent, he has the intention of returning;

(b) a person does not lose his residence by leaving his home for a temporary purpose;

(c) if a person leaves the municipality with the intention of making his residence elsewhere, he loses his residence within the municipality;

(d) the place where a person's family resides shall be deemed to be his place of residence unless he takes up or continues his abode in some other place with the intention of remaining there;

(4) The date of the meeting named in the notice shall be not more than 30 days from the date of the receipt of the petition by the council.

(5) The notices shall be posted at least 7 clear days prior to the date of the meeting named in the notice.

RSA 1980 cM-26 s124; 1985 c43 s22

By-laws by  
petition and vote.

**125(1)** The electors of a municipality may submit a petition to the council for

(a) a by-law, or

(b) the repeal, amendment or suspension of any existing by-law or resolution

dealing with any matter within the legislative jurisdiction of the council under this Act.

(2) A petition under this section for a by-law that will have the effect of repealing, amending or suspending an existing by-law or resolution has no effect unless it is filed with the municipal secretary within 60 days of the day on which the existing by-law or resolution was passed.

(3) A petition under this section has no effect unless the number of electors who have signed the petition equals at least

(a) in the case of a municipality other than a summer village,

(i) 5% of the population if the population is 1000 or more, or

(ii) 10% of the population if the population is less than 1000

as determined at the latest census, or

(b) in the case of a summer village, 10% of the persons entitled to vote at an election in the summer village.

(4) Within 4 weeks of receiving the petition the council shall

(a) cause a by-law dealing with the subject matter of the petition and any other related matters the council considers necessary to be prepared and read a first time, and

(b) fix a day as election day for the vote on the by-law by the electors, which shall be no later than 4 weeks after the date on which the by-law received first reading.

(4.1) The Minister may, on the request of the council, extend the times referred to in subsection (4).

(5) The vote on the by-law shall be in accordance with the *Local Authorities Election Act* except that the notice of the vote shall set out the text of the by-law that is the subject of the vote.

(6) If the majority of the persons voting vote in favour of the by-law, the by-law as submitted shall be finally passed within 4 weeks of the vote without any alteration affecting the substance of the by-law.

(7) Notwithstanding subsections (4) and (6), if the petition is for a by-law to repeal an existing by-law or resolution, the vote may be taken on the existing by-law or resolution.

(8) If, in a vote under subsection (7), the majority of the persons voting

(a) vote in favour of retaining the existing by-law or resolution, the existing by-law or resolution shall be retained;

(b) vote in opposition to retaining the existing by-law or resolution, the council shall pass a by-law or resolution repealing the existing by-law or resolution within 4 weeks of the vote.

(8.1) If a vote on a petition is held, the council may refuse to receive any further petitions of a similar nature filed within 1 year of the date the petition was voted on.

(8.2) Council may rescind a by-law finally passed pursuant to this section

(a) after 5 years from the date the petition was voted on, or

(b) at any time if a majority of the electors vote in favour of rescinding the by-law.

(9) This section does not apply to matters or proceedings under Part 7.

RSA 1980 cM-26 s125; 1981 c25 s11; 1983 cL-27.5 s162;  
1983 c38 s23; 1985 c43 s23; 1986 c24 s12

Acquisition  
of land

**126(1)** A council may acquire land or any interest therein either inside or outside the municipality for any municipal purpose.

(2) The acquisition may be made by purchase, lease or licence or by expropriation, and acquisition may by the terms thereof be permanent, temporary or conditional, either inside or outside the municipality.

(3) Notwithstanding subsection (1), before acquiring any land or interest in land (other than an option to acquire land or an interest therein), situated outside the boundaries of the municipality, the council shall obtain the approval of the council of the municipality in which the land is situated.

(4) If the approval of the council of the municipality in which the land, or any interest therein, is situated cannot be obtained, the council of the municipality shall submit the matter to the Local Authorities Board for its approval, which may be given under any terms and conditions the Board may decide.

(5) If the Local Authorities Board refuses to give approval, the council may not acquire the land or interest therein.

(6) A council may acquire by gift

(a) from the Crown in right of Canada, the Crown in right of Alberta, the Soldier Settlement Board (Canada) or the Department of Veterans' Affairs, any land situated inside or outside the municipality;



## THE CITY OF RED DEER

P. O. BOX 5008, RED DEER, ALBERTA T4N 3T4

City Clerk's Department 342-8132

January 25, 1989

Mr. William Statnyk  
121 Wilson Crescent  
Red Deer, Alberta  
T4N 5V6

Dear Mr. Statnyk:

RE: PETITION/HOURS OF BUSINESS BYLAW

I would advise that the petition which you submitted requesting Council to prepare a bylaw to be submitted to the electors of The City of Red Deer providing for the repeal of the Hours of Business Bylaw No. 2870/85 as amended, was submitted to Council January 23, 1989. In this regard, I am also enclosing herewith all material which appeared on the agenda for the regular meeting of Council January 23, 1989.

As the petition does not meet the requirements of the Municipal Government Act, the following motion was passed by Council at the meeting above noted.

"RESOLVED that Council of The City of Red Deer, having considered reports to Council pertaining to the Petition re: Hours of Business Bylaw, hereby agree that said Petition be filed."

While Council unanimously agreed to file the petition, it should be noted that Council has agreed to the holding of a plebiscite on March 13, 1989, at which plebiscite the following question would be put to the vote of the electorate of The City of Red Deer:

"Should the Council of The City of Red Deer repeal Bylaw No. 2870/85, the Hours of Business Bylaw?"

The above is submitted for your information. If you have any questions, please do not hesitate to contact me.

Sincerely,

*C. Sevcik*  
C. Sevcik  
City Clerk  
CS/ds  
Encl.

c.c. City Commissioners

DATE: January 13, 1989  
TO: Mayor and Members of Council  
FROM: Manager Economic Development  
RE: KEY TOWING & STORAGE (ALBERTA) LTD.  
LEASE AGREEMENT WITH THE CITY OF RED DEER

---

In June 1987 Red Deer City Council agreed to extend an existing lease in Riverside Heavy Industrial Subdivision with Key Towing & Storage (Alberta) Ltd. for a further 12 months, to expire June 30, 1988. Since that time we have continued to lease the property to the lessee on a month by month basis while Key Towing went through some restructuring, and pending a decision from the principals of the company, as to what their future plans might be.

Key Towing & Storage has now requested that they be permitted to continue leasing the property on a month by month basis until September 1, 1989 at which time they would like to enter into a lease with an option to purchase. The lease agreement which expired in June 1988 permits the lessee, upon the approval of the lessor, to continue leasing the property on a month by month basis:

"It is mutually covenanted and agreed between the parties hereto that upon the expiration or other termination of the term or any renewal hereof if the Lessee remains in possession of the demised lands with the written consent of the Lessor, the Lessee shall be deemed to be a tenant at will only and no other tenancy shall be created by implication of law or otherwise and the monthly rental installment provided under the provisions of this lease shall be due and paid in advance on the 1st day of each month, and such tenancy at will shall be otherwise subject to all other terms of this lease."

The above is provided for Council's information as an update on the current status of this lease agreement.

We would request Council's approval to adjust the monthly lease payments to reflect the increase in property taxes which has occurred since the lease was first approved. The monthly lease payments of \$904.93 include a provision for property taxes but the payment should now be increased to reflect the increases in property taxes.

Respectfully submitted,

  
Alan V. Scott  
MANAGER ECONOMIC DEVELOPMENT

AVS/mm

cc: Bill Lees, Land Supervisor



TOWING & STORAGE (Alberta) LTD.

4083 - 78 St. Cresc.  
Red Deer, Alberta  
T4P 3E3  
Phone 343-1668

64.

6 December 1988

Al Scott  
Economic Development  
Box 5008  
Red Deer, Alta. T4N 3T4

Dear Sir:

RE: Key Towing and Storage (Alberta) Ltd. lease agreement with the  
City of Red Deer

At present there is a shareholder change in progress for Key Towing and Storage (Alberta) Ltd. If possible, we would like to maintain our present situation regarding our lease payments, until 1 September 1989. At that time we would like the City of Red Deer to consider a lease with option to purchase on the same terms as our previous lease.

Sincerely:

Lawrence McArady

Commissioners' Comments

We would concur and recommend Council pass a resolution to adjust the monthly lease payments as suggested.

"R.J. MCGHEE", Mayor

"M.C. DAY", City Commissioner



24 HOUR TOWING SERVICE



DATE: January 25, 1989  
TO: Economic Development Manager  
FROM: City Clerk  
RE: KEY TOWING & STORAGE (ALBERTA) LTD./LEASE AGREEMENT  
WITH THE CITY OF RED DEER

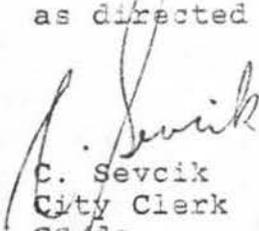
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Your report dated January 13, 1989, concerning the above was presented to Council January 23, 1989, and at which meeting Council passed the following motion.

"RESOLVED that Council of The City of Red Deer, having considered report dated January 13, 1989 from the Economic Development Manager re: Key Towing & Storage Alberta Ltd./Lease Agreement with The City of Red Deer, hereby approve leasing the property to the lessee on a monty-to-month basis, subject to the monthly lease payments being adjusted to reflect the increase in property taxes which has occurred since the lease was first approved, and as recommended to Council January 23, 1989."

The decision of Council in this instance is submitted for your information and appropriate action.

I trust that you will convey this decision to Key Towing & Storage (Alberña) Ltd. and that you will ensure that said lease is adjusted as directed in the above resolution.

  
C. Sevcik  
City Clerk  
CS/ds

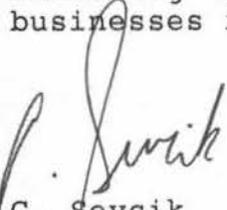
c.c. City Assessor  
Dir. of Finance  
Bylaws & Inspections Manager  
Dir. of Engineering Services  
Urban Planner

DATE: JANUARY 16, 1989  
TO: CITY COUNCIL  
FROM: CITY CLERK  
RE: PROPOSED 1989 TOWNE CENTRE BUDGET

---

At the Council Meeting of October 31, 1988, Council agreed that the proposed 1989 Towne Centre Budget be considered at the Council Meeting of January 23, 1989, commencing at 7:00 p.m. or as soon thereafter as Council may determine.

Following hereafter is the notice which was sent out to 412 businesses in the B.R.Z.

  
C. Sevcik  
City Clerk  
CS/as  
Encl.

**THE CITY OF RED DEER**

P.O. BOX 5008, RED DEER, ALBERTA T4N 3T4

City Clerk's Department 342-8132

January 3, 1989

412

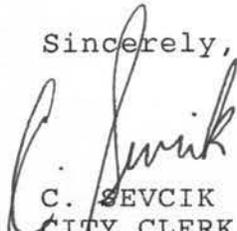
Dear Sir or Madam:

In accordance with the provisions of the Downtown Business Revitalization Zone Bylaw, Bylaw No. 2827/83 as amended, you are hereby advised that the 1989 Budget estimates and proposals of the Towne Centre Association of Red Deer will be considered by Red Deer City Council on MONDAY, JANUARY 23, 1989 in the Council Chambers of City Hall, commencing at 7:00 P.M., or as soon thereafter as Council may determine.

A copy of the Budget Proposals estimated by your Association are enclosed herewith for your review. Any member of the Association wishing to address Council concerning this matter may do so at the Council meeting above-noted.

If you have any questions, please do not hesitate to contact the undersigned (342-8134) or Mr. John Ferguson, Towne Centre Manager (340-8696).

Sincerely,



C. SEVCIK  
CITY CLERK  
CS/sp

c.c. Director of Finance  
City Assessor  
Towne Centre Assoc. Attn: Mr. J. Ferguson

of Red Deer  
Box 5008  
DEER, Alberta  
T4N 1Y1

City Clerk's Department 342-8132

Wood Gundy Inc.  
300, 4943 Ross Street  
Red Deer, Alberta  
T4N 1Y1

RETURN TO SENDER REVOI À L'EXPÉDITEUR	
<input type="checkbox"/>	Unclaimed Non réclamé
<input type="checkbox"/>	No such address Adresse inexistante
<input type="checkbox"/>	Address incomplete Adresse incomplète
<input type="checkbox"/>	Address incomplete no PO, address unknown Partially based on address
<input type="checkbox"/>	No such Post Office Bureau inexistant
<input type="checkbox"/>	Refused by addressee Refusé par le destinataire
<input type="checkbox"/>	Deceased Décédé
<input type="checkbox"/>	Unknown Inconnu

of Red Deer  
Box 5008  
DEER, Alberta  
T4N 1Y1

City Clerk's Department 342-8132

Western Canadian Travel  
Consultants Ltd.  
4811 - 48 Avenue  
Red Deer, Alberta  
T4N 1Y1

RETURN TO SENDER REVOI À L'EXPÉDITEUR	
<input type="checkbox"/>	Unclaimed Non réclamé
<input type="checkbox"/>	No such address Adresse inexistante
<input type="checkbox"/>	Address incomplete Adresse incomplète
<input type="checkbox"/>	Address incomplete no PO, address unknown Partially based on address
<input type="checkbox"/>	No such Post Office Bureau inexistant
<input type="checkbox"/>	Refused by addressee Refusé par le destinataire
<input type="checkbox"/>	Deceased Décédé
<input type="checkbox"/>	Unknown Inconnu

Box 5008  
DEER, Alberta  
3T4

1989

POSTAL

City Clerk's Department 342-8132

Hugh Brown  
Pro Sound  
1435 - 17 Avenue, S>W>  
Calgary, Alberta

*March 20 9*

JAN 17 1989  
CITY OF RED DEER

of Red Deer  
Box 5008  
DEER, Alberta  
3T4



City Clerk's Department 342-8132

Block H. & R. Canada Ltd.  
Box 40  
Red Deer, Alberta  
T4N 5E7

RED DEER  
09 I 89  
AB

POSTAL  
CODE

**RETURN TO SENDER**  
**RENOI A L'EXPEDITEUR**

Unclaimed  
Non réclamé

No such address  
Adresse inexistante

Address incomplete  
Adresse incomplète

Moved, Address unknown  
Parti sans laisser d'adresse

No such Post Office  
Bureau inexistant

Refused by addressee  
Refusé par le destinataire

Deceased  
Décédé

Unknown  
Inconnu

600

AB

RETURN TO SENDER  
RENOI À L'EXPÉDITEUR

- Unclaimed  
Non réclamé
- No such address  
Adresse inexistante
- Address incomplete  
Adresse incomplète
- Moved, Address  
Parti sans laisser d'adresse
- No such Post Office  
Bureau inexistant
- Refused by addressee  
Refusé par le destinataire
- Deceased  
Décédé
- Unknown  
Inconnu

RECEIVED  
JAN 11 1989  
CITY OF RED DEER

City Clerk's Department 342-8132

Central Life Ins. Service Ltd.  
P. O. Box 513  
Red Deer, Alberta  
T4N 5G1

of Red Deer  
Box 5008  
DEER, Alberta  
3T4

RED DEER  
-6-11-89  
CITY OF RED DEER

City Clerk's Department 342-8132

Patty Asmundsen  
Scott Studios  
#5 Moon Crescent  
Red Deer, Alberta

RECEIVED  
JAN 11 1989  
CITY OF RED DEER

of Red Deer  
Box 5008  
DEER, Alberta  
3T4

RED DEER  
-6-11-89  
CITY OF RED DEER

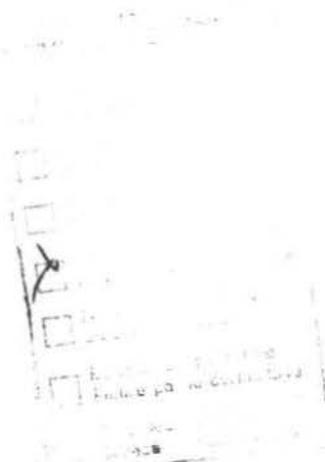
RECEIVED  
JAN 11 1989  
CITY OF RED DEER

- RETURN TO SENDER  
RENOI À L'EXPÉDITEUR
- Unclaimed  
Non réclamé
  - No such address  
Adresse inexistante
  - Address incomplete  
Adresse incomplète
  - Moved, Address  
Parti sans laisser d'adresse
  - No such Post Office  
Bureau inexistant
  - Refused by addressee  
Refusé par le destinataire
  - Deceased  
Décédé
  - Unknown  
Inconnu

City Clerk's Department 342-8132

The Sovereign Life Ins. Co.  
201 A, 4909 Gaetz Avenue  
Red Deer, Alberta  
T4N 4A7

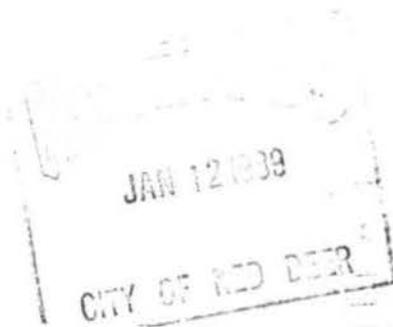
f Red Deer  
ox 5008  
DEER, Alberta  
T4



City Clerk's Department 342-8132

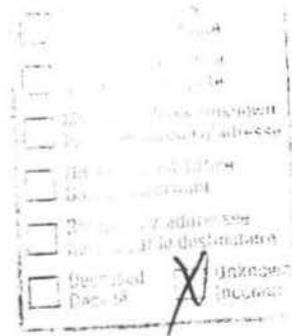
Touch of Class Escort Agency  
WBRM Consulting Ltd.  
#7, 4017 Ross Street  
Red Deer, Alberta

of Red Deer  
Box 5008  
DEER, Alberta  
3T4



City Clerk's Department 342-8132

Danny Santino, in Business as  
Anne's Astrology or Mrs. Anne  
37 Nagel Avenue  
Red Deer, Alberta



1989 BUDGET PROPOSAL FOR THE  
TOWNE CENTRE ASSOCIATION OF RED DEER

As approved by the Board of Directors, September 12th., 1988  
and,  
as endorsed by a vote of the membership in attendance at the Annual General  
Meeting of September 28th., 1988, held at the Red Deer Lodge Hotel.

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This budget contains an additional request for funding from the City for capital  
costs associated with the LITTER CONTRACT for downtown in the fiscal year 1989  
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TOTAL  
(cont'd)

\$122,500.00

(2)

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CITY LITTER CONTRACT	\$34,500.00
GRANTS FROM OTHER GOVERNMENT SOURCES	\$3,000.00
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TOTAL 1989 REVENUES	\$122,500.00

The 1989 budget is proposed with enough flexibility in the programs to guarantee a balanced budget at the end of the 1989 fiscal year.

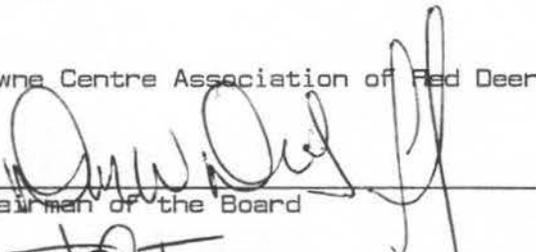
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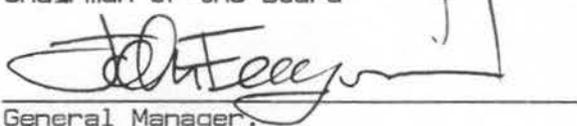
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(NB.\*\*\* Our budget is designed to function with or without this project in 1989.)

Towne Centre Association of Red Deer

  
Chairman of the Board

  
General Manager

Commissioners' Comments

The City Clerk's comments have outlined the purpose for bringing this item to Council at this meeting. It should also be noted the City's grant portion of the Budget has yet to be discussed during Budget deliberations.

For Council's information, the amount shown is similar to previous years' allocations.

"R.J. MCGHEE", Mayor  
"M.C. DAY", City Commissioner



# THE CITY OF RED DEER

P.O. BOX 5008, RED DEER, ALBERTA T4N 3T4

City Clerk's Department 342-8132

November 1, 1988

Towne Centre Association of Red Deer,  
300, 4929 Ross Street  
Red Deer, Alberta  
T4N 1X9

Attention: Mr. John Ferguson  
General Manager

Dear Sir:

RE: PROPOSED 1989 TOWNE CENTRE BUDGET

At the Council meeting of October 31, 1988, the following motion was passed establishing the date Council will consider the proposed 1989 Towne Centre Budget.

"RESOLVED that Council of The City of Red Deer hereby agree that the 1989 Towne Centre Budget be considered at the Council meeting of January 23, 1989, commencing at 7:00 p.m. or as soon thereafter as Council may determine and that individual notices be mailed out to every person assessed for business purposes in the area, advising of the date and place of the Council meeting at which the budget will be considered."

The decision of Council in this instance is submitted for your information. This office will be sending out official notices to every person assessed for business purposes in the area, early in the New Year.

Trusting you will find this satisfactory.

Sincerely,

*C. Sevcik*  
C. SEVCIK  
CITY CLERK  
CS/sp

c.c. Director of Finance  
City Assessor

NOTE: Would you please supply this office with the names and mailing addresses of every person assessed for business purposes in the BRZ area in order that we might send out the required notices. This information will be required by the end of the year. Thank you.

*left message with Candy  
for Connie to call me 88/12/1*

*I checked with John Ferguson  
88/12/19 O.K. to send out  
the two pages as submitted  
no changes.*



# Let yourself go . . . Downtown

NO. 1

1988 Summary of Revitalization  
& 1989 Budget Submission

Towne Centre Association of Red Deer

prepared by: J.P.Ferguson, General Manager.

## TOWNE CENTRE ASSOCIATION of RED DEER

#300, 4929 ROSS ST., RED DEER, ALBERTA T4N 1X9 (403) 340-8696



September 29th, 1989  
City Council  
City of Red Deer

Dear Council Members,

1988 has produced the fifth year of our City's Downtown revitalization program and even though there are still three months in the calendar year, the results of our program are measurable. Our Board of Directors and the Association in general have been pleasantly surprised at the progress seen over our first five years. The program has not only been proven viable, but it has clearly shown a record of outstanding performance. As an economic development tool, the program has had very good results and the final measure of performance in business is always the economic impact.

As the enclosed Downtown Reporter shows, some of our activity and programs have had international attention, and in general, we are often pleasantly surprised by queries regarding our program from as far away as Louisiana, USA.

The program still has a great deal of work ahead and many goals to accomplish, and this reflection is only a moment of assessment for the Association. We have made some good choices and we have identified some critical objectives.

On Wednesday, September the 28th., we held our Annual General Meeting, at the Lodge Hotel in downtown Red Deer. This meeting attracted 13% of our membership as well as a couple businesses from outside the BRZ area who expressed interest in the downtown and its future.

At this meeting, the Board of Directors introduced our program proposal for 1989, including specific areas of priority action for the Association in 1989. We were pleased to have three representatives of the City Administration attend this meeting, to hear first hand the comments of those in attendance.

One of the most important aspects of this meeting in our opinion, was the increase in two way communication between the members and the office of the Association. There was a very heavy emphasis placed on the Boards need for input and increased involvement by the businesses in the BRZ. Equally important, the meeting made it clear that the planners and City Hall Departments also encourage and need input from the businesses. This input is expected to be channeled through our Board of Directors.

(cont'd)

(2)

The 1989 budget proposal was presented to the members and after some discussion of its key components, was passed with only one dissenting vote. How our financial planning works was discussed and it was pointed out and will be further clarified, that our Board of Directors are nominated by and represent the businesses in the BRZ and it is their responsibility to detail our financial planning each year, in the best interests of the entire membership. It was also pointed out that debate on financial planning must be done within the board in order to keep financial planning manageable.

The four point program for effective revitalization was again reviewed and re-affirmed as critical to the continued success of this Association and its responsibilities. As a result of the 1988 Annual General Meeting, the Board of Directors is pleased to present for Councils approval our 1989 Budget.

Respectfully yours,

A handwritten signature in black ink, appearing to read "John P. Ferguson", with a long horizontal flourish extending to the right.

for the Board of Directors,  
John P. Ferguson, General Manager.

Estimated Private Sector Investment 1984 - 1988:

Estimated amount of investment in storefronts and fixtures by small new businesses; \$481,800.00

Estimated value of major rehab or new;

Red Deer Tomboy	\$ 80,000.00
Red Deer Lodge	\$280,000.00
Towne Centre Mall	\$380,000.00
Hoedel Holdings	\$180,000.00
Cormac Building	\$190,000.00
J.D. Calhoun's	\$1,000,000.00
Uptown Theatre	\$1,300,000.00
TD Bank	\$2,300,000.00
White Elna	\$ 60,000.00
Minute Lube	\$ 60,000.00
Monsieur Wong's/Sammy's	\$150,000.00
Club Cherry's	\$ 80,000.00
Group II Bldg.	\$ 80,000.00
Moore's Suits	\$ 80,000.00
Gaetz Warehouse	\$ 40,000.00
Gasoline Alley	\$300,000.00
Holmes	\$ 10,000.00
Shaw Cable	\$ 70,000.00
Red Deer 1st Place	\$7,000,000.00
ProSound	\$ 4,000.00
Log Cabin Crafts Bldg.	\$ 5,000.00
Fargey's	\$300,000.00
Walsh Gallery	\$ 60,000.00
MacLeod & Company	\$ 40,000.00
IGA	\$ 8,000.00
Reflections Bldg.	\$100,000.00
Red Deer Esso/Mr. Lube	\$600,000.00
Matt's Husky	\$ 80,000.00
Target Pet.	\$200,000.00
RCR Bldg.	\$ 40,000.00
Daines Bldg.	\$ 30,000.00
Dana Bldg.	\$ 8,000.00

---

\$15,596,800.00

1984 - 1988 Closures and Relocations:

Ranch House	Treasure Chest
Simonis Gallery	Shadows
Rebounders	Body Talk
Tall & Mighty	Perry's
Universal Furniture	Sandi's Used Clothes
Trecco Insurance	Econotown
Ruth's Hobbies	Bouquet of Roses
Berrywood Cabinets	Touch of Class
Mr. Mikes	Kiddies Corner
MacLeod's	Sign Line
Mixers	Exquisite Jeweller
Merit Store	Roset by Reid
Brand X Office Supply	Body Things
New World Realty	Academy
A-1 Office Products	Rascal & Rogue
Fausto's Rest.	Wall Art
Heart to Heart	Arnel Music
Candela Cradle	Kawaii
A & T Bookkeeping	France's Music
Bride & Groom	Moni's Teak
Two Boys	Courtland Laser Works
DeHough's Chocolate	Impressions
Porcelain Dollhouse	Master Computer
Kathy Mueller Stain Glass	LaUnique Boutique
Scruples 2	Blossoms
Holmes Drugs	Wood Gundy / Clarke Shoes

Total: 52

1984 - 1988 New Business:

Kit N Kaboodle	Mandarin Rest.	Towne Centre Day Care
Hoedel Enterprises	Smulley's Deli	Kapp's Hobby
Group 2 Architects	HR Block	Mueller Stain Glass
Penny Profit	Courtland Laser	Minute Lube
Towne Centre Florists	Arnel Music	AGT Phone Centre
Blossoms	Wall Art	La Unique Boutique
Bodythings	J.D. Callhoun	Scruples 2
Coffee Stop	Rainbow Purification	Anderson Appliance
A S T Bookkeeping	All Sports Replay	Shauney's
Relections Games	Rascal & Rogue	Judge's Court
Trans America Life	Kash & Karry	Don Fowler
Accessory Lane	Impressions	Uptown Video
True North Realty	DeHoogh's Chocolate	City Ins.
Two Boys	Heart to Heart	Murray's Jerseys
Caswells Collectables	B S H Stamps	Exquisite Jeweller
Kawai Keyboard	Zellers	Leslie's
Hair Affair	Porcelain Dollhouse	OL Optical
Milestone Music	Master Computer	Good Food People
Mint Condition	Weddel Mehling Pander	Grandma Lee's
Night Shadows	Dino's	Super Discount
Moni's Teak	Club Cherry	Super Love Boutique
Sportsmen's Den	Frances Music	MacLeod & Company
Associated Chiropractic	Charmaine's	Z99
Neil's Shoeshine	Sammy's	Yamaha
J. Chocolate & Company	Something Special	Moore's Suits
OK Tailor	Drapery City	Downtown Video
Accu-Denture	ProSound Music	Mr. Lube
Head Waves	Le Mane Place	Copies Now
Kenstar Realty	Monsieur Wong's	Scratch & Dent
Artistic Impressions	Target Petroleum	

Total: 89

NET GAIN - 37 Businesses. This does not include an estimated 16 office businesses.

1984 - 1988 Expansions;

Uptown Theatre  
Murray's Jerseys  
Prairie Business Machines  
TD Bank  
Walsh Gallery  
Wei's  
Heart to Heart  
Coffee Stop  
Kapp's Hobby  
Shaw Communication  
A.L.C.B.  
Red Deer Goldsmith  
Gemlab

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TOTAL  
(cont'd)

\$122,500.00

(2)

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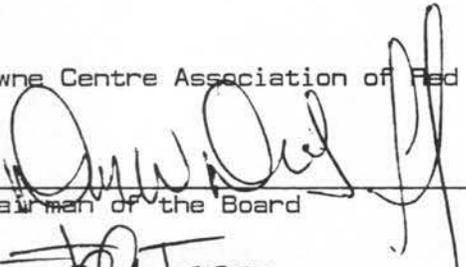
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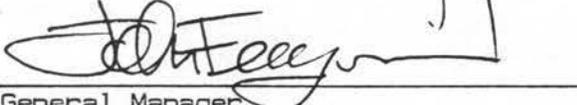
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(NB.\*\*\* Our budget is designed to function with or without this project in 1989.)

Towne Centre Association of Red Deer

  
-----  
Chairman of the Board

  
-----  
General Manager.

DATE: October 18, 1988  
TO: City Clerk  
FROM: Bylaws and Inspections Manager  
RE: TOWNE CENTRE ASSOCIATION

---

In response to your memo concerning the above, we have the following comments for Council's consideration:

This office has received a letter from the Towne Centre Association requesting that the City budget for replacement of litter containers in the 1989 Budget. We have placed this request into our budget for discussion with the Commissioners.

We trust this is the information required.

Yours truly,



R. Strader  
Bylaws and Inspections Manager  
BUILDING INSPECTION DEPARTMENT

RS/pr

DATE: October 25, 1988  
 TO: City Council  
 FROM: City Clerk  
 RE: TOWNE CENTRE ASSOCIATION - 1989 BRZ BUDGET

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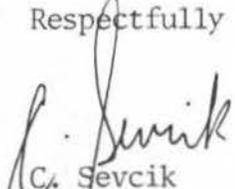
In regard to the above matter, I wish to advise that the Municipal Government Act provides as follows under Section 171.5:

- "1) At the time and in the form prescribed by the Council, a Board shall submit to the Council for its approval the estimates of the Board for the current year and may request of the Council any sums of money required to carry out its powers and duties.
- 2) On receipt of the estimates, the Council shall provide, in the form and manner it considers adequate, to every person assessed for business purposes in the area, notice of the estimates and the date and place of the Council meeting at which the estimates will be considered."

In the past, Council has directed that individual notices be mailed to every person assessed for business purposes in the area. The cost of sending out notices individually approximates the cost of an advertisement. Council's direction is requested.

In addition, we would request Council at this time to establish the date for the meeting to be held sometime in January. This will give us sufficient lead time to prepare the notices and/or advertisement.

Respectfully submitted,

  
 C. Sevcik  
 City Clerk  
 CS/ds

Commissioner's Comments

We would recommend that:

- 1) individual notices be mailed out as has been the case in the past.
- 2) that the meeting date be established as January 23, 1989, commencing at 7:00 p.m.

"R.J. MCGHEE"  
 Mayor

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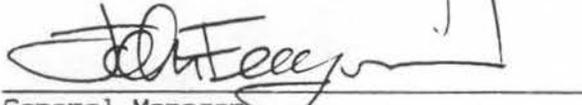
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(NB.\*\*\* Our budget is designed to function with or without this project in 1989.)

Towne Centre Association of Red Deer

  
Chairman of the Board

  
General Manager.

# TOWNE CENTRE ASSOCIATION of RED DEER

#300, 4929 ROSS ST., RED DEER, ALBERTA T4N 1X9 (403) 340-8696



THE CITY OF RED DEER

11:30  
Dec. 21/98  
H'

## IMPORTANT REMINDER ABOUT CLEARING SNOW

The Association office wants to remind all of our downtown businesses, that clean sidewalks downtown are an extremely important part of the downtown image.

City of Red Deer Bylaws require each business to clear snow and ice from the front of their property. This includes storefronts and parking lots owned or operated by downtown businesses. Even if the bylaw did not require it, snow removal is an extremely important detail for every business to take care of. If our storefronts are not clear of snow, it does not leave a very good impression with our customers. So far this year only about half of our members have made any real effort to make sure that their businesses look good and are free of snowy sidewalks.

We appreciate that clearing snow is a daily burden, much like making bank deposits, but without the one, the other won't be much of a daily burden either.

John P. Ferguson, General Manager  
Towne Centre Association of Red Deer.

# TOWNE CENTRE ASSOCIATION of RED DEER

#300, 4929 ROSS ST., RED DEER, ALBERTA T4N 1X9 (403) 340-8696



THE CITY OF RED DEER  
CLERK'S DEPARTMENT

RECEIVED	
TIME	11:30
DATE	Dec. 21/88
BY	SP

## IMPORTANT REMINDER ABOUT CLEARING SNOW

The Association office wants to remind all of our downtown businesses, that clean sidewalks downtown are an extremely important part of the downtown image.

City of Red Deer Bylaws require each business to clear snow and ice from the front of their property. This includes storefronts and parking lots owned or operated by downtown businesses. Even if the bylaw did not require it, snow removal is an extremely important detail for every business to take care of. If our storefronts are not clear of snow, it does not leave a very good impression with our customers. So far this year only about half of our members have made any real effort to make sure that their businesses look good and are free of snowy sidewalks.

We appreciate that clearing snow is a daily burden, much like making bank deposits, but without the one, the other won't be much of a daily burden either.

John P. Ferguson, General Manager  
Towne Centre Association of Red Deer.



TO City Clerks Dept  
Att: Charlie Sevcik

FROM C. Gallant

DEPT. Business Tax

DATE \_\_\_\_\_

RE Business Revitalization Zone mailing list

MESSAGE

Kindly add the following re print out submitted December 29th.

Roll# 90-07002

Business address: 4929 Ross Street

Mail address: Beneficial Finance Co of Canada  
4907 Gaetz Ave., T4N 4A6

Roll# 90-00118

Business Address: # 6 4929 Ross Street, Main Floor

Mail Address: Accu-Denture Ltd.  
# 6 4929 Ross Street, Main Floor  
Red Deer T4N 1X9

REPLY

DATE \_\_\_\_\_

19\_\_

FOLD

FOLD

Business Tax Listing  
for Property Types found  
in Paper Copy Only

# *Stirling Chiropractic*

DR. GLENN C. STIRLING

SUITE 100  
4922 - 53 STREET  
RED DEER, ALBERTA  
CANADA T4N 2E9

(403) 347-7100

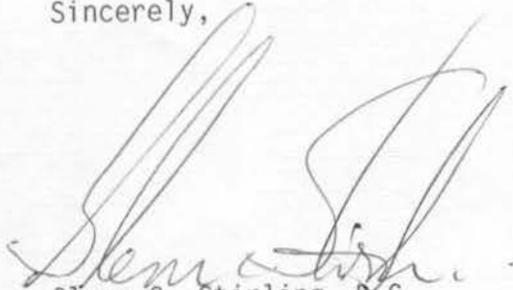
January 10, 1989

C. Sevcik  
City Clerk  
Box 5008  
RED DEER, AB  
T4N 3T4

Dear C. Sevcik:

On January 3, 1989, you sent me a letter re: Budget Proposals of the Towne Centre Association. Since I have not joined any association, I am wondering why this letter was received - was it purely informative or am I considered liable for part of this budget?

Sincerely,

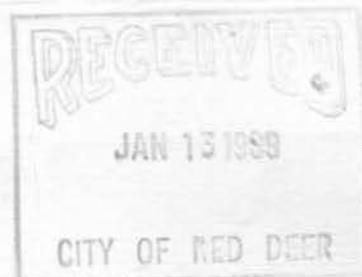


Glenn C. Stirling, D.C.

GCS/tg

*Called him and explained  
89/01/13*

*He'll follow up with  
further letter.*





# THE CITY OF RED DEER

P.O. BOX 5008, RED DEER, ALBERTA T4N 3T4

City Clerk's Department 342-8132

January 25, 1989

Towne Centre Association of Red Deer  
Towne Centre Mall  
#300, 4929 Ross Street  
Red Deer, Alberta  
T4N 1X9

Dear Sirs:

RE: PROPOSED 1989 TOWNE CENTRE BUDGET

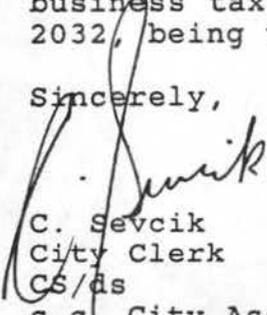
The proposed 1989 Towne Centre Budget was considered at the Council Meeting of January 23, 1989, as per notices sent out to all businesses located within the B.R.Z.

At the above noted meeting, Council passed the following motion approving the proposed budget.

"RESOLVED that Council of The City of Red Deer hereby approve the proposed 1989 Towne Centre Budget and as presented to Council January 23, 1989."

The decision of Council in this instance is submitted for your information and I trust you will find same satisfactory. The business tax will be collected by the City pursuant to Bylaw No. 2032, being the Business Tax Bylaw.

Sincerely,

  
C. Sevcik  
City Clerk  
CS/ds

c.c. City Assessor  
Dir. of Finance

NO. 6

650-024A

DATE: January 18, 1989  
TO: City Clerk  
FROM: Director of Engineering Services  
RE: 67 STREET BRIDGE PROJECT

---

At the December 12, 1988 Council meeting, Alderman Pimm expressed a concern regarding the lack of room to pass a stalled vehicle or a slow moving vehicle.

#### I RECOMMENDATIONS

Considering that the roadway is operating at 50% of its designed capacity even in its 2 lane configuration, we believe that further improvements in 1989 are not necessary from a capacity and/or delay point of view.

If Council wishes to provide the capability of passing a stalled or slow vehicle on the east hill, we would suggest that the remaining 2 lanes be constructed from the River Bridge to 55 Street at an approximate cost of \$1,130,000. The City's share would be \$283,000.

If Council wishes to provide the same passing capability on the west side of the Bridge, we suggest that the remaining 2 travel lanes be constructed at an estimated cost of \$180,000. The City's share would be \$45,000.

We do not believe that twinning the CN or River Bridge is required, or wise at this time due to significant carrying and potential maintenance costs associated with structures. The cost to twin these 2 structures is estimated by the Consultant to be \$3,600,000. The City's share would be \$900,000.

We do not believe that turn bays arbitrarily placed along the route will provide much improvement in vehicle delay.

#### II EXISTING CHARACTERISTICS

We have split the project into three areas for purposes of this review.

City Clerk  
 Page 2  
 January 18, 1989  
 File: 650-024A

- A. Pameley Avenue to River Bridge
- B. River Bridge and CN Rail Bridge
- C. River Bridge to 55 Street (Highway No. 11)

Section A

Initial road width - 4 lanes divided,  
 each lane width = 4.25 m  
 (at Pameley Avenue intersection)

Drop one lane at Sears' east access  
 yields 2 driving lanes at on north  
 half of roadbed, each lane width = 4.25 m

Section B (Bridge)

Initial road width - 2 driving lanes, each  
 lane width = 3.75 m

Shoulder width to barrier = 1.25 m

5.00 m

NOTE: The shoulder is required on the Bridge,  
 as the raised concrete barrier would  
 reduce the operating speed, and thus  
 the road capacity, if it were closer  
 to the driving lane.

Section C

Initial road width is 2 driving lanes, each  
 lane width = 4.25 m

III COMMENTS

- A. The lane drop at the Sears' east access has been constructed in accordance with acceptable design standards. In this case, however, there may have been another choice to consider at an extra cost (\$35,000), due to the fact that the grade descends to river level. A short eastward extension, plus a merge lane, would increase the comfort level and minimize any last minute driver decisions. As it is now, the local drivers will become aware of the design, but the new motorist to Red Deer may be surprised due to the lack of vision of the roadway ahead.

City Clerk  
 Page 3  
 January 18, 1989  
 File: 650-024A

- B. The travel lane of 4.25 m involves 3.75 m of pavement and 0.50 m of concrete gutter. This is the accepted standard for an arterial roadway facility. As this project was staged in accordance with vehicle capacity requirements, both directions of travel are now on one carriageway. As such, the roadway appears narrow, but in fact is the same dimension as Gaetz Avenue or 30 Avenue.
- C. To pass a stalled vehicle is difficult, but not impossible. One must wait for an opening in the opposing traffic direction and cross the centre line to pass. It has not been City policy to design rolled curbs on arterials, as the adjacent grass could be damaged with vehicle use.
- D. The carriageway that was constructed is actually the westbound portion of the ultimate roadway due to two reasons:
  - 1. Residents of College Park in the County did not want future widening construction immediately adjacent to them.
  - 2. Thirtieth Avenue, south of 55 Street, existed as 2 lanes of an eventual 4 lanes, with the east side or northbound carriageway constructed.
- E. The construction that occurred will be on the downhill side of the ultimate roadway adjacent to the Gaetz Lakes Sanctuary. Therefore, any turnout bays or truck climbing lanes constructed now would be in the centre median area when it came time to add the remaining two lanes, and as such the pavement and concrete in these areas would be wasted. The approximate cost of one turnout bay is \$40,000, with an additional cost to remove it in the future.

#### IV TRUCK CLIMBING LANES

Factors generally used to determine whether or not a truck climbing lane is required are:

- A. Total traffic volumes compared to existing capacity.
- B. Truck volume relative to total vehicle traffic.
- C. Steepness of grade.
- D. Length of grade.
- E. Speed reduction characteristics of design truck vehicle.
- F. General passing opportunity.

From a safety standpoint, a 15 km/hr speed reduction for trucks climbing a hill is accepted as the criterion for which truck climbing lanes are considered. On the west side of the River the

City Clerk  
Page 4  
January 18, 1989  
File: 650-024A

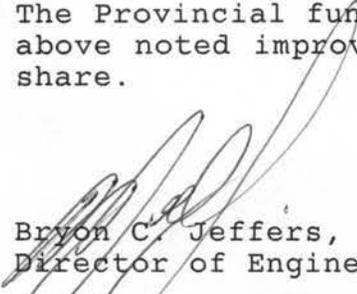
length of grade is approximately 350 m at 4%. From the RTAC Design Manual, this would likely produce a truck vehicle speed reduction of about 18 km/hr; therefore, a climbing lane is marginal and in an urban setting on a four lane divided facility, would not be considered. On the east side of the River, the length of grade is approximately 600 mm at 6.0%, which would yield a design vehicle speed reduction of 40 km/hr to 50 km/hr. Considering that the posted speed limit is 60 km/hr, the resulting vehicle queue speed would be in the order of 20 km/hr. In this case a truck climbing lane would be desirable, providing the additional roadway capacity was required.

#### V AVAILABLE OPTIONS

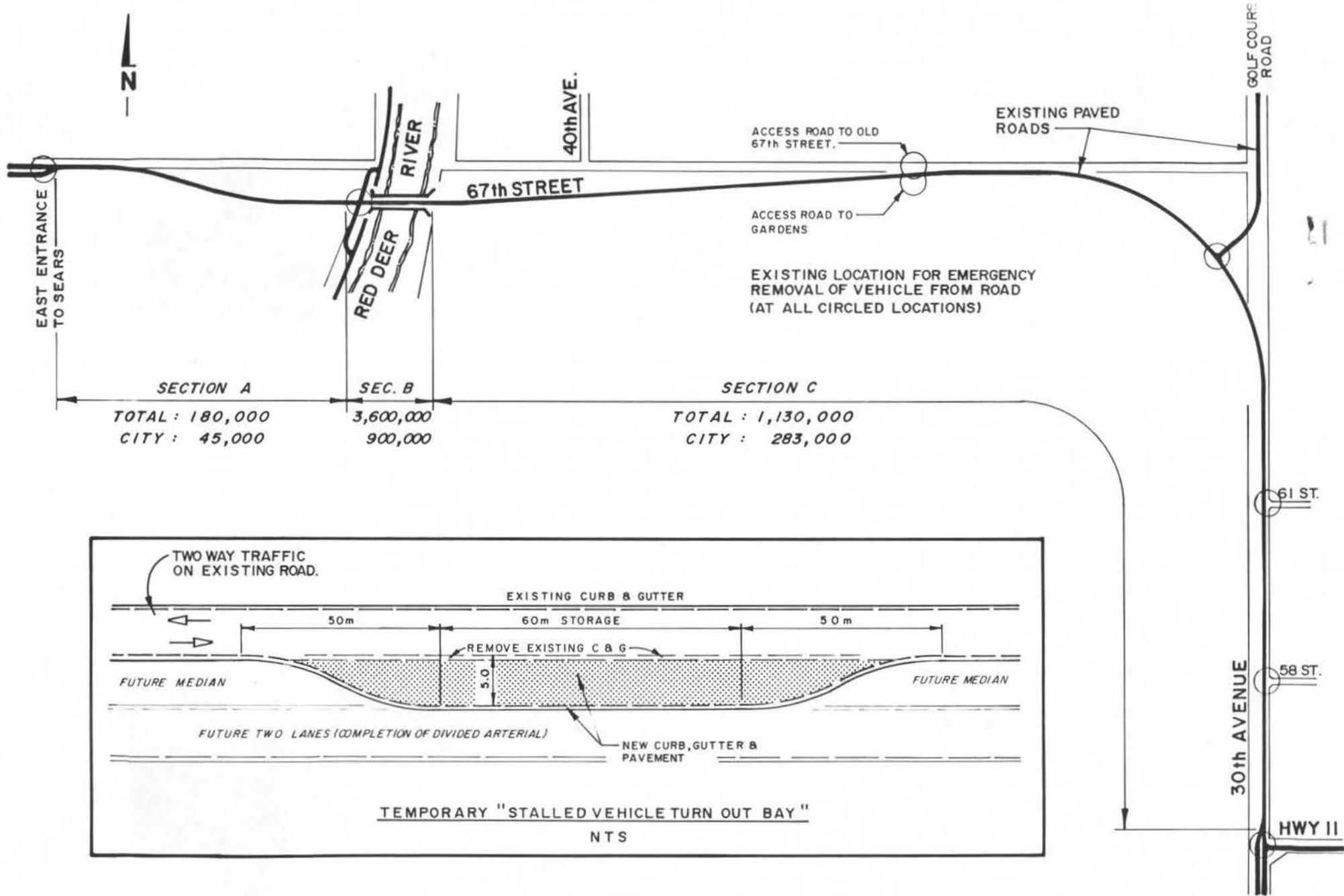
- A. Do nothing as the road design is generally adequate considering the urban setting and current traffic volume.
- B. Construct the remaining 2 lanes from the River Bridge to 55 Street.
- C. Construct the remaining two lanes from Sears' east entrance to the CN Rail Bridge.
- D. Twin the CN Rail Bridge and the River Bridge.
- E. Construct a turnout bay every one-half mile from the Bridge to 55 Street. Approximate cost is \$120,000, plus extra cost to remove in future.

#### VI ILLUSTRATIONS

The attached plan attempts to illustrate Sections A, B, and C as previously referred to. Also indicated is a typical turnout bay. The Provincial funds are available in 1989 to complete any of the above noted improvements, providing the City can provide its 25% share.

  
Bryon C. Jeffers, P. Eng.  
Director of Engineering Services

KGH/emg  
Att.



**67th STREET RIVER BRIDGE PROJECT**

Commissioners' Comments

The attached report addresses concerns expressed about the new 67 St. Bridge and associated roadways. As can be seen, the solutions to these expressed concerns are more perceived than the reality and in fact, we have had virtually no problems to date. Further in view of the fact that the roadway is operated at less than half its capacity, we could not recommend that any action be taken at this time. As with any new roadway the operation will be monitored and should problems begin to occur recommendations for that correction will be brought back to Council.

"R.J. MCGHEE"

Mayor

"M.C. DAY"

City Commissioner

December 21, 1988

TO: DIRECTOR OF ENGINEERING SERVICES  
FROM: CITY CLERK  
RE: 67 STREET BRIDGE PROJECT

Further to my memo to you of December 14, 1988 concerning the above topic, you will recall at the December 12th Council meeting when the above matter was discussed, Alderman Pimm expressed one concern, that being that there is no bay pull-off in the event of vehicular problems.

Would it be possible for your Department to have another look at this matter and provide a report back along with costs for the construction of a bay in the stretch of road where such facility appears to be lacking.



C. SEVCIK  
City Clerk

CS/gr

Commissioners' Comments

The attached report addresses concerns expressed about the new 67 St. Bridge and associated roadways. As can be seen, the solutions to these expressed concerns are more perceived than the reality and in fact, we have had virtually no problems to date. Further in view of the fact that the roadway is operated at less than half its capacity, we could not recommend that any action be taken at this time. As with any new roadway the operation will be monitored and should problems begin to occur recommendations for that correction will be brought back to Council.

"R.J. MCGHEE"  
Mayor

"M.C. DAY"  
City Commissioner

DATE: January 25, 1989  
TO: Dir. of Engineering Services  
FROM: City Clerk  
RE: 67 STREET BRIDGE PROJECT

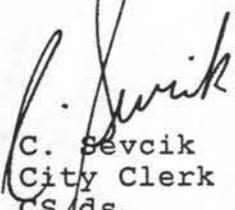
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Your report dated January 18, 1989, concerning the above topic and specifically in response to an enquiry from Alderman Pimm concerning the lack of room to pass a stalled vehicle or a slow moving vehicle on the recently constructed 67 Street and River Bridge, was considered at the Council meeting of January 23, 1989.

At the aforesaid meeting, Council passed the following motion:

"RESOLVED that Council of The City of Red Deer, having considered report dated January 18, 1989 from the Director of Engineering Services re: 67 Street Bridge Project, hereby agree that no action be taken at this time, and as recommended to Council January 23, 1989, by the City Commissioners."

The decision of Council in this instance is submitted for your information and I trust you will find same satisfactory. It is our understanding that as with any new roadway, same will be monitored and should problems occur, recommendations for corrective action will be brought back to Council.



C. Sevcik  
City Clerk  
CS/ds

c.c. City Commissioners  
Alderman Pimm

NO. 7

DATE: December 21, 1988  
TO: CITY CLERK  
FROM: DIRECTOR OF FINANCE  
RE: PAYMENT OF TAXES/ELECTRONIC TRANSFER OF FUNDS

---

This report is in reply to the following motion of Council:

"RESOLVED that the Council of The City of Red Deer direct administration to investigate the possibility of arranging with various financial institutions an alternate method of payment of taxes by means of electronic transfer of funds."

The taxpayer at present has the following options for paying his taxes:

1. Automatic debit to his account over 10 months up to April of the year due with the balance payable by cheque by June 30th.
2. By cheque postdated to June 30th or earlier either:
  - a) Given to the cashier in City Hall prior to July 1st, or
  - b) Put in the outside mail drop at City Hall prior to July 1st, or
  - c) By mail prior to July 1st.
3. By bank transfer of funds to the City's account on June 30th.

In discussing the possible alternatives with the Canadian Imperial Bank of Commerce the only alternatives would appear to be:

1. Authorized debit to the taxpayer's account on June 30th, or
2. Allowing tax payments to be received at any financial institution for forwarding to the City. This is the same procedure as used for utility accounts.

City Clerk  
Page 2  
December 20, 1988

The authorized debit is really the same thing as receiving a cheque. As it would also result in processing charges to the City, it is not considered worthy of consideration.

The second option to allow payments to be made at any financial institution is also not recommended. It would result in a delay receiving payment and subsequent loss of interest revenue to the City.

It may be possible in the future for taxpayers to authorize from computer terminals the electronic transfer of funds. At present this technology is not available here. The closest procedure to this is that some companies can authorize a transfer to the City's bank account on June 30th. This would probably not be feasible for most taxpayers because of the bank charges they would incur.

Council should perhaps realize that any process that tries to delay payment of taxes to June 30th, by promoting the use of postdated cheques or other similar procedures that delay the receipt and deposit of payments, results in a loss of interest revenue to the City. The City has implemented procedures to make it easier for people to pay taxes, such as the monthly payment plan.



A. Wilcock, B. Comm., C.A.  
Director of Finance

AW/mrk

c.c. City Assessor

#### Commissioners' Comments

We would concur with the recommendations of the Dir. of Finance that no changes be made to the present system which allows for several means of paying taxes. For Council's information, each year we collect approximately 14,547 tax accounts and typically we have approximately 90 who endeavor to pay on time, but for whatever reason are late, and of which only 6 or 7 appeal to Council.

This would indicate to us that the current system is working well and there really is not a problem that needs solving and it is our view that no matter what arrangements are made there will always be some that miss the deadline.

"R.J. MCGHEE"  
Mayor

"M.C. DAY"  
City Commissioner

November 17, 1988

TO: DIRECTOR OF FINANCE  
FROM: CITY CLERK  
RE: PAYMENT OF TAXES/ELECTRONIC TRANSFER OF FUNDS

At the Council meeting of November 14, 1988 the following motion was passed concerning the above topic.

"RESOLVED that the Council of The City of Red Deer direct administration to investigate the possibility of arranging with various financial institutions an alternate method of payment of taxes by means of electronic transfer of funds."

The decision of Council in this instance is submitted for your information and I trust that you will investigate this possibility and report back to Council at your earliest convenience.



C. SEVCIK  
City Clerk

CS/gr

c.c. City Assessor

Reminder 88/12/14 cs.

DATE: January 25, 1989  
TO: Dir. of Finance  
FROM: City Clerk  
RE: PAYMENT OF TAXES/ELECTRONIC TRANSFER OF FUNDS

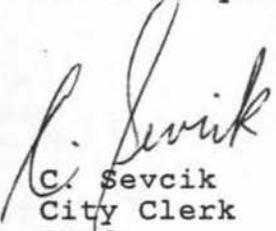
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Your report dated December 21, 1988, concerning the above topic was presented to Council January 23, 1989, and at which meeting Council passed the following motion.

"RESOLVED that Council of The City of Red Deer, having considered report dated December 21, 1988 from the Director of Finance re: payment of taxes/electronic transfer of funds, hereby agree that no changes be made to the present system which allows for several means of paying taxes, and as recommended to Council January 23, 1989 by the City Commissioners."

The decision of Council in this instance is submitted for your information and I trust you will find same satisfactory.

We thank you for your report in this instance.

  
C. Sevcik  
City Clerk  
CS/ds  
c.c. City Assessor

DEERCORP CAPITAL GROUP INC.

NO. 1

January 3, 1989

City Clerks Department  
City of Red Deer  
Box 5008  
Red Deer, Alberta  
T4N 3T4

ATTENTION: KELLY KLOSS

Dear Kelly:

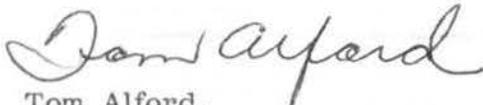
RE: BLOCK 9 PLAN H  
PARTS OF LOTS 16 TO 18 AND 19 TO 22 INCLUSIVE

We understand the building is encroaching onto 48th Street and wish to enter into an Encroachment Agreement so that we can facilitate purchase of the above property.

Enclosed is a copy of our correspondence with Ryan Strader for your information. The two issues may be related.

Thank you for your assistance. If you require any further information, please contact me at the telephone number printed below.

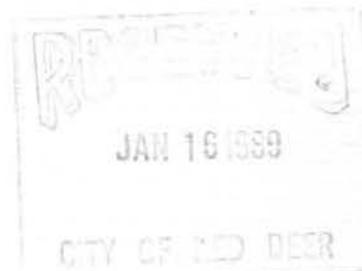
Sincerely,



Tom Alford,  
Vice President

TA/js

Encl. 1



January 3, 1989

Ryan Strader  
Bylaw & Inspections Manager  
Box 5008  
Red Deer, Alberta  
T4N 3T4

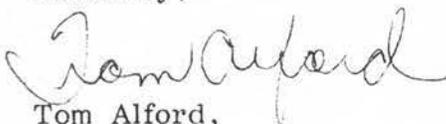
Dear Ryan:

RE: COMPLIANCE CERTIFICATE  
4802 - 4808 - 50 Avenue  
Block 9, Plan H  
Part of Lots 16 to 18 and all of Lots 19 to 22 Inclusive

We require a Compliance Certificate signed by the Development Officer at the City of Red Deer certifying the districting for the improvements and their use, and the location of the improvements in accordance with land regulations or the development permit.

Thank you for your assistance with this matter. Please send the certificate by return mail.

Sincerely,



Tom Alford,  
Vice President

TA/js

*Copied to: Bylaws + Inspections Manager  
89/01/16  
js.*

DATE: January 17, 1989

TO: City Clerk

FROM: City Assessor

RE: PT. OF LOT 16 - 18 & 19 - 22, INCLUSIVE, BLOCK 9, PLAN H

---

With reference to your memo of January 11, 1989, we respectfully submit that we have no objections to City Council approval of a license to occupy portions of Gaetz Avenue and 48 Street as indicated on the sketch, subject to:

1. An agreement satisfactory to City Solicitor
2. A 30 day cancellation clause - removal of improvements at licensee's expense upon termination of agreement
3. Annual lease rent of \$25.00 with provision for the Director of Finance to review on an annual basis
4. Licensee to be responsible for payment in full of legal fees for preparation of agreement and advertisement fees required by the Municipal Government Act.
5. Liability insurance to be provided by the licensee to the satisfaction of the Director of Finance



Al Knight, A.M.A.A.

WFL/bw

cc Director of Engineering  
Director of Finance  
Bylaws & Inspections Manager  
EL&P Manager



# RED DEER REGIONAL PLANNING COMMISSION

80.

2830 BREMNER AVENUE, RED DEER, ALBERTA, CANADA T4R 1M9

DIRECTOR: Robert R. Cundy M.C.I.P.

Telephone: (403) 343-3394

Fax: (403) 346-1570

January 16, 1989

Mr. C. Sevcik,  
City Clerk  
City of Red Deer  
Box 5008  
Red Deer, Alta.  
T4N 3T4

Dear Sir:

Re: Lots 16-22, Block 9, Plan H  
N.W. Corner of Gaetz Avenue and 48th Street

We have no objection to grant a license to occupy that section of 48th Street,  
as shown on the attached plan.

Yours truly,

D. Rouhi, MCIP  
SENIOR PLANNER  
CITY PLANNING SECTION  
/cc

#### MUNICIPALITIES WITHIN COMMISSION AREA

CITY OF RED DEER—TOWN OF BLACKFALDS—TOWN OF BOWDEN—TOWN OF CARSTAIRS—TOWN OF CASTOR—TOWN OF CORONATION—TOWN OF DIDSBURY—TOWN OF ECKVILLE—TOWN OF INNISFAIL—TOWN OF LACOMBE—TOWN OF OLDS—TOWN OF PENHOLD—TOWN OF ROCKY MOUNTAIN HOUSE—TOWN OF STETTTLER—TOWN OF SUNDRE—TOWN OF SYLVAN LAKE—VILLAGE OF ALIX—VILLAGE OF BENTLEY—VILLAGE OF BIG VALLEY—VILLAGE OF BOTHA—VILLAGE OF CAROLINE—VILLAGE OF CLIVE—VILLAGE OF CREMONA—VILLAGE OF DELBURNE—VILLAGE OF DONALDA—VILLAGE OF ELNORA—VILLAGE OF GADSBY—VILLAGE OF HALKIRK—VILLAGE OF MIRROR—SUMMER VILLAGE OF BIRCHCLIFF—SUMMER VILLAGE OF GULL LAKE—SUMMER VILLAGE OF HALF MOON BAY—SUMMER VILLAGE OF NORGLÉNWOLD—SUMMER VILLAGE OF ROCHON SANDS—SUMMER VILLAGE OF WHITE SANDS—SUMMER VILLAGE OF JARVIS BAY—COUNTY OF LACOMBE No. 14—COUNTY OF MOUNTAIN VIEW No. 17—COUNTY OF PAINTERTH No. 18—COUNTY OF RED DEER No. 23—COUNTY OF STETTTLER No. 6—MUNICIPAL DISTRICT OF CLEARWATER No. 99

DATE: January 12, 1989

TO: C. Sevcik  
City Clerk

FROM: Daryle Scheelar  
E. L. & P.

RE: Parts of Lots 16 - 18 & 19 - 20 inclusive  
Block 9, Plan H.

---

E. L. & P. Department have no objection to the encroachment.

*Daryle Scheelar*

Daryle Scheelar,  
Distribution Engineer

KW/jjd

Commissioners' Comments

We would concur with the comments of the Administration and recommend Council approve a license to occupy agreement subject to same being satisfactory to the City Solicitor.

"R.J. MCGHEE", Mayor

"M.C. DAY", City Commissioner

DATE: January 16, 1989

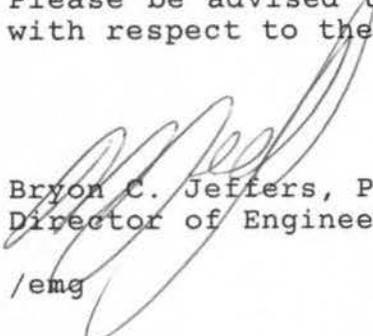
TO: City Clerk

FROM: Director of Engineering Services

RE: ENCROACHMENTS - PART OF LOTS 16-18, ALL OF LOTS 19-22,  
BLOCK 9, PLAN H  
4808, 4806, 4804, 4802 - 50 AVENUE AND 5004-48 STREET

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Please be advised that the Engineering Department has no comment with respect to the above.

  
Bryon C. Jeffers, P. Eng.  
Director of Engineering Services

/emg

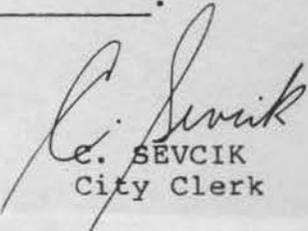
DATE January 11, 1989

- TO:
- DIRECTOR OF COMMUNITY SERVICES
  - DIRECTOR OF ENGINEERING SERVICES
  - DIRECTOR OF FINANCE
  - BYLAWS & INSPECTIONS MANAGER
  - CITY ASSESSOR
  - ECONOMIC DEVELOPMENT MANAGER
  - E. L. & P. MANAGER
  - F.C.S.S. MANAGER
  - FIRE CHIEF
  - PARKS MANAGER
  - PERSONNEL MANAGER
  - R.C.M.P. INSPECTOR
  - RECREATION MANAGER
  - TRANSIT MANAGER
  - URBAN PLANNING SECTION MANAGER
  - \_\_\_\_\_

FROM: CITY CLERK

RE: Pts. of Lots 16-18 & 19-22 incl., Block 9, Plan H

Please submit comments on the attached to this office by January 16  
for the Council Agenda of January 23, 1989.

  
C. SEVCIK  
City Clerk

Jan 26 out Jan 31

Tom Elford

Deines  
Ron Deines  
West Two Enterprises

340-2525

Deines by group

Encroachment  
.9 meters

Lot 19-22  
Block 9

Plan. H Part. Lot 16-18

LT to Dec Encroachment  
Monsieur Wonge.  
48th ~~St.~~ St.

Bonoco



# THE CITY OF RED DEER

P. O. BOX 5008, RED DEER, ALBERTA T4N 3T4

City Clerk's Department 342-8132

January 13, 1989

DEERCORP CAPITAL GROUP INC.  
502 Parkland Square  
4901 - 48 Street  
RED DEER, Alberta  
T4N 6M4

Attn: Tom Alford, Vice President

Dear Mr. Alford:

RE: Pts. of Lots 16-18 & 19-22 Inc., Block 9, Plan H

We acknowledge with thanks your letter of January 3, 1989 regarding the above noted site and encroachment onto 48th Street.

Your application will be presented to City Council on their agenda of January 23, 1989 for consideration. Please call this office on the Friday prior to the said meeting to discuss the time this item will be considered by Council, in the event you may wish to be present.

Trusting you will find this satisfactory.

Sincerely,



C. SEVCIK  
City Clerk

DEER CORP CAPITAL GROUP INC.

January 3, 1989

City Clerks Department  
City of Red Deer  
Box 5008  
Red Deer, Alberta  
T4N 3T4

ATTENTION: KELLY KLOSS

Dear Kelly:

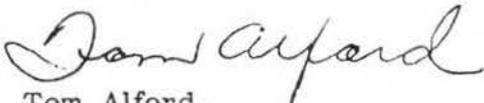
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PARTS OF LOTS 16 TO 18 AND 19 TO 22 INCLUSIVE

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Enclosed is a copy of our correspondence with Ryan Strader for your information. The two issues may be related.

Thank you for your assistance. If you require any further information, please contact me at the telephone number printed below.

Sincerely,



Tom Alford,  
Vice President

TA/js

Encl. 1



DATE: January 13, 1989

TO: City Clerk

FROM: Bylaws and Inspections Manager

RE: LICENSE TO OCCUPY / PT. OF LOTS 16-18 & 19-22 INCL., BLOCK 9, PLAN H

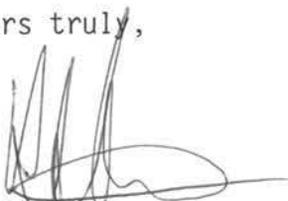
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In response to your memo of January 11, 1989, we wish to advise that we have no concerns regarding the granting of a License to Occupy in connection with the above application.

The encroachments are from 48 Avenue, 0.09 m at the furthest point. The application appears to show an encroachment onto the adjacent property line at the common wall location, which will have to be covered in an agreement between the property owners.

We trust this is of information to you.

Yours truly,



R. Strader  
Bylaws and Inspections Manager  
BUILDING INSPECTION DEPARTMENT

RS/pr

January 12, 1989

TO: City Clerk

FROM: Fire Chief

RE: Parts of Lots 16-18 & 19-22, Block 9, Plan H

We have no comments to offer regarding this matter.

A handwritten signature in cursive script, appearing to read "R. Oscroft".

R. Oscroft  
FIRE CHIEF

RO/cb

January 26, 1989

Deercorp Capital Group Inc.  
502 Parkland Square  
4901 - 48 Street  
Red Deer, Alberta  
T4N 6M4

Attention: Mr. Tom Alford, Vice President

Dear Sir:

RE: BUILDING ENCROACHMENT/4802-08 - 50 AVE./PARTS OF LOTS 16-18  
AND ALL OF 19-22 INCLUSIVE, BLOCK 9, PLAN H

Your application with regard to a building encroaching on City property referred to above, was presented to Council January 23, 1989, and at which meeting Council passed the following motion:

"RESOLVED that Council of The City of Red Deer, having considered application from Deercorp Capital Group Inc. pertaining to the building at 4802-08 - 50 Avenue (parts of Lots 16 to 18 and all of Lots 19 to 22, Block 9, Plan H) encroaching on City road right-of-way, hereby approve a license to occupy agreement to incorporate terms as outlined by the administration to Council January 23, 1989, and subject to same being satisfactory to the City Solicitor."

For your further information, I am enclosing herewith all administrative comment which appeared on the Council agenda.

The decision of Council in this instance is submitted for your information and by way of a copy of this letter, we are requesting the Land Department to prepare the License to Occupy Agreement at their earliest convenience for execution by both parties.

Trusting you will find this satisfactory.

Sincerely,

C. Sevcik  
City Clerk  
c.c. City Assessor  
Dir. of Engineering Services  
Bylaws & Inspections Manager

E.L. & P. Manager  
Urban Planner  
Fire Chief

# SNELL & OS Lund SURVEYS (1979) LTD.

82.

SUBDIVISION, MUNICIPAL, OILFIELD  
SURVEY AND REPORTS

LAND SURVEYORS AND PROFESSIONAL ENGINEERS

OFFICE PHONE (403) 342-1255  
G. OS Lund, RES. 346-6342  
R. BUNTING, RES. 347-6731  
D. VANDENBRINK, RES. 886-2474  
P.O. BOX 610  
4826 - 47 STREET  
RED DEER, ALBERTA  
T4N 5G6

SPECIAL ATTENTION TO URBAN,  
RURAL AND OILFIELD SURVEYS

GILLIS OS Lund, A.L.S., P. ENG.  
RALPH BUNTING, A.L.S.  
DICK VANDENBRINK, A.L.S., P. ENG.

NO. 2

January 9, 1989

Our File - 8340

City of Red Deer  
P.O. Box 5008  
Red Deer, AB  
T4N 3T4

ATTENTION: Secretary of City Council

Dear Sir or Madam:

Re: Lot 8 & 9, Block 17, Plan H 4928 - 50 Street

Enclosed, for your information, are six prints showing the location of a building on the above noted property. You will note that there are encroachments on and over Ross Street and the City lane.

On behalf of our client, Mr. J. T. Miller, we wish to request approval from Council for a License to Occupy covering the various encroachments on and over City property.

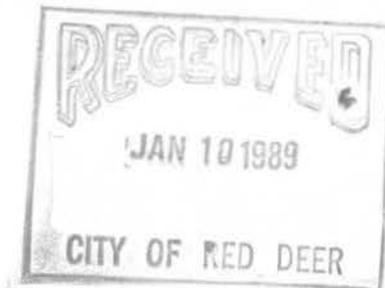
Yours truly,

SNELL & OS Lund SURVEYS (1979) LTD.



Gillis Oslund, A.L.S., P.Eng.

GO/lp  
encs.



DATE: January 12, 1989  
TO: City Clerk  
FROM: Bylaws and Inspections Manager  
RE: SNELL & OSLUND SURVEYS / ENCROACHMENTS ON AND OVER ROSS STREET

---

In response to your memo of January 11, 1989, we would advise that the building in question has been in existence for a number of years, as have the various encroachments.

This department is not aware of any problems or concerns over these encroachments and, therefore, we have no objections to a License to Occupy being granted.

It should be noted by the applicant that, if Council grants his request, it does not apply to the encroachment of his building onto Lot 7, and that an agreement with that property owner must be entered into prior to the Real Property Report being signed by the City.

Yours truly,

A handwritten signature in black ink, appearing to be 'R. Strader', written over a horizontal line.

R. Strader  
Bylaws and Inspections Manager  
BUILDING INSPECTION DEPARTMENT

RS/pr



# RED DEER REGIONAL PLANNING COMMISSION

2830 BREMNER AVENUE, RED DEER, ALBERTA, CANADA T4R 1M9

84.

DIRECTOR: Robert R. Cundy M.C.I.P.

Telephone: (403) 343-3394

Fax: (403) 346-1570

January 16, 1989

Mr. C. Sevcik,  
City Clerk  
City of Red Deer  
Box 5008  
Red Deer, Alta.  
T4N 3T4

Dear Sir:

Re: Snell & Oslund Encroachment Agreement  
Lots 8 & 9, Block 17, Plan H.

Please be advised that we have no objection to grant a license to the applicant to occupy the various encroachment outlined on the attached plan.

Yours truly,

D. Rouhi, MCIP  
SENIOR PLANNER  
CITY PLANNING SECTION  
DR/cc

#### MUNICIPALITIES WITHIN COMMISSION AREA

CITY OF RED DEER—TOWN OF BLACKFALDS—TOWN OF BOWDEN—TOWN OF CARSTAIRS—TOWN OF CASTOR—TOWN OF CORONATION—TOWN OF DIDSBURY—TOWN OF ECKVILLE—TOWN OF INNISFAIL—TOWN OF LACOMBE—TOWN OF OLDS—TOWN OF PENHOLD—TOWN OF ROCKY MOUNTAIN HOUSE—TOWN OF STETTLER—TOWN OF SUNDRE—TOWN OF SYLVAN LAKE—VILLAGE OF ALIX—VILLAGE OF BENTLEY—VILLAGE OF BIG VALLEY—VILLAGE OF BOTHA—VILLAGE OF CAROLINE—VILLAGE OF CLIVE—VILLAGE OF CREMONA—VILLAGE OF DELBURNE—VILLAGE OF DONALDA—VILLAGE OF ELNORA—VILLAGE OF GADSBY—VILLAGE OF HALKIRK—VILLAGE OF MIRROR—SUMMER VILLAGE OF BIRCHCLIFF—SUMMER VILLAGE OF GULL LAKE—SUMMER VILLAGE OF HALF MOON BAY—SUMMER VILLAGE OF NORGLIWOLD—SUMMER VILLAGE OF ROCHON SANDS—SUMMER VILLAGE OF WHITE SANDS—SUMMER VILLAGE OF JARVIS BAY—COUNTY OF LACOMBE No. 14—COUNTY OF MOUNTAIN VIEW No. 17—COUNTY OF PAINTERTH No. 18—COUNTY OF RED DEER No. 23—COUNTY OF STETTLER No. 6—MUNICIPAL DISTRICT OF CLEARWATER No. 99

DATE: January 17, 1989

TO: City Clerk

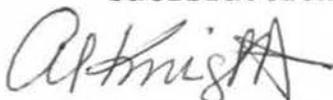
FROM: City Assessor

RE: LOT 8 & 9, BLOCK 17, PLAN H

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With reference to your memo of January 11, 1989, we respectfully submit that we have no objection to City Council approval of a license to occupy the portions of Ross Street and the lane right of way as indicated in the Alberta Land Surveyor's report, subject to:

1. An agreement satisfactory to the City Solicitor
2. A 30 day cancellation clause - removal of improvements at licensee's expense upon termination of agreement
3. Annual lease rent of \$25.00, with provision for the Director of Finance to review on an annual basis
4. Licensee to be responsible for payment in full of legal fees in preparation of the agreement and advertisement fees as required by the Municipal Government Act
5. Liability insurance to be provided by the Licensee to the satisfaction of the Director of Finance



Al Knight, A.M.A.A.

WFL/bw

cc Director of Engineering  
Director of Finance  
Bylaws & Inspections Manager  
EL&P Manager

DATE: January 12, 1989

86.

TO: C. Sevcik  
City Clerk

FROM: Daryle Scheelar  
E. L. & P.

RE: Snell & Oslund/Encroachment on and  
Over Ross Street

---

E. L. & P. have no objections to this encroachment.



Daryle Scheelar,  
Distribution Engineer

KW/jjd

Commissioners' Comments

We would recommend Council approve a license to occupy agreement subject to same being satisfactory to the City Solicitor.

"R.J. MCGHEE"  
Mayor

"M.C. DAY"  
City Commissioner

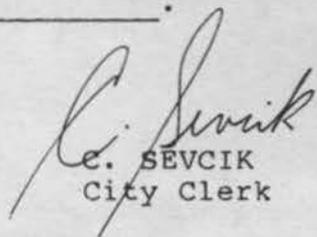
DATE January 11, 1989

- TO:
- DIRECTOR OF COMMUNITY SERVICES
  - DIRECTOR OF ENGINEERING SERVICES
  - DIRECTOR OF FINANCE
  - BYLAWS & INSPECTIONS MANAGER
  - CITY ASSESSOR
  - ECONOMIC DEVELOPMENT MANAGER
  - E. L. & P. MANAGER
  - F.C.S.S. MANAGER
  - FIRE CHIEF
  - PARKS MANAGER
  - PERSONNEL MANAGER
  - R.C.M.P. INSPECTOR
  - RECREATION MANAGER
  - TRANSIT MANAGER
  - URBAN PLANNING SECTION MANAGER
  - \_\_\_\_\_

FROM: CITY CLERK

RE: SNELL & OSKUND/ENCROACHMENTS ON & OVER ROSS STREET

Please submit comments on the attached to this office by January 16  
for the Council Agenda of January 23, 1989.

  
E. SEVCIK  
City Clerk



**THE CITY OF RED DEER**

P.O. BOX 5008, RED DEER, ALBERTA T4N 3T4

City Clerk's Department 342-8132

January 11, 1989

SNELL & OSLUND SURVEYS (1979) LTD.  
P.O. Box 610  
4826 - 47 Street  
RED DEER, Alberta  
T4N 5G6

Attn: Gillis Oslund, A.L.S., P. Eng.

Dear Mr. Oslund:

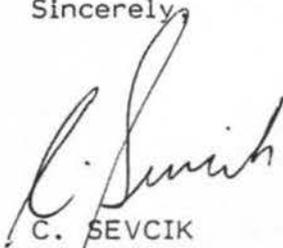
RE: Lot 8 & 9, Block 17, Plan H

We acknowledge with thanks your letter of January 9, 1989 regarding the above noted site and encroachments on and over Ross Street and the City lane.

Your application will be presented to City Council on their agenda of January 23, 1989 for consideration. Please call this office on the Friday prior to the said meeting to discuss the time this item will be considered by Council, in the event you may wish to be present.

Trusting you will find this satisfactory.

Sincerely,

  
C. SEVCIK  
City Clerk

DATE: January 16, 1989

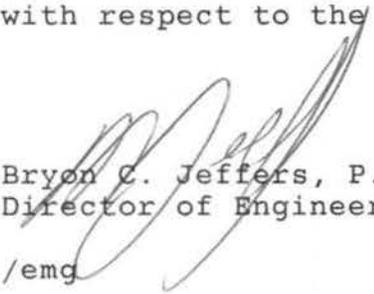
TO: City Clerk

FROM: Director of Engineering Services

RE: ENCROACHMENTS - LOTS 8 AND 9, BLOCK 17, PLAN H  
4924, 4924A, 4926, AND 4928 ROSS STREET

---

Please be advised that the Engineering Department has no comment with respect to the above.



Bryon C. Jeffers, P. Eng.  
Director of Engineering Services

/emg



# Surveyor's Real Property Report

## LEGAL DESCRIPTION

LOT 8 & 9  
 BLOCK 17  
 PLAN H  
 CIVIC ADDRESS :  
 RED DEER, ALBERTA  
 FOR : J. T. MILLER

NOTES  
 UNLESS OTHERWISE SPECIFIED THE DIMENSIONS SHOWN ARE FROM THE PROPERTY BOUNDARIES TO EXTERIOR SURFACES.  
 LOT DISTANCES & BEARINGS ARE AS MEASURED.

TITLE SEARCHED ON THE DATE OF DECEMBER 19, 1988  
 PROPERTY IS SUBJECT TO : MORTGAGE 832 210 806

## SURVEYOR'S AFFIDAVIT

I, DIRK VANDENBRINK, ALBERTA LAND SURVEYOR DO HEREBY CERTIFY THAT  
 1. THE SURVEY REPRESENTED BY THIS PLAN IS TRUE AND CORRECT AND WAS MADE UNDER MY PERSONAL SUPERVISION.

2. THE SURVEY WAS COMPLETED ON DECEMBER 20, 1988

3. THE IMPROVEMENTS AS SHOWN ON THIS PLAN ARE ENTIRELY WITHIN THE BOUNDARIES OF THE SUBJECT PROPERTY (EXCEPT AS NOTED HEREIN) AND,

4. NO VISIBLE ENCROACHMENTS EXIST ONTO THE SUBJECT PROPERTY FROM ANY IMPROVEMENT SITUATED ON AN ADJACENT PROPERTY (EXCEPT AS NOTED HEREIN).

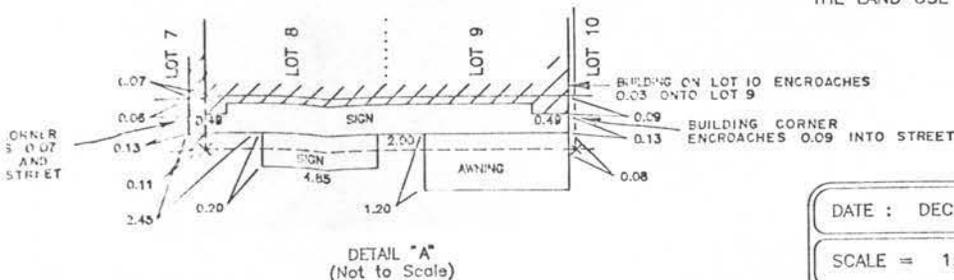
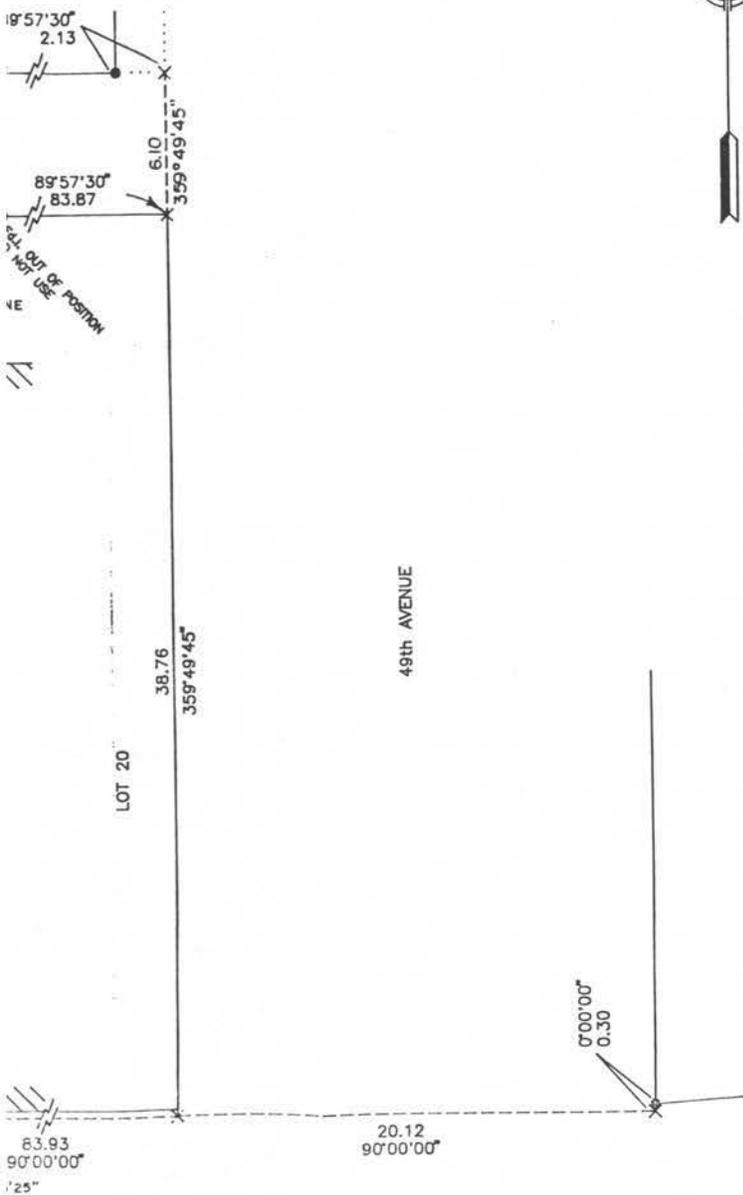
CERTIFIED CORRECT THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 19\_\_\_\_

ALBERTA LAND SURVEYOR \_\_\_\_\_

## CITY OF RED DEER APPROVAL

IF THE BUILDING SHOWN ON THE ABOVE PLAN IS LOCATED IN ACCORDANCE WITH THE ABOVE PLAN, THE LOCATION OF THE SAID BUILDING(S) COMPLIES WITH THE SETBACK, REARYARD AND SIDEYARD REQUIREMENTS OF THE LAND USE BYLAW OF THE CITY OF RED DEER.

BUILDING INSPECTOR FOR THE CITY OF RED DEER



DATE : DECEMBER 20, 1988

SCALE = 1:250

Job No. 8340

SNELL & OSUND  
 SURVEYS (1979) LTD.

RED DEER - ALBERTA



# THE CITY OF RED DEER

P.O. BOX 5008, RED DEER, ALBERTA T4N 3T4

City Clerk's Department 342-8132

January 26, 1989

Snell & Oslund Surveys (1979) Ltd.  
 P.O. Box 610  
 4826 - 47 Street  
 Red Deer, Alberta  
 T4N 5G6

Attention: Mr. Gillis Oslund, A.L.S., P.Eng.

Dear Sir:

RE: BUILDING ENCROACHMENT/LOTS 8 & 9, BLOCK 17, PLAN H

Your application with regard to a Building Encroachment on City Property referred to above was presented to Council January 23, 1989, and at which meeting Council passed the following motion.

"RESOLVED that Council of The City of Red Deer, having considered application from Snell & Oslund Surveys (1979) Ltd. on behalf of J. T. Miller pertaining to the building at 4928 - 50 Street (Lots 8 & 9, Block 17, Plan H) encroaching on City road right-of-way, hereby approve a license to occupy agreement incorporating the terms suggested by the City administration as presented to Council January 23, 1989 and subject to said agreement being satisfactory to the City Solicitor."

For your further information, I am enclosing herewith all administrative comment which appeared on the Council agenda.

The decision of Council in this instance is submitted for your information and by way of a copy of this letter, we are requesting the Land Department to prepare the License to Occupy Agreement at their earliest convenience for execution by both parties.

Trusting you will find this satisfactory.

Sincerely,

C. Sevcik  
 City Clerk  
 c.c. City Assessor  
 Dir. of Engineering Services  
 Bylaws & Inspections Manager

E.L. & P. Manager  
 Urban Planner  
 Fire Chief

H A R L A N C. H U L L E M A N  
8, Orillia Park Drive  
Red Deer AB, T4N 5A6  
November 17, 1988

Mayor and Council  
City of Red Deer  
Red Deer AB

Your Worship and Aldermen:

A news item in the November 16, 1988 Red Deer Adviser re "spending 1.3million dollars left over from the 67th Street overpass" reminds me of a letter (enclosed) dated December 30, 1981 which I wrote for the Oriole Park Community Association.

It pointed out that 64th Avenue especially between 67th Street and Oleander Drive was a bottle neck even way back then. That its widening, a relatively small project, should not be put off to 1985, but moved back to 1982, its original spot in the 1981 Seven Year Plan.

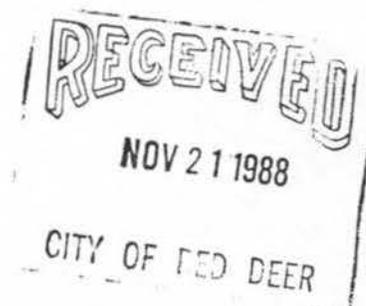
It is now 1988, seven years later. Don't you think it is about time to remove this bottleneck? Why not spend a bit of money left over from the 67th Street overpass on a problem stretch in the same neck of the woods!

Yours truly,

*H. C. Hullman*

A concerned citizen

cc NRD MLA





**THE CITY OF RED DEER**

P.O. BOX 5008, RED DEER, ALBERTA T4N 3T4

City Clerk's Department 342-8132

November 23, 1988

NOV 25 1988

Harlan C. Hulleman  
8 Orillia Park Drive  
RED DEER, Alberta  
T4N 5A6

Dear Sir:

RE: 64 Avenue - 67 Street to Oleander Drive

BJ	✓	NPA	✓
KGN	✓	S	✓
GS	✓	FB	✓
PEG	✓	OC	✓
CYL	leg	BB	X
BW	leg	PW	X

*Open - copy to location file leg*

Your letter of November 17, 1988 addressed to Council suggesting the widening of 64th Avenue referred to above is hereby acknowledged with thanks.

The widening of 64th Avenue between 67th Street and Oleander Drive, as you have indicated, is a relatively small project. The Engineering Department feels however, that expansion of this element of the roadway system in isolation could create problems elsewhere. As you are aware, Taylor Drive from Oleander Drive down to Kerrywood Drive is largely two lanes except for the intersections and also the Taylor Bridge is only a two-lane facility.

The portion of roadway which you are referring to, and the other elements outlined above are considered to be a part of the Major Continuous Corridor and will be eligible for 90% financing when constructed as opposed to the regular 75% funding.

It is however not anticipated that this work will proceed until about 1992-1993 at which time the rail yards downtown will have been removed. It is the intention of the Engineering Department to commission the design of these works considerably earlier so that the Department will be in a position to move as soon as possible.

The above information is submitted for your information. If you wish to pursue the matter further with Council at this time please do not hesitate to contact the undersigned.

Sincerely,

*C. Sevcik*  
C. SEVCIK  
City Clerk

c.c. City Council  
City Commissioner  
Director of Engineering Services

T8, Orillia Park Drive  
Red Deer AB, T4N 5A6  
December 31, 1988

89.

**THE CITY OF RED DEER**  
CLERK'S DEPARTMENT

<b>RECEIVED</b>	
TIME	11:50 am
DATE	89/01/03
BY	<i>L. Swick</i>

Mayor and Council  
City of Red Deer  
Red Deer AB

Your Worship and Aldermen:

A news item in the November 16, 1988 Red Deer Adviser re "spending 1.3 million dollars left over from the 67th Street overpass" reminds us of a letter (enclosed) dated December 30, 1981 sent to you by the Oriole Park Community Association.

It pointed out that 64th Avenue, especially between 67th Street and Oleander Drive, was a bottle neck even way back then. That its widening, a relatively small project, should not be put off to 1985, but moved back to 1982, its original spot in the 1981 Seven Year Plan.

It is now 1988, seven years later, with an additional shopping mall and a higher traffic count. We think it is high time to remove the bottleneck from 67th Street down to Oleander Drive.

Should that stretch be too big a bite out of the budget, we hope you will give serious consideration to adding at least one lane to the stretch where the neck is the at its narrowest: from 67th Street to Oliver/Horn Street. Traffic is frequently stuck and backed up behind cars turning left and east onto Horn Street and the Highland Green Shopping Center parking lot.

That way, 64th Avenue will be able to more adequately serve its triple function: it is a thruway; it moves people in and out of Oriole Park and Highland Green; and it moves customers in and out of two shopping centers.

Yours truly,

*Dave Womack*

Dave Womack,  
Past President  
Highland Green  
Community Association

*H. C. Hulleman*

Harlan C. Hulleman,  
Past President  
Oriole Park  
Community Association

Enc.



# RED DEER REGIONAL PLANNING COMMISSION

2830 BREMNER AVENUE, RED DEER, ALBERTA, CANADA T4R 1M9

90.

DIRECTOR: Robert R. Cundy M.C.I.P.

Telephone: (403) 343-3394

Fax: (403) 346-1570

January 13, 1989

Mr. C. Sevcik,  
City Clerk  
City of Red Deer  
Box 5008  
Red Deer, Alta.  
T4N 3T4

Dear Sir:

Re: 64th Avenue - 67th Street to Oleander Drive

The Highland Green and Oriole Park Community Associations are inquiring as to why excess funds from the 67th Street river crossing project couldn't be directed toward the twinning of a portion of 64th Avenue to overcome left turn traffic problems being experienced at the Horn Street intersection (Highland Green Shopping Centre).

As indicated in the previous correspondence, the twinning of 64th Avenue is part of the City's Major Continuous Corridor Project, and is scheduled to proceed in 1992-1993. A major benefit to the City is that 90% of the cost of this project is funded by the Province, instead of the regular 75% funding. It would not be economically wise to use the excess 67th Street funds for either twinning a portion of 64th Avenue, or for construction of an interim additional lane which would have to be replaced two to three years hence.

As an alternative, the City could consider earlier scheduling of this portion of the Major Continuous Corridor Project. However, the timing of this option may be limited by funding commitments for other components of the MCC Project. It is assumed that the Engineering Department and the Director of Finance will comment in this regard.

Yours truly,

Vernon Parker,  
ASSOCIATE PLANNER  
CITY PLANNING SECTION  
VP/cc

#### MUNICIPALITIES WITHIN COMMISSION AREA

CITY OF RED DEER—TOWN OF BLACKFALDS—TOWN OF BOWDEN—TOWN OF CARSTAIRS—TOWN OF CASTOR—TOWN OF CORONATION—TOWN OF DIDSBURY—TOWN OF ECKVILLE—TOWN OF INNISFAIL—TOWN OF LACOMBE—TOWN OF OLDS—TOWN OF PENHOLD—TOWN OF ROCKY MOUNTAIN HOUSE—TOWN OF STETTLE—TOWN OF SUNDRE—TOWN OF SYLVAN LAKE—VILLAGE OF ALIX—VILLAGE OF BENTLEY—VILLAGE OF BIG VALLEY—VILLAGE OF BOTHA—VILLAGE OF CAROLINE—VILLAGE OF CLIVE—VILLAGE OF CREMONA—VILLAGE OF DELBURN—VILLAGE OF DONALDA—VILLAGE OF ELNORA—VILLAGE OF GADSBY—VILLAGE OF HALKIRK—VILLAGE OF MIRROR—SUMMER VILLAGE OF BIRCHCLIFF—SUMMER VILLAGE OF GULL LAKE—SUMMER VILLAGE OF HALF MOON BAY—SUMMER VILLAGE OF NORGLIWOLD—SUMMER VILLAGE OF ROCHON SANDS—SUMMER VILLAGE OF WHITE SANDS—SUMMER VILLAGE OF JARVIS BAY—COUNTY OF LACOMBE No. 14—COUNTY OF MOUNTAIN VIEW No. 17—COUNTY OF PAINTERTON No. 18—COUNTY OF RED DEER No. 23—COUNTY OF STETTLE No. 6—MUNICIPAL DISTRICT OF CLEARWATER No. 99

640-028F

DATE: January 18, 1989  
TO: City Clerk  
FROM: Engineering Services Manager  
RE: 64 AVENUE BOTTLENECK - 67 STREET TO OLEANDER DRIVE

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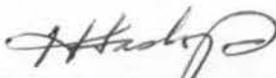
With regard to the petition presented by the Past Presidents of the Highland Green and Oriole Park Community Associations, and further to our comments provided November 21, 1988, we would reiterate that:

1. This project forms part of the Major Continuous Corridor Project, and will be eligible for 90% Provincial funding.
2. This project is not scheduled until the year 1992, according to the Corridor Agreement.

There has been two new developments arising since our November 21, 1988 comments:

- a. The Province has advanced some 1988 Provincial surplus funds under the Major Continuous Corridor Project, which could be used to support this construction in 1989. Details of projects' limits and Provincial approval would have to be confirmed. From a cash flow view point, the City would have to be prepared to spend this money in advance of the projected cash flow schedule, thus potentially losing earned interest.
- b. With the Food City proposal at 64 Avenue and 67 Street in 1989, there will be an increase in traffic on 64 Avenue, which will worsen the situation.

We have not had the opportunity to provide an estimate of costs or confirm the Major Continuous Corridor budget, but assuming that sufficient funds are available, we could accommodate a construction start in 1989.

  
Ken G. Haslop, P. Eng.  
Engineering Services Manager

KGH/emg

c.c. MCC Project Coordinator  
c.c. Urban Planning Section Manager

Engineering Department could bring this to Council for their consideration. If the project mentioned in the Engineer's comments proceeds, it will not be completed until the end of 1989 and therefore will not have an impact on the area until 1990. Council should note that the proposed construction schedule for the Corridor is tentative and is being constantly updated in light of grants, cash flow and field circumstances.

"R.J. MCGHEE"  
Mayor

"M.C. DAY"  
City Commissioner

DATE January 3, 1989

TO:

DIRECTOR OF COMMUNITY SERVICES

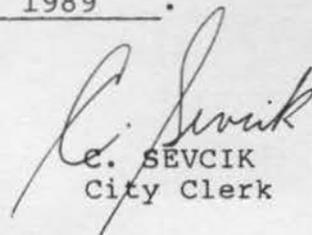
DATE January 3, 1989

- TO:  DIRECTOR OF COMMUNITY SERVICES  
 DIRECTOR OF ENGINEERING SERVICES  
 DIRECTOR OF FINANCE  
 BYLAWS & INSPECTIONS MANAGER  
 CITY ASSESSOR  
 ECONOMIC DEVELOPMENT MANAGER  
 E. L. & P. MANAGER  
 F.C.S.S. MANAGER  
 FIRE CHIEF  
 PARKS MANAGER  
 PERSONNEL MANAGER  
 R.C.M.P. INSPECTOR  
 RECREATION MANAGER  
 TRANSIT MANAGER  
 URBAN PLANNING SECTION MANAGER  
 \_\_\_\_\_

FROM: CITY CLERK

64 AVE. BETWEEN 67 STREET & OLEANDER DRIVE  
REMOVE BOTTLENECK OF TRAFFIC FROM 67 ST. DOWN  
RE: /TO OLEANDER DRIVE. ADD ONE LANE 67 ST. TO OLIVER/HORN

Please submit comments on the attached to this office by January 16, 1989  
for the Council Agenda of January 23, 1989.

  
C. SEVCIK  
City Clerk

DATE: November 21, 1988  
TO: City Clerk  
FROM: Director of Engineering Services  
RE: CORRESPONDENCE FROM MR. HULLEMAN  
64 AVENUE - 67 STREET AND OLEANDER DRIVE

---

We have reviewed the correspondence from Mr. Hulleman.

Mr. Hulleman states that 64 Avenue is in need of upgrading and should be improved to a four lane facility. He further indicates that the widening between 67 Street and Oleander Drive is a relatively small project, and we should use some of our funds to proceed with this project.

The phase he indicates is a relatively small project. The Engineering Department feels, however, that expansion of this element of the roadway system in isolation could create problems elsewhere. From Oleander Drive down to Kerry Wood Drive is largely two lanes, except for the intersections, and of course the Taylor Bridge is only a two lane facility.

The portion of roadway Mr. Hulleman is referring to, and the other elements we have outlined, are considered to be a part of the Major Continuous Corridor and will be eligible for 90% financing when constructed, as opposed to the regular 75% funding.

It is, however, not anticipated that this work will proceed until about 1992-1993, at which time the rail yards Downtown will have been removed.

It is our intention to commission the design of those works considerably earlier so that we will be in a position to move as soon as possible.

  
Bryon C. Jeffers, P. Eng.  
Director of Engineering Services

BCJ/emg



# Oriole Park

COMMUNITY ASSOCIATION

11.

31, Oyen Crescent  
Red Deer, Alberta  
December 30, 1981.

NO. 2

Mayor and Council  
City of Red Deer  
Red Deer, Alberta

Your Worship, Ladies and Gentlemen:

In the 1980 Seven Year Plan, the widening to four lanes of 64<sup>th</sup> Avenue between 67<sup>th</sup> Street and Oleander Drive was scheduled for 1982. In the 1981 Seven Year Plan, this was moved ahead to 1985.

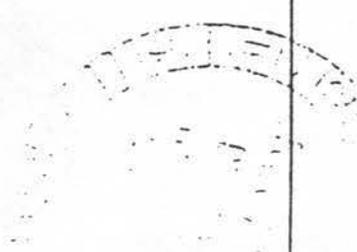
64<sup>th</sup> Avenue had last year already more traffic than a four lane artery such as 40<sup>th</sup> Avenue. With the completion of the 54<sup>th</sup> Avenue extension to 32<sup>nd</sup> Street and with <sup>the</sup> 64<sup>th</sup> Avenue four lane connection between 67<sup>th</sup> Street and Grant Street, more and more drivers are finding that the little longer way around (using the Taylor rather than the Gaetz Bridges) is the shorter way home.

64<sup>th</sup> Avenue serves two purposes: it is a thruway and it moves people in and out of Oriole Park and Highland Green. We hold that 64<sup>th</sup> Avenue cannot perform both functions adequately in its two lane form.

We therefore suggest to you strongly that you move the widening of 64<sup>th</sup> Avenue, a relatively small project, back to 1982.

Yours truly,

Roy Koshelek  
President



January 8, 1982

TO: City Clerk  
FROM: City Engineer  
RE: Widening of 64 Avenue

The Engineering Department is presently preparing the 1982 Seven Year Plan. For the information of Council it is still our recommendation that the widening of 64 Avenue not occur until 1985. It would be our recommendation to Council that they deal with this matter at the time the whole Seven Year Plan is reviewed so that the total picture is available to Council.

B. C. Jeffers, P. Eng.  
City Engineer

BCJ/emg  
cc - City Treasurer  
cc - RDRPC

Commissioners' comments

We concur with the recommendations of the City Engineer that this item be considered with the overall 1982 Seven year Plan. We anticipate the revised Seven Year Plan will be available to Council February 1st or 15th, 1982.

"R.J. MCGHEE"  
Mayor

"M.C. DAY"  
City Commissioner

BCJ  
K&H  
BLW

TO \_\_\_\_\_ DATE 88/11/21

1. Please obtain comments from the following:

- Director of Community Services
- Director of Engineering Services
- Director of Finance
- Bylaws & Inspections Manager
- City Assessor
- Economic Development Manager
- E. L. & P. Manager
- Social Planning Manager
- Fire Chief
- Parks Manager
- Personnel Manager
- R.C.M.P. Inspector
- Recreation and Culture Manager
- Transit Manager
- Urban Planning Section Manager
- \_\_\_\_\_

THE CITY of RED DEER  
ENGINEERING DEPARTMENT

<b>RECEIVED</b>	
TIME	11:30 am
DATE	NOV 21 1988
BY	Susan

2. Comments are required by S.A.P.  
for the Council Agenda of Nov. 28

3. Acknowledge receipt of correspondence and advise that this office will be calling prior to the meeting to discuss the time, if they wish to be present at the Council meeting.

**THE CITY OF RED DEER**

P.O. BOX 5008, RED DEER, ALBERTA T4N 3T4

City Clerk's Department 342-8132

January 5, 1989

Mr. Harlan C. Hulleman  
8 Orillia Park Drive  
Red Deer, Alberta  
T4N 5A6

Dear Sir:

RE: WIDENING 64 AVENUE - 67 STREET TO OLEANDER DRIVE

Thank you for your letter of December 31, 1988.

This will confirm that you attended at our office on January 4, 1989 to view the 5 Year Major Capital Plan, at which time the City Treasurer advised that widening 64 Avenue is scheduled for 1992. I understand that you attended at the office of the City Treasurer and received copies of pertinent material relative to your concern herein.

This item is scheduled to be discussed at the January 23, 1989 Council meeting. If you would please telephone our office on Friday, January 20th, we will advise you of the exact time that Council will be discussing this matter should you wish to be present at that time.

In the meantime, if you have any questions, please do not hesitate to contact the writer.

Regards,

*C*  
C. SEVCIK  
CITY CLERK  
CS/sp

**THE CITY OF RED DEER**

P.O. BOX 5008, RED DEER, ALBERTA T4N 3T4

City Clerk's Department 342-8132

January 25, 1989

Mr. Harlan C. Hulleman & Mr. Dave Womack  
8 Orillia Park Drive  
Red Deer, Alberta  
T4N 5A6

Dear Sirs:

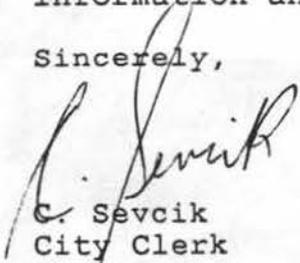
Your letter pertaining to the widening of 64 Ave. between 67 Street and Oleander Drive was considered by Council January 23, 1989, and at which meeting the following motion was passed.

"RESOLVED that Council of The City of Red Deer, having considered correspondence from the Highland Green Community Association and Oriole Park Community Association Past Presidents, pertaining to the widening of 64 Avenue from 67 Street to Oleander Drive, hereby agree that the Engineering Department monitor this particular roadway and if future traffic warrants an earlier construction start, that a recommendation be brought back to Council for consideration as recommended by the Commissioners January 23, 1989.

Council further agree that this stretch of road receive high priority for early completion within the M.C.C. Project."

The decision of Council in this instance is submitted for your information and I trust you will find same satisfactory.

Sincerely,

  
C. Sevcik  
City Clerk  
CS/ds

c.c. Dir. of Engineering Services

DATE: January 26, 1989  
TO: Dir. of Engineering Services  
FROM: City Clerk  
RE: WIDENING 64 AVENUE/MAJOR CONTINUOUS CORRIDOR PROJECT

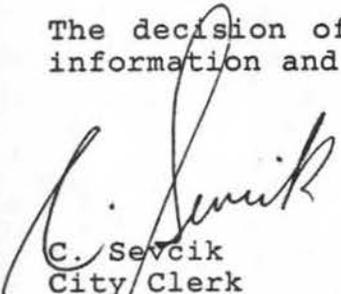
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At the Council Meeting of January 23, 1989, the following motion was passed as a result of a letter received from Harlan C. Hulleman and Dave Womack, Past Presidents of the Oriole Park and Highland Green Community Associations respectively.

"RESOLVED that Council of The City of Red Deer, having considered correspondence from the Highland Green Community Association and Oriole Park Community Association Past Presidents, pertaining to the widening of 64 Avenue from 67 Street to Oleander Drive, hereby agree that the Engineering Department monitor this particular roadway and if future traffic warrants an earlier construction start, that a recommendation be brought back to Council for consideration as recommended by the Commissioners January 23, 1989."

Council further agree that this stretch of road receive high priority for early completion within the M.C.C. Project."

The decision of Council in this instance is submitted for your information and I trust that you will take appropriate action.



C. Sevcik  
City Clerk  
CS/ds  
c.c. City Commissioners  
Dir. of Finance  
M.C.C. Project Manager  
Urban Planner

# FOOD CITY

January 17, 1989

The City Clerk  
The City of Red Deer  
P.O. Box 5008  
Red Deer, Alberta  
T4N 3T4

Dear Sir/Madam:

**Re: Proposed Food City Development, Heritage Business Park  
Lot 2, Block 14, Plan 812-0222, Red Deer, Alberta**

We request that the Council of the City of Red Deer grant us an open meeting on January 23, 1989 to facilitate the presentation of our proposed development.

Food City is an independent grocery chain with 7 stores in Calgary, 1 in Edmonton, and a new one presently being constructed in Lethbridge. We propose to develop a store in Red Deer along with some auxiliary retail stores. However, due to our style of operation and the economics of the development, our proposal has variances from that required by the existing Land Use Bylaw. The following is a list of these variances.

## 1. Floor Areas

- a) Maximum floor area of food store exceeds existing bylaw.
- |                 |                    |
|-----------------|--------------------|
| Allowable area: | 3550 sq. m.        |
| Requested area: | 4975 sq. m.        |
| Increased area: | <u>1425 sq. m.</u> |
- b) Maximum floor area of total shopping centre exceeds existing bylaw.
- |                 |                   |                       |
|-----------------|-------------------|-----------------------|
| Allowable area: | 5400 sq. m.       | (26.6% site coverage) |
| Requested area: | 6241 sq. m.       | (30.8% site coverage) |
| Increased area: | <u>841 sq. m.</u> |                       |

Please note that while the food store area increases by 1425 sq. meters, the total shopping centre area increases by only 841 sq. meters. The reason is that a larger proportion of the new development is in the food store.

## 2. Parking Requirements

Required by existing bylaw:	369 stalls
Proposed in development:	<u>351 stalls</u>
Difference:	18 stalls

The existing bylaw requires parking to be calculated based on the total gross area of the building. In actual fact, our food store will have over 21% of its area occupied by storage rooms and work areas. The net sales area, the area that will be occupied by the customers and the majority of our staff, occupies less than 80% of the total building area. Using the net sales area for calculation gives the following:

Food Store:	235 stalls	(based on 80% of total Food Store area)
Retail	<u>75 stalls</u>	(based on 100% of total Retail area)
Total	310 stalls	required for entire development

With respect to the size of the buildings and the parking requirements, the Building Inspection Department, in their letter of December 29, 1988, recommends that the existing Land Use Bylaw be amended to accommodate this development.

### 3. Landscaping Requirements

Required: 3045 sq. m.  
 Provided: 2149 sq. m. - (figure corrected to 2300 sq. m as per  
 Difference: 896 sq. m. discussion with R. Poon, Architect 89/01/18)

In view of the fact that a large boulevard exists between the site and 64th Avenue as well as 67th Street, we propose to upgrade and landscape the public boulevard instead of providing all of the required landscaping on site.

Our architect, Ronald Poon, has prepared a landscaping drawing for the Parks Department's review and in a meeting with them on Tuesday, January 17, 1989 has obtained their verbal approval of our plans. We expect to see a letter of confirmation from them to this effect in the near future.

### 4. Traffic Study

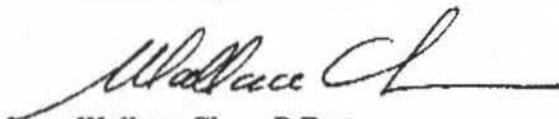
At the request of the City Engineer, a traffic engineering consultant is presently studying possible impacts of the development. Their findings should be available in the near future. From their preliminary review, however, they cannot see any concerns, raised either by the City Engineer or themselves, that cannot be resolved by small changes to the present site plan.

We request that City Council amend the existing Land Use Bylaw to accommodate this development. We understand that the only issue raised by the City Administration that must still be resolved is the issue of the possible traffic impact this development may have. We hope to satisfy the City Engineer of this concern before January 23, 1989 but should this not be the case we request that Council amend the Bylaw as per the proposed development plans and deal with the traffic issue separately at the development permit application stage.

We wish to point out that we are a unique developer in the sense that we will be the owner, developer, and user of this project and as such will have a continued interest in maintaining a high quality development both now as well as in the future.

We would also like to thank the City Administration ahead of time for their cooperation and foresight in dealing with these issues.

Yours truly,



Wallace Chow P. Eng.  
 Vice-President of Development and Research

WC/bk: wc/ssc/rd/city-jan17/89

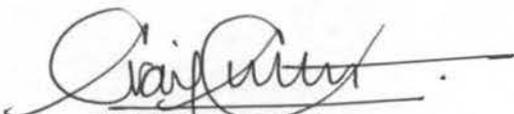
DATE: JANUARY 18, 1989 CS-2.047  
TO: CHARLIE SEVCIK  
City Clerk  
FROM: CRAIG CURTIS  
Director of Community Services  
RE: PROPOSED FOOD CITY DEVELOPMENT:  
HERITAGE SQUARE BUSINESS PARK  
LOT 2, BLOCK 14, PLAN 812-0222  
Your memo dated January 18, 1989 refers.

---

1. Food City Supermarkets is proposing to develop a shopping centre within the Heritage Business Park, at the intersection of 67th Street and 64th Avenue. The firm is requesting a relaxation of approximately 745m<sup>2</sup> in the landscaping requirement for the site. It is proposed to upgrade and landscape the public boulevard, instead of providing all the required landscaping on site.
2. A larger landscaping relaxation was considered by Committee of the Whole at its meeting on January 9th, 1989. At this time, the Parks Manager submitted a report opposing the relaxation, and it was agreed that the developer would meet with the Parks Manager and attempt to find a "reasonable compromise".
3. The Parks Manager has since met with representatives of Food City Supermarkets, and now supports the reduced relaxation, subject to a number of conditions. These conditions are outlined in the Parks Manager's report dated January 17th (copy attached), and would provide for extensive landscaping, both on the site and within the 67th Street boulevard.

4. RECOMMENDATION

I recommend that City Council approve the relaxation of 745m<sup>2</sup> in the landscaping requirement for the Food City development project, subject to the conditions outlined in the Parks Manager's report.



CRAIG CURTIS

CC:dmg

Attach.

c. Don Batchelor, Parks Manager

DATE: January 17, 1989

TO: CHARLIE SEVCIK  
City Clerk

FROM: DON BATCHELOR  
Parks Manager

RE: PROPOSED FOOD CITY DEVELOPMENT  
HERITAGE SQUARE BUSINESS PARK  
LOT 2, BLOCK 14, PLAN 812-0222

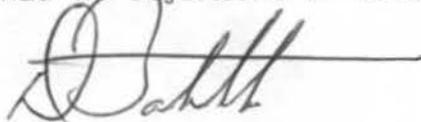
In response to Food City Supermarket's presentation to the Committee Of The Whole of Council on January 9, 1989, I have met with a representative of R. Poon Architect Ltd., to discuss landscape requirements.

A revised plan was presented at this meeting which illustrated 2300m<sup>2</sup> of landscaping. Although this is a 745m<sup>2</sup> deficiency of the landscape requirement (3,045m<sup>2</sup>), I would recommend to City Council that this deficiency be accepted, subject to the following:

That Food City Supermarkets provide:

- A) extensive landscaping and tree planting on: 1. 64th Avenue boulevard; 2. Lot 7 M.R. adjacent to 67th Street; 3. the parking lot islands; 4. entrance/egress points to the development; and 5. adjacent to the buildings.
- B) tree/shrub planting shall be completed in accordance with City Standards, with approximately: 1. 55 coniferous trees; 2. 80 deciduous trees and 550 shrubs.
- C) a detailed landscaping plan indicating the above be submitted to the City for approval. Upon completion of the landscaping on site, that Food City Supermarkets be responsible for the maintenance of all areas. This requirement has been set by precedent with the existing two major shopping centres in Red Deer.

These recommendations were presented to Mr. Poon who, in principle, had no objections or concerns.



DON BATCHELOR

DB/ad

- c. H. Michael C. Day, City Commissioner  
Ryan Strader, Bylaws & Inspections Manager  
Craig Curtis, Director of Community Services  
Bryon Jeffers, Director of Engineering Services  
Ken Haslop, Engineering Services Manager  
Peter Wasylyshyn, Parks Planner

100-065F

DATE: January 18, 1989  
TO: City Clerk  
FROM: Engineering Services Manager  
RE: FOOD CITY SUPERMARKET  
LOT 2, BLOCK 14, PLAN 812-0222

---

With regard to the proposed Food City development in Heritage Business Park, we are in receipt of a site plan from the architect (received January 17, 1989); but not the Traffic Study. We discussed some items, by phone, with the engineering consultant and indicated that we would not have the opportunity to review the Study until Thursday, January 19, 1989, due to other commitments.

Items of concern to the Engineering Department are:

1. Potential shortcutting through site from 67 Street to Graham Drive.
2. Traffic generated from the site, and the ability of the traffic signal at 64 Avenue and 67 Street to handle this volume.
3. The responsibility, schedule, and design of the auxiliary lanes adjacent to 64 Avenue and 67 Street.

Until these items are thoroughly reviewed and agreed upon, we cannot indicate our support.

  
Ken G. Haslop, P. Eng.  
Engineering Services Manager

KGH/emg

c.c. Director of Community Services  
c.c. By-laws and Inspections Manager  
c.c. E. L. & P. Manager  
c.c. Parks Manager  
c.c. Urban Planning Section Manager

DATE: January 18, 1989  
 TO: City Clerk  
 FROM: Bylaws and Inspections Manager  
 RE: HERITAGE BUSINESS PARK / LOT 2, BLOCK 14, PLAN 812-0222

---

In response to your memo regarding the above subject, we have the following comments for Council's consideration:

The area in question is zoned DC (Direct Control), with a list of uses that are specific to each site. In 1987, Council added the following Use Table for Area 2:

- "(1) Food store with a minimum gross leasable area of 2,322 m<sup>2</sup> and a maximum gross leasable area of 3,550 m<sup>2</sup>.
- (2) Additional permitted and discretionary commercial uses as outlined in Sections 6.2.2.4 and 6.2.2.5 (2672/G-87)" (see attached).

The applicant's proposal for this site complies with the Bylaw insofar as use. However, the proposed development does not comply with the development standards set by Council for this site. The developer is proposing a 5,057 m<sup>2</sup> grocery store with 1,251 m<sup>2</sup> of commercial rental units, for a total of 6,307 m<sup>2</sup>. Shown below are the items that do not comply:

1. Floor Area - Gross Leasable Area -

- a) Grocery Store
  - Maximum - 3,550 m<sup>2</sup>
  - Proposed - 4,975 m<sup>2</sup>
  - Deficient - 1,425 m<sup>2</sup>
- b) Total Development
  - Maximum - 5,400 m<sup>2</sup>
  - Proposed - 6,241 m<sup>2</sup>
  - Deficient - 841 m<sup>2</sup>

2. Landscaping -

- Required - 3,045 m<sup>2</sup> (15% of the total site area)
- Proposed - 2,798 m<sup>2</sup>
- Deficient - 247 m<sup>2</sup>

3. Parking -

- Required - 369 Stalls (5.5 stalls/93 m<sup>2</sup> of gross leasable area)
- Proposed - 351 Stalls
- Deficient - 18 Stalls

In our discussions with the applicant, it was their position that the location of

. . . CONTINUED . . .

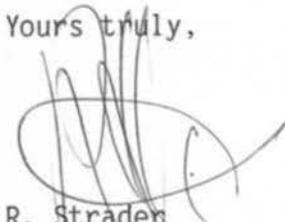
City Clerk  
January 18, 1989  
Page 2

commercial rental units were required to support the main component. When discussing the landscaping, their position was that if the final plan is still deficient in landscaping, they would be willing to upgrade with shrubs, trees, etc., which will substitute quality for quantity. Parking was sufficient, in their opinion, when using only the floor area of the store devoted to retail and subtracting storage and office space to calculate the parking requirement. Using this arrangement, there would be a surplus of 41 stalls.

In our opinion, the proposed use of this site complies with Council's intent expressed in the 1987 amendment in that, while the size of the grocery store portion is larger than contemplated, there are no significant relaxations required if the parking arrangement is acceptable.

We recommend the Land Use Bylaw be amended to accommodate the development.

Yours truly,

A handwritten signature in black ink, appearing to read 'R. Strader', written over a circular stamp or mark.

R. Strader  
Bylaws and Inspections Manager  
BUILDING INSPECTION DEPARTMENT

RS/pr

Attachment

6.2.2 C2 COMMERCIAL (REGIONAL AND DISTRICT SHOPPING CENTRE) DISTRICT

6.2.2.1 General Purpose of District

The purpose of this district is to provide for regional shopping centres in which generally the full range of uses and services normally found in the city centre may locate and to provide for district shopping centres in which a lesser range of uses and services may locate catering to the needs of nearby neighbourhoods. (2672/D-84)

6.2.2.2 Permitted Uses in Regional Shopping Centres

- (1) Uses listed as permitted in the C1 Commercial (City Centre) district, Section 6.2.1.2 except signs, offices, commercial entertainment establishments, and private clubs/organizations. (2672/D-84)

6.2.2.3 Discretionary Uses in Regional Shopping Centres

- (1) Uses listed as discretionary in the C1 Commercial (City Centre) district, Section 6.2.1.3. (2672/D-84)
- (2) Signs - Identification - Class C (see Section 4.12)
  - Local Advertising - Class C
  - General Advertising
- (3) Office within a shopping center subject to Section 6.2.2.8(1) (2672/D-84)
- (4) All permitted and discretionary uses in the C1 District, subject to the provisions of Section 6.2.2 and 4.13.1. (2672/A-80)

6.2.2.4 Permitted Uses in District Shopping Centres

- (1) Uses listed as permitted in the C1 Commercial (City Centre) district, Section 6.2.1.2 except signs, offices, commercial entertainment establishments, private clubs/organizations, cocktail lounges, billiard/pool halls, and amusement arcades. (2672/D-84)

6.2.2.5 Discretionary Uses in District Shopping Centres

- (1) Uses listed as discretionary in the C1 Commercial (City Centre) district, Section 6.2.1.3. (2672/D-84)
- (2) Signs - Identification - Class C (see Section 4.12)
  - Local Advertising - Class C
  - General Advertising
- (3) Office within a shopping center subject to Section 6.2.2.8(1) (2672/D-84)
- (4) All permitted and discretionary uses in the C1 District, subject to the provisions of Section 6.2.2 and 4.13.1. (2672/A-80)

- (5) Cocktail lounges (2672/D-84)
- (6) Billiard/pool halls (2672/D-84)
- (7) Amusement arcades (2672/D-84)

6.2.2.6 Regulations

- (1) (a) Floor Area: Minimum - Dwelling Units 55 m<sup>2</sup>
  - District Shopping Centre 1,500 m<sup>2</sup> (GLA)
  - Regional Shopping Centre 10,000 m<sup>2</sup> (GLA)  
(2672/B-86)
- (b) Floor Area: Maximum - District Shopping Centre One third of site area to maximum 5,000 m<sup>2</sup> (GLA)
  - Regional Shopping Centre One third of site area (2672/B-86)
- (2) Building Height: Minimum - N/A
  - Maximum - Three storeys unless otherwise approved by the M.P.C.
- (3) Front Yard: Minimum 9 m, subject to Section 6.2.2.5
- (4) Side Yard: Minimum 9 m
- (5) Rear Yard: Minimum 9 m
- (6) Landscape Area: Minimum 15%
- (7) Parking Spaces Required: 5.5 spaces for every 93 m<sup>2</sup> of gross leasable floor area (Subject to Section 4.10)
- (8) Loading Space Required: One opposite each loading door with a minimum of one, subject to Section 4.11.
- (9) Site Area: Regional Shopping Centre - Minimum 3.0 ha (2672/D-84)
  - District Shopping Centre - Minimum 0.4 ha
  - Maximum 2.0 ha (2672/D-84)
- (10) Frontage: N/A

6.2.2.7 Site Development

- (1) The site plan, the relationship between buildings, structures and open spaces; the architectural treatment of buildings; the provision and architecture of landscaped open space; and the parking layout shall be subject to approval by the Development Officer or Municipal Planning Commission.
- (2) If strict adherence to Section 6.2.2.4 prohibits an effective relationship between buildings, structures and open spaces on the site and adjoining property the Municipal Planning Commission may relax the requirements of Section 6.2.2.4.

6.2.2.8 Special Provisions

- (1) Notwithstanding any provision of this Bylaw, office uses shall not be allowed above a second storey of any structure within the C.2 district, nor shall the area designated for office use in any such structure exceed five per cent (5%) of the gross leasable floor area of the ground level storey.

Commissioners' Comments

The attached application is for a proposed Food City Development in the Heritage Business Park at the N.E. corner of 64 Ave. and 67 Street. This proposal is similar to one approved by Council some time ago, but with some variances to site coverage and layout, parking and landscaping as detailed in the applicant's letter.

The administration has met with the applicant and resolved most of the concerns that were foreseen except for finalizing the traffic configuration associated with this development. The applicant has prepared an Engineering study but at the time of agenda preparation, this had not been received, and it is unlikely that we will have the opportunity to review this prior to the Council meeting.

We would recommend Council support the application subject to the resolution of any traffic concerns. For Council's information application for a development permit would be considered in the normal way.

"R.J. MCGHEE"  
Mayor

"M.C. DAY"  
City Commissioner

DATE: January 20, 1989  
TO: City Clerk  
FROM: Engineering Services Manager  
RE: FOOD CITY SUPERMARKET - LOT 2, BLOCK 14, PLAN 812-0222

---

Further to our January 18, 1989 comments, we have now reviewed the Traffic Report provided by Butler Krebs Lewis Associates Ltd. on behalf of Food City, and discussed our concerns with the Consultant. A final draft of the Report is expected by January 23 or 24, 1989.

As we understand from the Consultant, the following issues will be addressed by the Developer during the course of site construction:

1. SITE PLAN

The site plan will be amended to include a similar island configuration at the 64 Avenue access point, as provided at the 67 Street main access point.

The plan will be amended to include 2 signs, at the easterly access to 67 Street, indicating service vehicle entrance only.

2. REPORT

The Report will confirm that the V/C ratios (volume/capacity) at the 64 Avenue/67 Street intersection, and at the 59 Avenue/67 Street intersection will be adequate for both this proposal and ultimate total area development.

The Report will review the current length of left-turn bay at 67 Street and 64 Avenue for the westbound to southbound movement, to ensure it is adequate for the current proposal. If it is found to be inadequate, lengthening of the bay or dual left turns will have to be considered, and depending on the degree of inadequacy, alterations may be required initially or some time in the future.

3. 67 STREET/64 AVENUE CONSTRUCTION

This will conform to the previous conditions approved by Council, which are:

- a. The length of taper for the deceleration lane be a minimum of 60 m on 64 Avenue.

City Clerk  
Page 2  
January 20, 1989

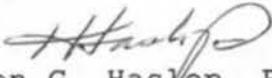
- b. The length of actual deceleration bay on 64 Avenue be a minimum of 40 m, not 25 m as shown in the report, due to the demand anticipated from Lot 3 to the north.
- c. The triangular channelization island to be included similar to that indicated for the 67 Street access.
- d. That an auxiliary lane be constructed from the requested 67 Street access point eastward to 59 Avenue. Said lane to be constructed at no cost to the City to provide for future access to other lots that abut 67 Street, in addition to Lot 2.
- e. A detailed construction drawing will be presented to the Engineering Department, relative to the 67 Street auxiliary lane and the 64 Avenue deceleration bay. All construction within the City right of way will conform to City design standards.

4. SITE SERVICES

The Developer will supply, for approval, a detailed servicing plan which will incorporate on-site catch basins for stormwater, and accept responsibility for all servicing costs and existing access modifications.

The Developer has endeavoured to minimize the potential for shortcutting through the site from 67 Street to Graham Drive, but in order for reasonable site access, cannot prevent this movement entirely.

Based on the information noted above, and assurances from the Consultant that the parking and access details should be satisfactory to both the City and the Developer, we have no further concerns relative to this proposal. Council will need to approve vehicle access across the 67 Street and 64 Avenue municipal reserve strip.

  
Ken G. Haslop, P. Eng.  
Engineering Services Manager

KGH/emg  
c.c. Director of Community Services  
c.c. By-laws and Inspections Manager  
c.c. E. L. & P. Manager  
c.c. Parks Manager  
c.c. Urban Planning Section Manager



# RED DEER REGIONAL PLANNING COMMISSION

2830 BREMNER AVENUE, RED DEER, ALBERTA, CANADA T4R 1M9

DIRECTOR: Robert R. Cundy M.C.I.P.

Telephone: (403) 343-3394

Fax: (403) 346-1570

January 18, 1989

Mr. C. Sevcik  
City Clerk  
City of Red Deer  
RED DEER, ALBERTA  
T4N 3T4

Dear Sir:

Re: Proposed Food City Development  
Heritage Business Park  
Lot 2, Block 14, Plan 812 0222

As indicated in previous correspondence concerning this proposal, the City Planning Section expressed a concern that the proposed size of the development represented an overdevelopment of the site because of the required relaxations. The preliminary proposal exceeded the maximum gross leasable area (G.L.A.) established for the site by 17%. The proposed food store is approximately 40% larger than any other food store in the City, and therefore it is anticipated that the development may generate a regional market. Thus it is our opinion that the site requirements of the Land Use Bylaw should not be unduly compromised.

The revised proposal before City Council is a result of discussions between the developer and the City Administration. The total size of the proposal has been only slightly scaled down, but some other modifications have been made to reduce some of the concerns expressed by the administration. The developer indicates that the Parks Department generally supports the new proposed landscaping component and that the traffic impact should not create any major problems. It is assumed that both the Parks Department and the Engineering Department will comment further on these aspects.

. . . 2

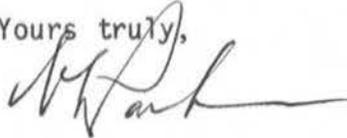
#### MUNICIPALITIES WITHIN COMMISSION AREA

CITY OF RED DEER—TOWN OF BLACKFALDS—TOWN OF BOWDEN—TOWN OF CARSTAIRS—TOWN OF CASTOR—TOWN OF CORONATION—TOWN OF DIDSBURY—TOWN OF ECKVILLE—TOWN OF INNISFAIL—TOWN OF LACOMBE—TOWN OF OLDS—TOWN OF PENHOLD—TOWN OF ROCKY MOUNTAIN HOUSE—TOWN OF STETTLER—TOWN OF SUNDRE—TOWN OF SYLVAN LAKE—VILLAGE OF ALIX—VILLAGE OF BENTLEY—VILLAGE OF BIG VALLEY—VILLAGE OF BOTHA—VILLAGE OF CAROLINE—VILLAGE OF CLIVE—VILLAGE OF CREMONA—VILLAGE OF DELBURNE—VILLAGE OF DONALDA—VILLAGE OF ELNORA—VILLAGE OF GADSBY—VILLAGE OF HALKIRK—VILLAGE OF MIRROR—SUMMER VILLAGE OF BIRCHCLIFF—SUMMER VILLAGE OF GULL LAKE—SUMMER VILLAGE OF HALF MOON BAY—SUMMER VILLAGE OF NORGLINWOLD—SUMMER VILLAGE OF ROCHON SANDS—SUMMER VILLAGE OF WHITE SANDS—SUMMER VILLAGE OF JARVIS BAY—COUNTY OF LACOMBE No. 14—COUNTY OF MOUNTAIN VIEW No. 17—COUNTY OF PAINTEARTH No. 18—COUNTY OF RED DEER No. 23—COUNTY OF STETTLER No. 6—MUNICIPAL DISTRICT OF CLEARWATER No. 99

Our main concern was the requested parking relaxation. The initial proposal showed a deficiency of 40 spaces less than the Bylaw requirement. This revised proposal shows a deficiency of 18 parking spaces, representing a 5% deficiency which is less than half of the initial relaxation.

In consideration of the revisions which have either offset or substantially reduced the required relaxations and provided traffic concerns are adequately resolved, we will support the revised proposal.

Yours truly,

A handwritten signature in black ink, appearing to read 'V. Parker', with a long horizontal flourish extending to the right.

Vernon Parker  
Associate Planner  
City Planning Section

VP/kjc



# THE CITY OF RED DEER

P.O. BOX 5008, RED DEER, ALBERTA T4N 3T4

City Clerk's Department 342-8132

January 12, 1989

Food City Supermarkets  
Ste. 232, 5401 Temple Drive N.E.  
Calgary, Alberta  
T1Y 3R7

Attention: Mr. Wallace Chow, P.Eng., V.P. of Dev. & Research

Dear Sir:

RE: PROPOSED FOOD CITY DEVELOPMENT/HERITAGE BUSINESS PARK  
LOT 2, BLOCK 14, PLAN 812-0222

Your letter of December 23, 1988, concerning the above matter was presented to Committee of the Whole of Council January 9, 1989, and we also wish to thank you for your informal presentation made to Council at the aforementioned meeting.

Members of Council appear to be in general agreement with the proposal and we will await your formal application for submission to an open meeting of Council and for an official ruling by Council. As you are no doubt aware, Council cannot pass a resolution in a Committee Meeting of the Whole or Closed Meeting.

You have been provided with a copy of the administrative comments concerning your proposal. A number of concerns have been expressed by the administration, and in your formal presentation to Council, we trust that you will address those concerns.

Once again, we thank you for your presentation made on January 9 and look forward to receipt of your formal application in due course. If you have any questions, please do not hesitate to contact the undersigned.

Sincerely,

C. Sevcik  
City Clerk  
CS/ds

c.c. City Commissioners    Bylaws & Inspections Mgr.    City Assessor  
Dir. of Engineering Services    Urban Planner    Fire Chief  
Dir. of Community Services    E.L. & P. Manager    Parks Manager  
Economic Development Manager

### FOOD CITY SUPERMARKETS

TELECOPIER COVER SHEET  
OUR FAX NO. (403) 293-6758

DATE: January 17, 1989  
TO: City of Red Deer  
Mr. C. Sencik, City Clerk  
TELECOPIER NO. 246-6125

Mail Original \_\_\_\_\_  
Courier Original   
Fax Only \_\_\_\_\_

FROM: Wallace Chan

NUMBER OF PAGES INCLUDING COVER SHEET: 3  
IF YOU DO NOT RECEIVE ALL PAGES, CONTACT: Wallace Chan  
MESSAGE: Letter requesting open annual hearing for Jan. 23/89

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

FOOD CITY SUPERMARKETS  
#232, 5401 TEMPLE DRIVE N.E. CALGARY, ALBERTA T1Y 3R7  
(403) 285-8115

DATE 89/01/18

- TO:
- DIRECTOR OF COMMUNITY SERVICES
  - DIRECTOR OF ENGINEERING SERVICES
  - DIRECTOR OF FINANCE
  - BYLAWS & INSPECTIONS MANAGER
  - CITY ASSESSOR
  - ECONOMIC DEVELOPMENT MANAGER
  - E. L. & P. MANAGER
  - F.C.S.S. MANAGER
  - FIRE CHIEF
  - PARKS MANAGER
  - PERSONNEL MANAGER
  - R.C.M.P. INSPECTOR
  - RECREATION MANAGER
  - TRANSIT MANAGER
  - URBAN PLANNING SECTION MANAGER
  - \_\_\_\_\_

FROM: CITY CLERK

RE: Food City Supermarkets

Please submit comments on the attached to this office by Jan 19/89  
for the Council Agenda of Jan. 23/89.

  
E. SEVCIK  
City Clerk

Ronald Poon Architect Ltd.

301 • 603 • 11 Avenue S.W., Calgary • Alberta  
T2R 0E1 (403) 264-4000

Ronald M. Poon B.E.S. • M. Arch. • MAAA

DATE 89/01/18

- TO:
- DIRECTOR OF COMMUNITY SERVICES
  - DIRECTOR OF ENGINEERING SERVICES
  - DIRECTOR OF FINANCE
  - BYLAWS & INSPECTIONS MANAGER
  - CITY ASSESSOR
  - ECONOMIC DEVELOPMENT MANAGER
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  - URBAN PLANNING SECTION MANAGER
  - \_\_\_\_\_

FROM: CITY CLERK

RE: Food City Supermarkets

Please submit comments on the attached to this office by Jan 19/89  
for the Council Agenda of Jan. 23/89.

*C. Sevcik*  
C. SEVCIK  
City Clerk

# FOOD CITY

January 17, 1989

The City Clerk  
The City of Red Deer  
P.O. Box 5008  
Red Deer, Alberta  
T4N 3T4

Dear Sir/Madam:

**Re: Proposed Food City Development, Heritage Business Park  
Lot 2, Block 14, Plan 812-0222, Red Deer, Alberta**

We request that the Council of the City of Red Deer grant us an open meeting on January 23, 1989 to facilitate the presentation of our proposed development.

Food City is an independent grocery chain with 7 stores in Calgary, 1 in Edmonton, and a new one presently being constructed in Lethbridge. We propose to develop a store in Red Deer along with some auxiliary retail stores. However, due to our style of operation and the economics of the development, our proposal has variances from that required by the existing Land Use Bylaw. The following is a list of these variances.

## 1. Floor Areas

- a) Maximum floor area of food store exceeds existing bylaw.  
 Allowable area: 3550 sq. m.  
 Requested area: 4975 sq. m.  
 Increased area: 1425 sq. m.
- b) Maximum floor area of total shopping centre exceeds existing bylaw.  
 Allowable area: 5400 sq. m. (26.6% site coverage)  
 Requested area: 6241 sq. m. (30.8% site coverage)  
 Increased area: 841 sq. m.

Please note that while the food store area increases by 1425 sq. meters, the total shopping centre area increases by only 841 sq. meters. The reason is that a larger proportion of the new development is in the food store.

## 2. Parking Requirements

Required by existing bylaw: 369 stalls  
 Proposed in development: 351 stalls  
 Difference: 18 stalls

The existing bylaw requires parking to be calculated based on the total gross area of the building. In actual fact, our food store will have over 21% of its area occupied by storage rooms and work areas. The net sales area, the area that will be occupied by the customers and the majority of our staff, occupies less than 80% of the total building area. Using the net sales area for calculation gives the following:

Food Store:	235 stalls	(based on 80% of total Food Store area)
Retail	<u>75 stalls</u>	(based on 100% of total Retail area)
Total	310 stalls	required for entire development

With respect to the size of the buildings and the parking requirements, the Building Inspection Department, in their letter of December 29, 1988, recommends that the existing Land Use Bylaw be amended to accommodate this development.

*figure corrected to 2300 sq. m  
as per discussion with R. Poon  
dated 8/9/89*

**3. Landscaping Requirements**

Required: 3045 sq. m.  
Provided: 2149 sq. m.  
Difference: 896 sq. m.

In view of the fact that a large boulevard exists between the site and 64th Avenue as well as 67th Street, we propose to upgrade and landscape the public boulevard instead of providing all of the required landscaping on site.

Our architect, Ronald Poon, has prepared a landscaping drawing for the Parks Department's review and in a meeting with them on Tuesday, January 17, 1989 has obtained their verbal approval of our plans. We expect to see a letter of confirmation from them to this effect in the near future.

**4. Traffic Study**

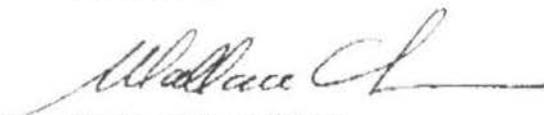
At the request of the City Engineer, a traffic engineering consultant is presently studying possible impacts of the development. Their findings should be available in the near future. From their preliminary review, however, they cannot see any concerns, raised either by the City Engineer or themselves, that cannot be resolved by small changes to the present site plan.

We request that City Council amend the existing Land Use Bylaw to accommodate this development. We understand that the only issue raised by the City Administration that must still be resolved is the issue of the possible traffic impact this development may have. We hope to satisfy the City Engineer of this concern before January 23, 1989 but should this not be the case we request that Council amend the Bylaw as per the proposed development plans and deal with the traffic issue separately at the development permit application stage.

We wish to point out that we are a unique developer in the sense that we will be the owner, developer, and user of this project and as such will have a continued interest in maintaining a high quality development both now as well as in the future.

We would also like to thank the City Administration ahead of time for their cooperation and foresight in dealing with these issues.

Yours truly,



Wallace Chow P.Eng.  
Vice-President of Development and Research

WC/bk: wc/ssc/rd/city-jan17/89

DATE 89/01/18

- TO:
- DIRECTOR OF COMMUNITY SERVICES
  - DIRECTOR OF ENGINEERING SERVICES
  - DIRECTOR OF FINANCE
  - BYLAWS & INSPECTIONS MANAGER
  - CITY ASSESSOR
  - ECONOMIC DEVELOPMENT MANAGER
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  - R.C.M.P. INSPECTOR
  - RECREATION MANAGER
  - TRANSIT MANAGER
  - URBAN PLANNING SECTION MANAGER
  - \_\_\_\_\_

*NO CO  
 ECH has no comments  
 which were not already  
 already made at the time  
 of your earlier request.  
 J. Sevcik  
 Jan 17/89*

FROM: CITY CLERK

RE: Food City Supermarkets

Please submit comments on the attached to this office by Jan 19/89  
for the Council Agenda of Jan. 23/89.

*R. Sevcik*  
 R. SEVCIK  
 City Clerk

January 17, 1989

The City Clerk  
The City of Red Deer  
P.O. Box 5008  
Red Deer, Alberta  
T4N 3T4

Dear Sir/Madam:

**Re: Proposed Food City Development, Heritage Business Park  
Lot 2, Block 14, Plan 812-0222, Red Deer, Alberta**

We request that the Council of the City of Red Deer grant us an open meeting on January 23, 1989 to facilitate the presentation of our proposed development.

Food City is an independent grocery chain with 7 stores in Calgary, 1 in Edmonton, and a new one presently being constructed in Lethbridge. We propose to develop a store in Red Deer along with some auxiliary retail stores. However, due to our style of operation and the economics of the development, our proposal has variances from that required by the existing Land Use Bylaw. The following is a list of these variances.

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Total	310 stalls	required for entire development

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THE CITY OF RED DEER  
CLERK'S DEPARTMENT

RECEIVED	
TIME	11:30
DATE	Jan. 19/89
BY	SP

**3. Landscaping Requirements**

Required: 3045 sq. m.  
Provided: 2149 sq. m.  
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In view of the fact that a large boulevard exists between the site and 64th Avenue as well as 67th Street, we propose to upgrade and landscape the public boulevard instead of providing all of the required landscaping on site.

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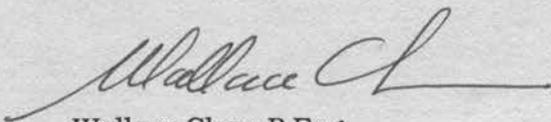
At the request of the City Engineer, a traffic engineering consultant is presently studying possible impacts of the development. Their findings should be available in the near future. From their preliminary review, however, they cannot see any concerns, raised either by the City Engineer or themselves, that cannot be resolved by small changes to the present site plan.

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We would also like to thank the City Administration ahead of time for their cooperation and foresight in dealing with these issues.

Yours truly,



Wallace Chow P.Eng.  
Vice-President of Development and Research

WC/bk: wc/ssc/rd/city-jan17/89

# FOOD CITY *Shopping centres that work*

January 17, 1989

The City Clerk  
The City of Red Deer  
P.O. Box 5008  
Red Deer, Alberta  
T4N 3T4

Dear Sir/Madam:

**Re: Proposed Food City Development, Heritage Business Park  
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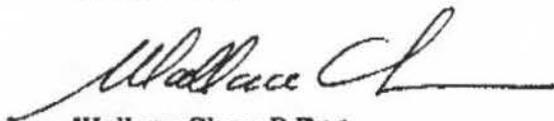
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Yours truly,



Wallace Chow P.Eng.  
 Vice-President of Development and Research

WC/bk: wc/ssc/rd/city-jan17/89

**THE CITY OF RED DEER**

P.O. BOX 5008, RED DEER, ALBERTA T4N 3T4

City Clerk's Department 342-8132

January 26, 1989

Food City Supermarket  
Suite 232, 5401 Temple Drive N.E.  
Calgary, Alberta  
T1Y 3R7

Attention: Mr. Wallace Chow, P.Eng., V.P., Development &amp; Research

Dear Sir:

RE: PROPOSED FOOD CITY DEVELOPMENT/HERITAGE BUSINESS PARK  
LOT 2, BLOCK 14, PLAN 812-0222

Your correspondence of January 17, 1989, concerning the above was presented on the Council Agenda of January 23, 1989, and at which meeting, Council passed the following motion.

"RESOLVED that Council of The City of Red Deer, having considered proposed development by Food City on Lot 2, Block 14, Plan 812-0222, Heritage Business Park, hereby approve said development and all relaxations as presented to Council January 23, 1989, subject to resolution of any traffic concerns and receipt of all necessary approvals pertaining to a Development Permit."

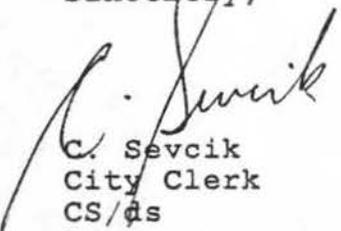
I am also enclosing herewith the administrative comment which appeared on the Council Agenda of January 23, including the comments of the Engineering Services Manager, which were not received in time for printing on the said agenda.

To proceed further with the proposed development, it will be necessary for you to submit an application to the Bylaws & Inspections Manager for receipt of all permits and necessary approvals prior to any construction taking place. For further information in this regard, please contact the Bylaws & Inspections Manager, Mr. R. Strader (342-8195).

Page 2  
Food City

The decision of Council in this instance is submitted for your information and I trust you will find same satisfactory. We wish to take this opportunity of wishing you every success in this endeavor.

Sincerely,

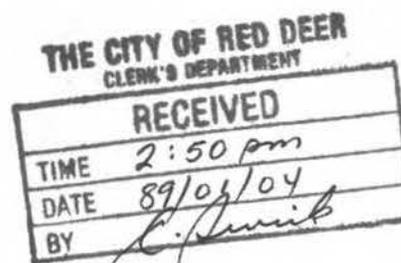


C. Sevcik  
City Clerk  
CS/as  
Encl.

c.c. Bylaws & Inspections Manager  
Dir. of Engineering Services  
Dir. of Community Services  
Parks Manager  
Urban Planner  
City Assessor  
E.L. & P. Manager  
City Commissioners

NO. 5

4 January 1989



RED DEER CITY COUNCIL  
Box 5008  
RED DEER, AB  
T4N 3T4

RE: TEMPORARY STRUCTURE at 5304 - 59 Street

At the October 31st, 1988, Municipal Planning Commission meeting an application was approved for a 0.6 m relaxation to a temporary accessory building to be located for a 6 month period at 5304 - 59 Street (Lot 29, Block 20, Plan 822-3131) zoned R1A.

Subsequent to the above approval, an appeal was heard at the December 1st, 1988 Development Appeal Board hearing from the adjacent property owner, Daryl and Darci Mayhew, 5906 - 53 Avenue. The Development Appeal Board reversed the Municipal Planning Commission decision and denied a 0.6 m relaxation for the temporary accessory building on the grounds that it does affect the amenities of the neighborhood.

I would like to discuss this matter with Council to explore the possibility of getting an extension for the removal of the subject building.

Thank you.

Sincerely,



R.M. HANSON  
5304 - 59 Street  
RED DEER, AB

DATE: January 18, 1989  
 TO: City Clerk  
 FROM: Bylaws and Inspections Manager  
 RE: 5304 - 59 STREET / MR. R. M. HANSON

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In response to your memo regarding the above subject, we have the following comments for Council's consideration:

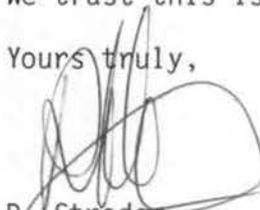
A complaint was received by our office, requesting that we check a structure located on Mr. Hanson's property. After an inspection was made, a letter was sent to Mr. Hanson requesting that he apply for approval for the structure. Mr. Hanson applied to the Municipal Planning Commission for a relaxation of the Land Use Bylaw, as the structure was located 0.3 m (1 ft.) from the property line, instead of the Bylaw requirement of 0.9 m (3 ft.). The Commission approved the request for a six-month period of time. It was their intention that, at the end of the six months, the structure was to be located in accordance with the Bylaw requirement.

An appeal requesting that the decision of the Municipal Planning Commission be overturned was heard December 1, 1988 by the Red Deer Development Appeal Board, who reversed the Commission's decision (see attached). Our department then contacted Mr. Hanson, and requested that he comply with the Appeal Board decision. At this time, Mr. Hanson wrote a letter to City Council.

When dealing with Mr. Hanson's request, Council should be aware that the Land Use Bylaw does not contain any provision for an Appeal Board decision being postponed or overturned, except on a question of law or jurisdiction, as decided by the Alberta Court of Appeal. The Appeal Board was aware of the time limit set by the Municipal Planning Commission and, in light of their decision, felt the structure should be removed immediately.

We trust this is of information to Council.

Yours truly,

  
 R. Strader  
 Bylaws and Inspections Manager  
 BUILDING INSPECTION DEPARTMENT

Commissioners' Comments

The comments of the Bylaws & Inspections Manager are self-explanatory and Mr. Hanson has indicated he wishes to speak to Council on this matter. However, it would appear that Council has no jurisdiction in the decision of D.A.B.

RS/pr

Attachment

"R.J. MCGHEE", Mayor

"M.C. DAY", City Commissioner



**THE CITY OF RED DEER**

P.O. BOX 5008, RED DEER, ALBERTA T4N 3T4

City Clerk's Department 342-8132

January 5, 1989

Mr. R. M. Hanson  
5304 - 59 Street  
Red Deer, Alberta

Dear Sir:

RE: TEMPORARY STRUCTURE, 5304 - 59 STREET, LOT 29, BLOCK 20,  
PLAN 822-3131, REQUEST FOR 0.6 M SIDEYARD RELAXATION

I acknowledge receipt of your letter of January 4, 1989 relative to the above matter.

This item is scheduled to be discussed at the January 23, 1989 Council meeting. Council meetings begin at 4:30 p.m. in the Council Chambers of City Hall, 2nd Floor (access from park side of City Hall) and recess for dinner at 6:00 p.m. Council then reconvenes at 7:00 p.m. to discuss all remaining items. If you would please telephone our office on the morning of January 23rd, we will advise you of the approximate time that Council will be discussing this item in order that you can be present to speak to Council.

In the meantime, if you have any questions, please do not hesitate to contact the writer.

Regards,

  
C. SEVCIK  
CITY CLERK  
CS/sp

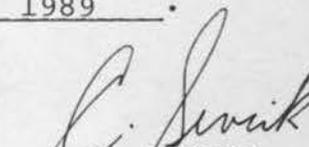
DATE January 5, 1989

- TO:  DIRECTOR OF COMMUNITY SERVICES  
 DIRECTOR OF ENGINEERING SERVICES  
 DIRECTOR OF FINANCE  
 BYLAWS & INSPECTIONS MANAGER  
 CITY ASSESSOR  
 ECONOMIC DEVELOPMENT MANAGER  
 E. L. & P. MANAGER  
 F.C.S.S. MANAGER  
 FIRE CHIEF  
 PARKS MANAGER  
 PERSONNEL MANAGER  
 R.C.M.P. INSPECTOR  
 RECREATION MANAGER  
 TRANSIT MANAGER  
 URBAN PLANNING SECTION MANAGER  
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FROM: CITY CLERK

R. M. HANSON, REQUEST 0.6 m RELAXATION  
TEMPORARY ACCESSORY BUILDING 5304-59 ST.  
RE: / LOT 29, BLOCK 20, PLAN 822-3131) ZONED R1A

Please submit comments on the attached to this office by January 16, 1989  
for the Council Agenda of January 23, 1989.

  
C. SEVCIK  
City Clerk

**THE CITY OF RED DEER**

P.O. BOX 5008, RED DEER, ALBERTA T4N 3T4

City Clerk's Department 342-8132

January 26, 1989

Mr. R.M. Hanson  
5304 - 59 Street  
Red Deer, Alberta  
T4N 5J7

Dear Sir:

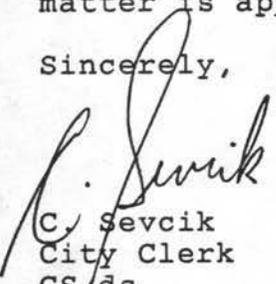
RE: TEMPORARY STRUCTURE AT 5304 - 59 STREET

I would advise that your letter of January 4, 1989, concerning the above topic was presented to Council January 23, 1989.

At the above noted meeting, Council agreed it had no jurisdiction in the matter as same was dealt with by the Red Deer Development Appeal Board. Accordingly, you will have to comply with the decision of the Development Appeal Board.

I wish to thank you for taking the time to be present at the Council Meeting of January 23, 1989. Your cooperation in this matter is appreciated.

Sincerely,



C. Sevcik  
City Clerk  
CS/ds

c.c. City Commissioners  
Bylaws & Inspections Manager

DATE: January 26, 1989  
TO: City Council  
FROM: City Clerk  
RE: NOTICE OF MOTION/ALDERMAN CONNELLY/SAFE COMMUNITY  
PROGRAM STICKERS

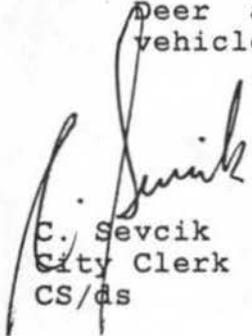
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Alderman Connelly submitted the following Notice of Motion,  
Tuesday, January 24.

"WHEREAS The City of Red Deer is involved in a Safe  
Community Program

AND WHEREAS there are stickers available for promotion  
of said program

THEREFORE BE IT RESOLVED that Council of The City of Red  
Deer authorize use of said stickers on all City  
vehicles."



C. Sevcik  
City Clerk  
CS/ds