



A G E N D A

FOR THE *REGULAR MEETING OF RED DEER CITY COUNCIL*

TO BE HELD IN THE COUNCIL CHAMBERS, CITY HALL

TUESDAY, MAY 22, 2007

COMMENCING AT 3:00 P.M.

- (1) Confirmation of the Minutes of the Regular Meeting of Monday, May 7, 2007.

- (2) **UNFINISHED BUSINESS**
 1. Corporate Controller, Finance & Budgeting – *Re: Loans Receivable Bylaws:*
 - (a) *Borrowing Bylaw 3389/2007 – to Red Deer County for the construction of upgrades to The City of Red Deer’s existing water utility to provide potable water to the County in the amount of \$932,280.*
(Consideration of 2nd & 3rd Readings of the Bylaw)

 - (b) *Borrowing Bylaw 3390/2007 – to Red Deer Gymnastics Association for the construction of a Gymnastics Facility within the Collicutt Centre in the amount of \$1,000,000.*
(Consideration of 2nd & 3rd Readings of the Bylaw)

- (c) *Borrowing Bylaw 3391/2007 – to River Bend Golf and Recreation Society for the construction of a clubhouse expansion and renovation in the amount of \$1,700,000.*
(Consideration of 2nd & 3rd Readings of the Bylaw)

- (d) *Borrowing Bylaw 3392/2007 – to Red Deer Minor Hockey Commission for the construction of an NHL sized ice rink facility within the Collicutt Centre in the amount of \$1,000,000.*
(Consideration of 2nd & 3rd Readings of the Bylaw) . .1

(3) **PUBLIC HEARINGS**

- 1. *Parkland Community Planning Services – Re: Land Use Bylaw Amendment 3357/K-2007 – Rezoning of Existing Social Care Site from PS Public Service District to R1 Low Density Residential / Vanier Woods Neighbourhood / Fanta Homes*
(Consideration of 2nd & 3rd Readings of the Bylaw) . .6

- 2. *Parkland Community Planning Services – Re: West Park Extension Neighbourhood Area Structure Plan Bylaw Amendment 3217/C-2007 – To Allow for Future Development of Two-Storey Homes with Walk-Out Basements on 8 R1 Lots / Trademark Western Properties*
(Consideration of 2nd & 3rd Readings of the Bylaw) . .9

(4) **REPORTS**

- 1. *Social Planning Manager – Re: Provincial Innovative Pilot Project Funding for Homelessness* . .16

- 2. *Director of Community Services – Re: Archives Offsite Storage – Short Term (1 – 3 Years)* . .20

3. Recreation, Parks & Culture Manager – *Re: Information Update – G.H. Dawe Centre Renovation Project* . .26
4. Fire Chief/Manager, Emergency Services – *Re: Replacement of the Voice Data Recorder for the 911 Communications Centre* . .34
5. Land and Appraisal Coordinator and Land and Economic Development Manager – *Re: Johnstone Crossing Phase 8, Residential Lot Pricing* . .37
6. Land and Appraisal Coordinator and Land and Economic Development Manager – *Re: Oriole Park Estates Phase 3, Residential Lot Pricing* . .41
7. Director of Corporate Services – *Re: Canada Alberta Municipal Rural Infrastructure Fund (CAMRIF)* . .45
8. Parkland Community Planning Services – *Re: Land Use Bylaw Amendment 3357/L-2007 – Michener Hill East Neighbourhood – Stage 1 & 2 - Rezoning of 20.24 Acres (7.49 Hectares) of Land from PS Public Service District to Semi-Detached Residential (R1A), Environmental Preservation (A2), Parks and Recreation (P1) and Road / David Thompson Health Region*
(Consideration of 1st Reading of the Bylaw) . .48
9. Parkland Community Planning Services – *Re: Land Use Bylaw Amendment 3357/M-2007 - Design Criteria for Identified Redevelopment Sites in the Riverside Meadows Overlay District / City of Red Deer* . .51
10. Parkland Community Planning Services – *Re: Johnstone Park Neighbourhood:*
 - (a) *Johnstone Park Neighbourhood Area Structure Plan Bylaw Amendment 3217/B-2007 / Carolina Homes Inc.*
(Consideration of 1st Reading of the Bylaw) . .83

- (b) *Land Use Bylaw Amendment 3357/N-2007 – Johnstone Park Neighbourhood – Rezoning of Approximately 4.34 ha of Land From A1 Future Urban Development District to R1A Semi-Detached Dwelling Residential District and R2-D59 (Medium Density Residential with a Maximum Density of 59 Units per Hectare) / Phases 11 & 12 / Carolina Homes Ltd.*
(Consideration of 1st Reading of the Bylaw) .94

(5) **CORRESPONDENCE**

(6) **PETITIONS AND DELEGATIONS**

(7) **NOTICES OF MOTION**

(8) **ADMINISTRATIVE INQUIRIES**

(9) **BYLAWS**

1. **3357/K-2007** - Land Use Bylaw Amendment - Rezoning of Existing Social Care Site from PS Public Service District to R1 Low Density Residential / Vanier Woods Neighbourhood / Fanta Homes
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2. **3217/C-2007** - West Park Extension Neighbourhood Area Structure Plan Bylaw Amendment - To Allow for Future Development of Two-Storey Homes with Walk-Out Basements on 8 R1 Lots / Trademark Western Properties
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3. **3389/2007** – Borrowing Bylaw - to Red Deer County for the construction of upgrades to The City of Red Deer’s existing water utility to provide potable water to the County in the amount of \$932,280.
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4. **3390/2007** – Borrowing Bylaw - to Red Deer Gymnastics Association for the construction of a Gymnastics Facility within the Collicutt Centre in the amount of \$1,000,000.
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5. **3391/2007** – Borrowing Bylaw - to River Bend Golf and Recreation Society for the construction of a clubhouse expansion and renovation in the amount of \$1,700,000.
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6. **3392/2007** – Borrowing Bylaw - to Red Deer Minor Hockey Commission for the construction of an NHL sized ice rink facility within the Collicutt Centre in the amount of \$1,000,000.
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. .1
7. **3357/L-2007** – Land Use Bylaw Amendment - Michener Hill East Neighbourhood – Stage 1 & 2 - Rezoning of 20.24 Acres (7.49 Hectares) of Land from PS Public Service District to Semi-Detached Residential (R1A), Environmental Preservation (A2), Parks and Recreation (P1) and Road / David Thompson Health Region
(1st Reading) . .106
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8.	3357/M-2007 – Land Use Bylaw Amendment - Design Criteria for Identified Redevelopment Sites in the Riverside Meadows Overlay District / City of Red Deer (1 st Reading)	. .108 . .51
9.	3217B-2007 – Johnstone Park Neighbourhood Area Structure Plan Bylaw Amendment / Carolina Homes Inc. (1 st Reading)	. .117 . .83
10.	3357/N-2007 – Land Use Bylaw Amendment - Rezoning of Approximately 4.34 ha of Land From A1 Future Urban Development District to R1A Semi-Detached Dwelling Residential District and R2-D59 (Medium Density Residential with a Maximum Density of 59 Units per Hectare) / Phases 11 & 12 / Carolina Homes Ltd. (1 st Reading)	. .153 . .94



Legislative & Administrative Services

DATE: May 14, 2007
TO: City Council
FROM: Kelly Kloss, Legislative & Administrative Services Manager
SUBJECT: Loans Receivable Bylaws

History

At the Monday, April 23, 2007 meeting of Council, Council gave first reading to the following bylaws:

- (a) Borrowing Bylaw 3389/2007 – to Red Deer County for the construction of upgrades to The City of Red Deer's existing water utility to provide potable water to the County in the amount of \$932,280.
- (b) Borrowing Bylaw 3390/2007 – to Red Deer Gymnastics Association for the construction of a Gymnastics Facility within the Collicutt Centre in the amount of \$1,000,000.
- © Borrowing Bylaw 3391/2007 – to River Bend Golf and Recreation Society for the construction of a clubhouse expansion and renovation in the amount of \$1,700,000.
- (d) Borrowing Bylaw 3392/2007 – to Red Deer Minor Hockey Commission for the construction of an NHL sized ice rink facility within the Collicutt Centre in the amount of \$1,000,000.

City Council
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Public Consultation Process

The above referenced bylaws were advertised to allow public input and are being presented to Council for consideration of second and third readings on May 22, 2007.

Discussion

If the bylaws are given third reading on May 22, 2007, there will be a 30 day waiting period. At the end of that period, on June 21, 2007, the bylaws will then be valid.

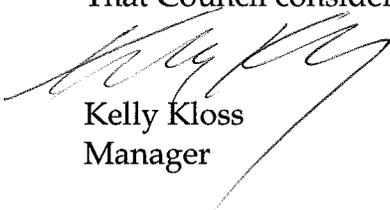
The following is an excerpt from the MGA - Part 8 (Financial Administration) regarding challenging the validity of a bylaw:

Section 273 (2) – ‘a borrowing bylaw is a valid bylaw if:

- a) no application has been made to the Court of Queen’s Bench to have the bylaw declared invalid within 30 days after the bylaw has been passed, or
- b) an application has been made to the Court of Queen’s Bench to have the bylaw declared invalid within 30 days after the bylaw has been passed and on the final disposition of the application and any appeal, the application is dismissed.’

Recommendation

That Council consider second and third reading of the bylaws.



Kelly Kloss
Manager



DATE: April 16, 2007
TO: Legislative and Administrative Services Manager
FROM: Corporate Controller, Finance & Budgeting
RE: Loans Receivable Bylaws

History

Dating back to 1998, City Council has considered and approved various loans to non-profit organizations. These loans directly related to City of Red Deer infrastructure and/ or facilities. The following table provides a summary of the loans.

Organization	Loan Amount	Purpose	Bylaw
Red Deer County	\$ 932,280	Connection to City water system for Gasoline Alley	
Red Deer Gymnastics Association	1,000,000	Contribution to capital costs of the Collicutt Centre	
Red Deer Minor Hockey Commission	1,000,000	Contribution to capital costs of the Collicutt Centre	
River Bend Golf & Recreation Society	1,700,000	Expansion of clubhouse	
Central Alberta Theatre	250,000	Renovations and addition to the Memorial Centre	3270/2000

The Public Sector Accounting Board defines a loan receivable to be "a financial asset of the government represented by a promise ... to repay a specific amount, at a specific time ... usually with interest". The loan can take the form of a disbursement of funds to the borrower, an exchange of assets or an assumption of liabilities.

Discussion

In a recent review by the City's Auditors it was noted that although Council did approve the loans in an open Council meeting, with the exception of the Central Alberta Theatre one step was inadvertently omitted. This step was approval of the loan by way of a bylaw.

Section 265(1) of the Municipal Government Act (MGA) states that "A municipality may only lend money to a non-profit organization, one of its controlled corporations or ... if the loan is authorized by bylaw". In the 2006 financial statements there are loans receivable with four of the five organizations listed in the table. One organization repaid its loan in 2006.

The reason for the oversight was the City had viewed the first four loans to be accounts receivable rather than loans receivable. It was drawn to our attention by the Auditor and confirmed by the City Solicitor that this interpretation was incorrect. As such it is necessary to request Council to re-approve the loans but this time by way of a bylaw. As part of the process the bylaws would be given 1st reading, advertised and then brought back to Council for consideration of 2nd and 3rd readings.

RECOMMENDATION

That Council approves 1st reading of bylaws 3389/2007, 3390/2007, 3391/2007 and 3392/2007 related to the agreements with Red Deer County, Red Deer Gymnastics Association, River Bend Golf & Recreation Society and Red Deer Minor Hockey Commission respectively.

Dean Krejci, B.Comm., CA
Corporate Controller, Finance and Budgeting

Comments:

As Council will recall, this is a housekeeping matter that is fulfilling the direction of our Auditors.

"Morris Flewwelling"
Mayor

"Craig Curtis"
City Manager

Legislative & Administrative Services

DATE: May 23, 2007
TO: Dean Krejci, Corporate Controller, Finance & Budgeting
FROM: Nona Housenga, Deputy City Clerk
SUBJECT: Loans Receivable Bylaws

Reference Report:

Legislative & Administrative Services Manager, dated May 14, 2007 and Corporate Controller, Finance & Budgeting, dated April 16, 2007

Bylaw Readings:

The following bylaws received second and third readings, copies of the bylaws are attached:

- (a) *Borrowing Bylaw 3389/2007 – to Red Deer County for the construction of upgrades to The City of Red Deer's existing water utility to provide potable water to the County in the amount of \$932,280.*
- (b) *Borrowing Bylaw 3390/2007 – to Red Deer Gymnastics Association for the construction of a Gymnastics Facility within the Collicutt Centre in the amount of \$1,000,000.*
- (c) *Borrowing Bylaw 3391/2007 – to River Bend Golf and Recreation Society for the construction of a clubhouse expansion and renovation in the amount of \$1,700,000.*
- (d) *Borrowing Bylaw 3392/2007 – to Red Deer Minor Hockey Commission for the construction of an NHL sized ice rink facility within the Collicutt Centre in the amount of \$1,000,000.*

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Loans Receivable Bylaws
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Report Back to Council: No.

Comments/Further Action:

There will now be a 30 day waiting period. At the end of that period, on June 21, 2007, the bylaws will then be valid.



Nona Housenga
Deputy City Clerk

/chk
attchs.

c Director of Corporate Services
 Financial Services Manager



Legislative & Administrative Services

DATE: May 14, 2007
TO: City Council
FROM: Kelly Kloss, Legislative & Administrative Services Manager
SUBJECT: Land Use Bylaw Amendment 3357/K-2007
Vanier Woods Public Service Site
Fanta Homes Ltd.

History:

At the Monday, April 23, 2007 meeting of Council, Land Use Bylaw Amendment 3357/K-2007 was given first reading.

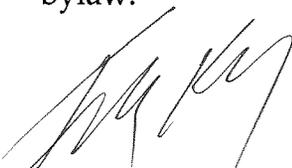
Land Use Bylaw Amendment 3357/K-2007 provides for the rezoning of the existing social/daycare/retirement (SDR) site from PS Public Service District to R1 Low Density Residential within the Vanier Woods neighbourhood. This will create 2 detached dwelling residential lots.

Public Consultation Process:

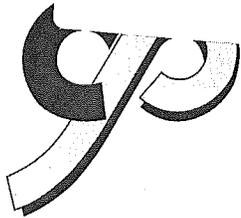
A Public Hearing has been advertised for the above noted bylaw to be held on Tuesday, May 22, 2007 at 6:00 p.m. in Council Chambers, during Council's regular meeting. The owners of the properties bordering the site have been notified by letter of the Public Hearing.

Recommendations:

That following the Public Hearing, Council consider second and third readings of the bylaw.



Kelly Kloss
Manager



DATE: April 13, 2007
TO: Kelly Kloss, Legislative and Administrative Services Manager
FROM: Martin Kvapil, Planning Assistant
RE: Land Use Bylaw Amendment No. 3357/K-2007
Vanier Woods Public Service Site
Fanta Homes Ltd.

Proposal

The applicant is proposing to subdivide the existing social/daycare/retirement (SDR) site within the Vanier Woods neighbourhood. The applicant is seeking rezoning to R1 Low Density Residential in order to create 2 detached dwelling residential lots.

The site is presently zoned within the PS Public Service District and contains a site area of 0.08 ha (0.2 ac.). In accordance with the Vanier Woods Neighbourhood Area Structure Plan, this site may be developed for residential use in the event that the site is not developed for an SDR use. The Social Planning Department has indicated that the appropriate advertising time frame has elapsed and that no interest was expressed for public service development.

The proposed rezoning conforms with the Vanier Woods Neighbourhood Area Structure Plan.

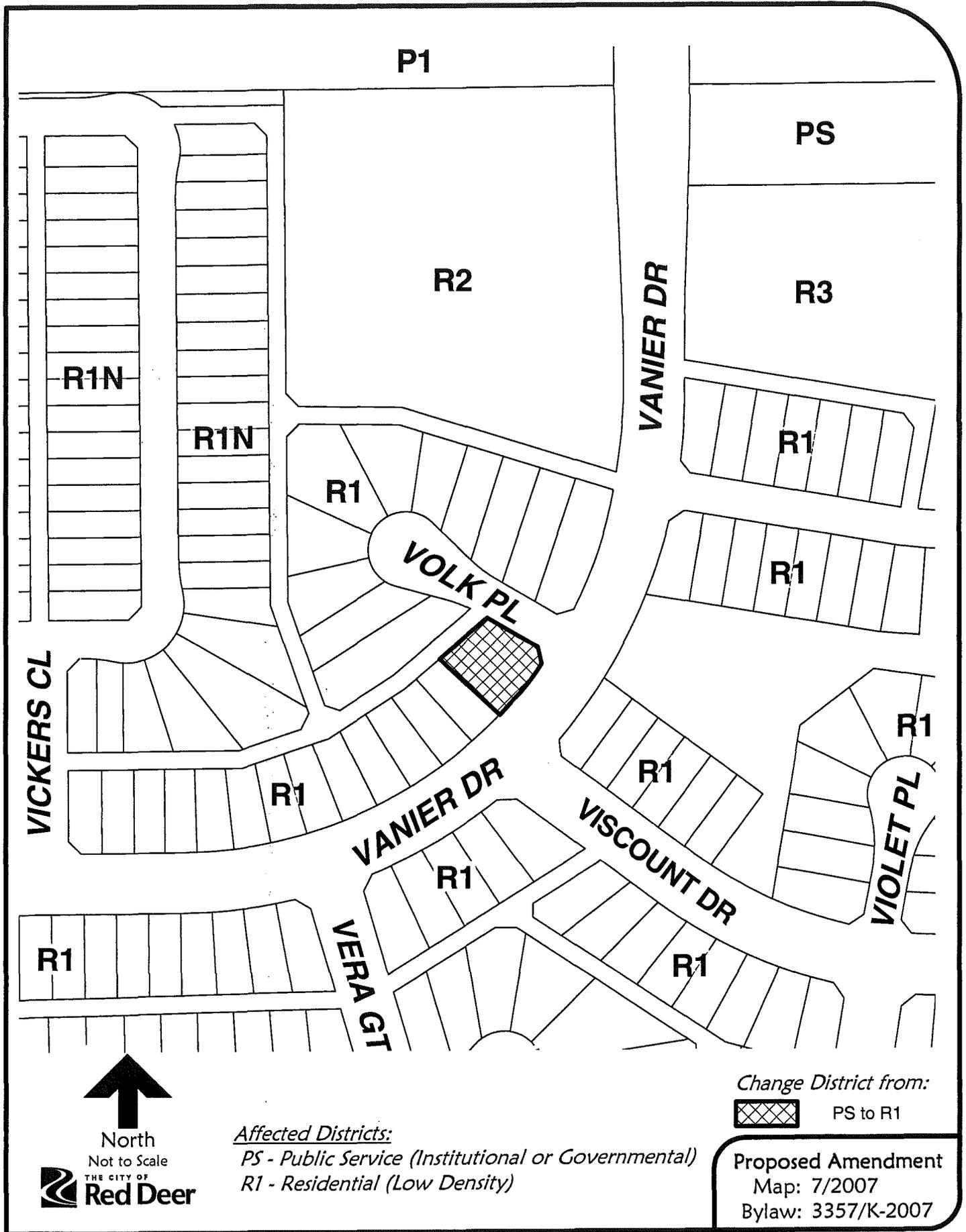
Staff Recommendation

It is recommended that City Council proceed with first reading of Land Use Bylaw Amendment 3357/K -2006.

Martin Kvapil
PLANNING ASSISTANT

Tony Lindhout
CITY PLANNING MANAGER

Proposed Amendment to Land Use Bylaw 3357/2006



North
Not to Scale



Affected Districts:

- PS - Public Service (Institutional or Governmental)*
- R1 - Residential (Low Density)*

Change District from:



PS to R1

Proposed Amendment
Map: 7/2007
Bylaw: 3357/K-2007



Council Decision – May 22, 2007

FILE

Legislative & Administrative Services

DATE: May 23, 2007
TO: Martin Kvapil, Parkland Community Planning Services
FROM: Nona Housenga, Deputy City Clerk
SUBJECT: Land Use Bylaw Amendment 3357/K-2007
Vanier Woods Public Service Site
Fanta Homes Ltd.

Reference Report:

Parkland Community Planning Services, dated April 13, 2007

Bylaw Readings:

Land Use Bylaw Amendment 3357/K-2007 received second and third reading. A copy of the bylaw is attached.

Report Back to Council: Yes.

A report is to be brought back to Council, in due course, regarding the size of social care and church lots and if they are being sold for those purposes.

Comments/Further Action:

Land Use Bylaw Amendment 3357/K-2007 provides for the rezoning of the existing social/daycare/retirement (SDR) site from PS Public Service District to R1 Low Density Residential within the Vanier Woods neighbourhood. This will create 2 detached dwelling residential lots. This office will amend the Land Use Bylaw in due course.

A handwritten signature in cursive script, appearing to read 'N. Housenga'.

Nona Housenga
Deputy City Clerk

attchs.

c Director of Development Services
Inspections & Licensing Manager
Land & Economic Development Manager
City Assessor
Jeff Fuller, Graphics Designer
LAS Admin Assistant

FILE



LEGISLATIVE & ADMINISTRATIVE SERVICES

May 23, 2007

Fanta Homes
#2, 4915 – 54 Street
Red Deer, AB T4N 2G7

Dear Sirs:

**Re: Land Use Bylaw Amendment 3357/K-2007
Vanier Woods Public Service Site
Fanta Homes Ltd.**

At the City of Red Deer's Council Meeting held May 22, 2007, a Public Hearing was held with respect to *Land Use Bylaw Amendment 3357/K-2007*. Following the Public Hearing, *Land Use Bylaw Amendment 3357/K-2007* was given second and third readings, a copy of which is attached.

Land Use Bylaw Amendment 3357/K-2007 provides for the rezoning of the existing social/daycare/retirement (SDR) site from PS Public Service District to R1 Low Density Residential within the Vanier Woods neighbourhood. This will create 2 detached dwelling residential lots.

Please call me if you have any questions or require additional information.

Sincerely,

Nona Housenga
Deputy City Clerk

/attach.

c Parkland Community Planning Services

LUB 3357/K-2007
Vanier Woods Public Service Site

DESCRIPTION: Rezoning of existing social/daycare/retirement (SDR) site from FS Public Service District to R1 Low Density Residential to create 2 detached dwelling residential lots.

FIRST READING: April 23, 2007

FIRST PUBLICATION: May 4, 2007

SECOND PUBLICATION: May 11, 2007

PUBLIC HEARING & SECOND READING: May 22, 2007

THIRD READING: MAY 22, 2007

LETTERS REQUIRED TO PROPERTY OWNERS: YES NO

DEPOSIT: YES \$ _____ NO

COST OF ADVERTISING RESPONSIBILITY OF: Fanta Homes Ltd.

ACTUAL COST OF ADVERTISING:

\$ 316.80 X 2 TOTAL: \$ 633.60

MAP PREPARATION: \$ _____

TOTAL COST: \$ 633.60

LESS DEPOSIT RECEIVED: \$ _____

AMOUNT OWING/ (REFUND): \$ 633.60

INVOICE NO.: 202227

BATCH NO.: 844753

(Advertising Revenue to 180.5901)

www.reddeer.ca

Development Officer Approvals

On May 9, 2007, the Development Officer issued approval for the following applications:

Inglewood

1. Avalon Central Alberta – a 1.24 metre side yard to a proposed single family dwelling to be located at 92 Inglewood Close.
2. True-line Contracting Ltd. – a 7.92 metre width to a proposed detached garage to be located at 91 Inglewood Close.

Kentwood

3. Laebon Developments Ltd. – a 1.33 metre side yard to a proposed single family dwelling and attached garage to be located at 79 Kind Close.

Riverside Meadows

4. Benocco Land Surveying Ltd. – a 1.06 metre side yard to an existing landing located at 1504-58A Street.
5. Alberta Quality Water 1995 Ltd. – a 22.29 m² cold storage shed to be located at 5914-54 Avenue.

Rosedale

6. Emerson Linton – a 4.8 metre rear yard to a proposed detached garage to be located at 105 Rupert Crescent.

Vanier

7. Mason Martin Homes – a 1.45 metre side yard to a proposed single family dwelling and attached garage to be located at 43 Vash Place.

You may appeal this decision to the Red Deer Subdivision & Development Appeal Board, Legislative & Administrative Services, City Hall, prior to 4:30 p.m., May 25, 2007. Appeal forms (outlining appeal fees) are available at Legislative & Administrative Services. For further information please phone 342-8132.

RED DEER SUBDIVISION & DEVELOPMENT APPEAL BOARD HEARING

TAKE NOTICE the following appeals will go before the Red Deer Subdivision & Development Appeal Board on Thursday, May 17, 2007 in the Council Chambers, 2nd Floor of City Hall, 4914 – 48 Avenue, Red Deer, commencing at 5:00 p.m.

DOWNTOWN

- 2007-02 Hackett Holdings Ltd. – application for reversal of the Municipal Planning Commission decision of April 10, 2007, which approved the discretionary use of a 12 suite, 3 story multi-family building, with a 527 m² floor area and a 1244.4 m² site area, to be developed at 3613-3619 – 51 Avenue, zoned R2.
- 2007-03 Mason Martin Homes – application for reversal of the Municipal Planning Commission decision of April 23, 2007, which approved the discretionary use of a place of worship to be located at 4832 – 51 Street.

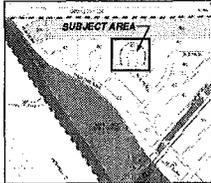
Under Section 687(1) of the Municipal Government Act, the Board will hear:

- a) the appellant;
- b) the development authority from whose order, decision or development permit the appeal is made;
- c) any other person who was given notice of the hearing and who wishes to be heard; or
- d) any other person who claims to be affected by the order, decision or permit and that the subdivision and development appeal board agrees to hear.

Parties as identified above may appeal in person or give notice in writing to the Red Deer Subdivision & Development Appeal Board on the specified date. Phone 342-8132 for further information.

WEST PARK EXTENSION Neighbourhood Area Structure Plan

City Council proposes to pass Bylaw Amendment 2171/C-2007, an amendment to the West Park Extension Neighbourhood Area Structure Plan. The proposed amendment allows for future development of two-story homes with walk-out basements on 8 R1 lots. The proposed bylaw may be inspected by the public at Legislative & Administrative Services, 2nd Floor of City Hall during regular office hours or for more details, contact the city planners at Parkland Community Planning Services 342-3394.



City Council will hear from any person claiming to be affected by the proposed bylaw at a Public Hearing on Tuesday, May 22, 2007 at 6:00 p.m. in Council Chambers, 2nd floor of City Hall. If you want your letter or petition included on the Council agenda you must submit it to the Manager, Legislative & Administrative Services by Tuesday, May 15, 2007. Otherwise, you may submit your letter or petition at the Council meeting or you can simply tell Council your views at the Public Hearing. Council Procedure Bylaw indicates that each presentation is limited to 10 minutes. Any submission will be public information. If you have any questions regarding the use of this information please contact the Manager, Legislative & Administrative Services at 342-8132.

PUBLIC NOTICE THE CITY OF RED DEER ENVIRONMENTAL PROTECTION AND ENHANCEMENT ACT NOTICE OF APPLICATION RENEWAL OF EXISTING LANDFILL

In accordance with the Environmental Protection and Enhancement Act, The City of Red Deer has applied to Alberta Environment for a renewal of an existing approval for the construction and operation of an existing Class II landfill located in Section 34 Township 37 Range 27 West of the 4th Meridian with a current disposal rate of approximately 110,000 tonnes per year consisting of leaf and yard waste, storage areas for household hazardous waste and recyclables as well as reclamation including post-closure care of a closed landfill located in the NE 1/4 of Section 33 Township 37 Range 27 West of the 4th Meridian.

Pursuant to Section 73 of the Environmental Protection and Enhancement Act, any person who is directly affected by this operation may submit a written statement of concern regarding this application. Failure to file a statement of concern may affect the right to file a Notice of Appeal with the Environmental Appeals Board. Such a statement of concern must be submitted to:

Director of Central Region
Alberta Environment
Regulatory Approvals Center
9th Floor, 9820 – 106 Street
Edmonton, Alberta T5K 2J6
Fax: (780) 422-0154

within 30 days of the date of this notice. Please quote Application No. 002-154918 when submitting a statement of concern in regards to the Environmental Protection and Enhancement Act application.

NOTE: Any statements filed regarding this application are public records which are accessible by the public.

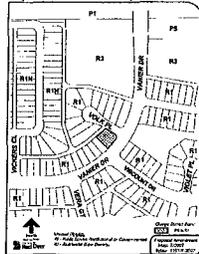
Copies of the application and additional information can be obtained from:

The City of Red Deer
Attention: Jeff Miller
Box 5008
Red Deer, AB T4N 3T4
Telephone: (403) 342-8750
Fax: (403) 307-2695

VANIER WOODS NEIGHBOURHOOD Land Use Bylaw Amendment

City Council proposes to pass Land Use Bylaw Amendment 3357/R-2007, which provides for the rezoning of the existing social day care/recreation (SDR) site, Lot 103, Block 4, Plan 072 1488, from PS Public Service District to R1 Low Density Residential District. This will create 2 detached dwelling residential lots. The proposed bylaw may be inspected by the public at Legislative & Administrative Services, 2nd Floor of City Hall during regular office hours or for more details, contact the city planners at Parkland Community Planning Services 342-3394.

Proposed Amendment to Land Use Bylaw 3357/2006



City Council will hear from any person claiming to be affected by the proposed bylaw at a Public Hearing on Tuesday, May 22, 2007 at 6:00 p.m. in Council Chambers, 2nd floor of City Hall. If you want your letter or petition included on the Council agenda you must submit it to the Manager, Legislative & Administrative Services by Tuesday, May 15, 2007. Otherwise, you may submit your letter or petition at the Council meeting or you can simply tell Council your views at the Public Hearing. Council Procedure Bylaw indicates that each presentation is limited to 10 minutes. Any submission will be public information. If you have any questions regarding the use of this information please contact the Manager, Legislative & Administrative Services at 342-8132.

Municipal Planning Commission Approvals

On May 7, 2007 the Municipal Planning Commission issued approval of the following applications:

Discretionary Uses

South Hill

1. Janice Block aka Infinite Power of Mind – a home based aromatherapy/coach business to be located at 301, 3522 – 49 Avenue.

Deer Park

2. Rita Hooper aka Hooper's Therapeutic Massage – a home based massage therapy business to be located at 43 Dobson Close.

Waskasoo/Woodlea

3. Red Deer Catholic Regional Division No. 39 – development of two additions totaling 279 m², and the discretionary use of 2nd story office, to the accessory workshop at Camille J. LeRouge School located at 4316 – 55 Street.

Permitted Uses

Sunnybrook

4. Michael Milner – enclosure of a carport to form an attached garage on a single family dwelling located at 22 Sutton Close.

Parkland Hall

5. John Murray Architectural Associates – a 129 m² addition to The Keg located at 6365 – 50 Avenue.

You may appeal Discretionary approvals to the Red Deer Subdivision & Development Appeal Board, Legislative & Administrative Services, City Hall, prior to 4:30 p.m. Monday, May 28, 2007. You may not appeal a Permitted Use unless it involves a relaxation, variation or misinterpretation of the Land Use Bylaw. Appeal forms (outlining appeal fees) are available at Legislative & Administrative Services. For further information, please phone 342-8132.

URGENT! Please call/fax within 1 hour of receiving

Sales Rep: **RED DEER ADVOCATE**
 Ptn: (403) 814-4543 Fax: (403) 842-4405
 Approved by: **16**

Compose by: **dm**
 Insert Date: **FRI, May 11**
 Ad Size: **6 X 296**
 Ad Code: **28164CtyRDeerE11**

FINAL PROOF: Proof read and approve or mark corrections. Printing is the responsibility of the Advertiser. Thank you for your cooperation.



www.reddeer.ca

Municipal Planning Commission Approvals

On April 30, 2007 the Municipal Planning Commission issued approval of the following applications:

Discretionary Uses:

Westerner area

1. Bearden Engineering – development of an Acura car dealership to be located at 1808 – 49 Avenue, zoned C4.

Permitted Uses:

Golden West

2. Rod McWilliam – development of a 71.35 m² addition to an existing building (Red Deer Motors) located at 6720 Johnstone Drive, zoned C4.

You may appeal Discretionary approvals to the Red Deer Subdivision & Development Appeal Board, Legislative & Administrative Services, City Hall, prior to 4:30 p.m. Tuesday, May 22, 2007. You may not appeal a Permitted Use unless it involves a relaxation, variation or misinterpretation of the Land Use Bylaw. Appeal forms (including appeal fees) are available at Legislative & Administrative Services. For further information, please phone 342-8132.

2006 ANNUAL REPORT

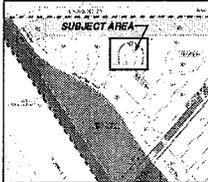
Copies of the 2006 Annual Report of The City of Red Deer are now available at the Information Desk, Main Floor, City Hall. Some financial information contained in this report may be accessed on The City of Red Deer's Web Site: <http://www.reddeer.ca>

R. Burkard, C.A.
Director of Corporate Services

WEST PARK EXTENSION

Neighbourhood Area Structure Plan

City Council proposes to pass Bylaw Amendment 3217/C-2007, an amendment to the West Park Extension Neighbourhood Area Structure Plan. The proposed amendment allows for future development of two-story homes with walk-out basements on R1 lots. The proposed bylaw may be inspected by the public at Legislative & Administrative Services, 2nd Floor of City Hall during regular office hours or for more details, contact the city planners at Parkland Community Planning Services 343-3394.



City Council will hear from any person claiming to be affected by the proposed bylaw at a Public Hearing on Tuesday, May 22, 2007 at 6:00 p.m. in Council Chambers, 2nd floor of City Hall. If you want your letter or petition included on the Council agenda you must submit it to the Manager, Legislative & Administrative Services by Tuesday, May 15, 2007. Otherwise, you may submit your letter or petition at the Council meeting or you can simply tell Council your views at the Public Hearing. Council's Procedure Bylaw indicates that each presentation is limited to 10 minutes. Any submission will be public information. If you have any questions regarding the use of this information please contact the Manager, Legislative & Administrative Services at 342-8132.

Development Officer Approvals

On May 2, 2007, the Development Officer issued approval for the following applications:

Clearview

1. Beta Survey Ltd. – a 2.16 metre rear yard to an existing detached garage located at 93 Cuningham Crescent.

Dear Park

2. Beta Surveys Ltd. – a 1.87 metre rear yard to an existing detached garage located at 128 Duckering Close.

Highland Green

3. N. Muoro – a 0.8 metre side yard and a 1.67 metre rear yard to the existing detached garage and a 0 metre side yard to the existing deck located at 28 Halburton Crescent.

Lancaster

4. N. MacLellan – a 7.31 metre width to a proposed detached garage to be located at 154 Lanterman Close.

Normandeau

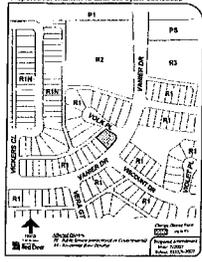
5. Ramoco Land Surveying Ltd. – a 0.72 metre side yard and a 0.71 metre rear yard to an existing detached garage located at 5848-69 Street Drive.

You may appeal this decision to the Red Deer Subdivision & Development Appeal Board, Legislative & Administrative Services, City Hall, prior to 4:30 p.m. May 18, 2007. Appeal forms (including appeal fees) are available at Legislative & Administrative Services. For further information please phone 342-8192.

VANIER WOODS NEIGHBOURHOOD Land Use Bylaw Amendment

City Council proposes to pass Land Use Bylaw Amendment 3357/K-2007, which provides for the rezoning of the existing residential development (SD) site, Lot 103, Block 4, Plan 072 1468, from PS Public Service District to R1 Low Density Residential District. This will create 2 detached dwelling residential lots. The proposed bylaw may be inspected by the public at Legislative & Administrative Services, 2nd Floor of City Hall during regular office hours or for more details, contact the city planners at Parkland Community Planning Services 343-3394.

Proposed Amendment to Land Use Bylaw 3357/2006



City Council will hear from any person claiming to be affected by the proposed bylaw at a Public Hearing on Tuesday, May 22, 2007 at 6:00 p.m. in Council Chambers, 2nd floor of City Hall. If you want your letter or petition included on the Council agenda you must submit it to the Manager, Legislative & Administrative Services by Tuesday, May 15, 2007. Otherwise, you may submit your letter or petition at the Council meeting or you can simply tell Council your views at the Public Hearing. Council's Procedure Bylaw indicates that each presentation is limited to 10 minutes. Any submission will be public information. If you have any questions regarding the use of this information please contact the Manager, Legislative & Administrative Services at 342-8132.

INVITATION TO TENDER THE CITY OF RED DEER

Sealed Tenders clearly marked "City of Red Deer 2007 Bridge Maintenance, (Tender Closing Date May 18, 2007)" delivered or mailed to:

Purchasing Section – Main Floor
The City of Red Deer
4914 - 48 Avenue T4N 3T3
Box 5008 T4N 3T4
Red Deer, Alberta

and received before 2:00 p.m. local time on May 18, 2007, will be opened in public immediately thereafter. Tenders received and not conforming to the foregoing will be returned to the tenderer(s) without consideration. Tender Documents or Tender Amendments received via Facsimile machine will not be accepted.

The work entails of a variety of repairs to 9 structures at different locations within the City of Red Deer. The work on bridge structures and retaining walls is comprised of approximately:

- Grout pad repairs to approximately 15 bearing or handrail base plates
- Repairs to deck joint cover plates and replacement of deck joint strip seals
- Repairs to damaged bridge rails
- Approximately 15 square metres of concrete cutting and patching on bridge decks, bridge substructures and retaining walls
- Routing and caulking of cracks and construction joints
- Application of penetrating and pigmented sealers on bridges and retaining walls
- Epoxy crack repairs
- Re-pointing and other masonry repairs to concrete block retaining walls
- Bridge jacking and bearing replacement
- Grinding concrete surfaces

Copies of the Tender Documents may be viewed & obtained from The City of Red Deer Public Works Department, 3420-47 Street on or after May 07, 2007 upon payment of a \$50.00 non-refundable fee, made payable to The City of Red Deer. The City of Red Deer Contract Specifications 2007 Edition may be obtained from the Public Works Department for a \$25 non-refundable fee or free-of-charge at www.reddeer.ca. (Connecting with Your City > City Services & Departments > Engineering Services > Project Engineering/Construction > Contract Specifications).

Sub – Contractors may view the Tender Documents at the Edmonton, Calgary, and Red Deer Construction Association offices.

Inquiries regarding this Project may be directed to:

Frank Colosimo, P. Eng. Gord Elworthy, CET
The City of Red Deer Sinteric Consulting Ltd.
Public Works Department 600 – 4028 Ross Street
4914 - 48 Avenue Red Deer, Alberta T4N 1X5
Red Deer, Alberta, T4N 3T4 (403) 342-8228 (403) 341-3320

URGENT! Please call/fax within 1 hour of receiving

RED DEER ADVOCATE
Ph. (403)314-4343 Fax (403) 342-4051

INSERT DATE: **FRI., May 4**

AD SIZE: **4x**

AD CODE: **33538CityRDeerE4**

FINAL PROOF. Proof read and approve or mark corrections.
Proofing is the responsibility of the Advertiser. Thank you for your co-operation

Sales Rep	OK as is
16	OK with corrections
Composed by	Approved by
dh	

May 2, 2007

«Prime_Owner_Name»

«Owner_Address_1»

«Owner_Address_2»

«Owner_Address_3»

Dear Sir/Madam:

**Re: Land Use Bylaw Amendment 3357/K-2007
Vanier Woods Public Service Site**

Red Deer City Council is considering a change to the Land Use Bylaw, which controls the use and development of land and buildings in the city. As a property owner in the area of proposed changes, you have an opportunity to ask questions about the intended use and to let Council know your views.

Red Deer City Council proposes to pass **Land Use Bylaw Amendment 3357/K-2007**, provides for the rezoning of the existing social/daycare/retirement (SDR) site from PS Public Service District to R1 Low Density Residential District within the Vanier Woods Neighbourhood. This will create 2 detached dwelling residential lots. The proposed bylaw may be inspected by the public at Legislative & Administrative Services, 2nd Floor of City Hall, during regular office hours. For more details contact the city planners at Parkland Community Planning Services at 343-3394.

City Council will hear from any person claiming to be affected by the proposed bylaw at a Public Hearing on **Tuesday, May 22, 2007** at 6:00 p.m. in Council Chambers, 2nd floor of City Hall. If you want your letter or petition included on the Council agenda you must submit it to our office by **Tuesday, May 15, 2007**. Otherwise, you may submit your letter or petition at the Council meeting or you can simply tell Council your views at the Public Hearing. Council's Procedure Bylaw indicates that each presentation is limited to 10 minutes. Any submission will be public information. If you have any questions regarding the use of this information, please contact Legislative & Administrative Services at 342-8132.

Yours truly,

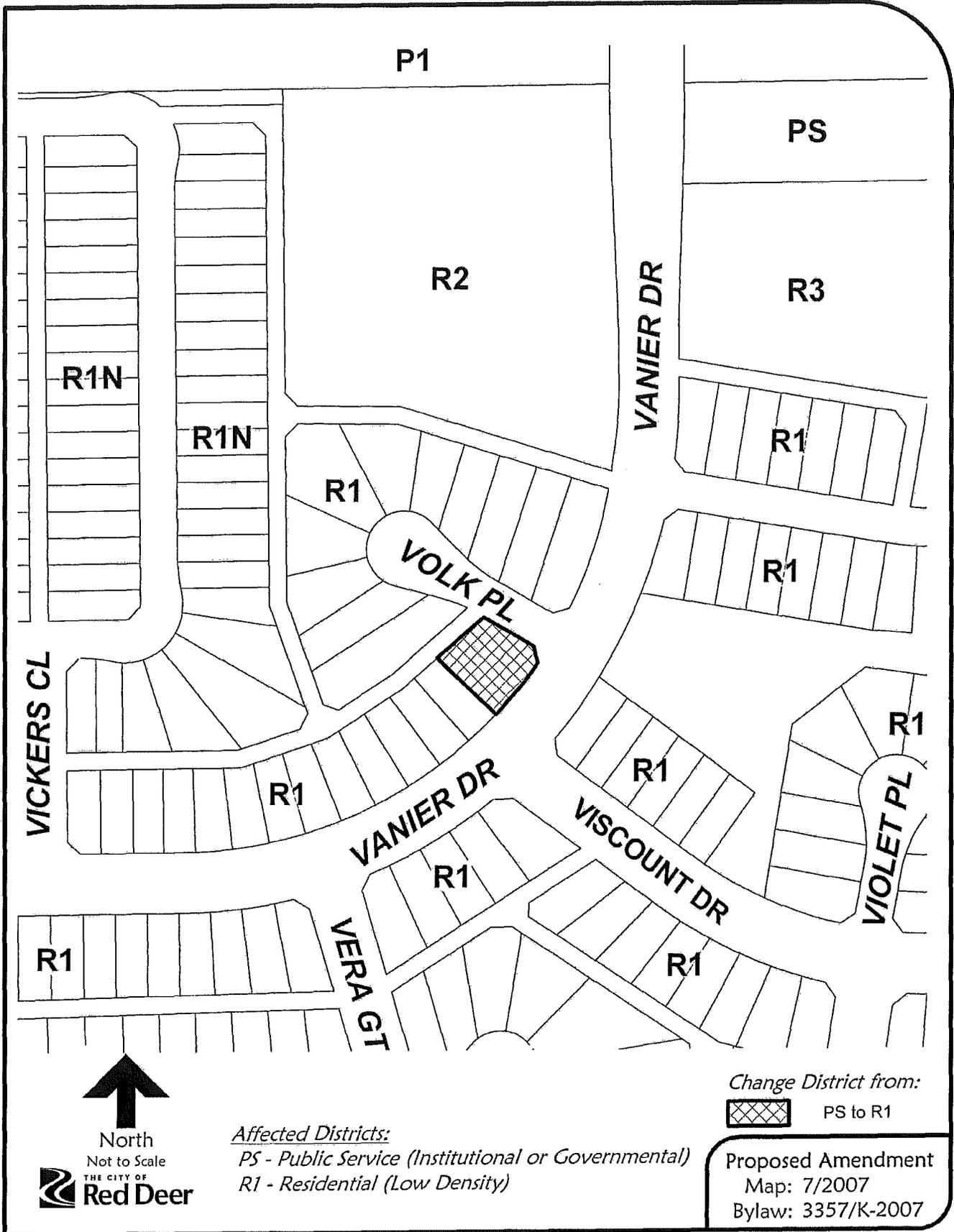


Kelly Kloss

Manager, Legislative & Administrative Services

Enclosure

Proposed Amendment to Land Use Bylaw 3357/2006



North
Not to Scale



Affected Districts:

- PS - Public Service (Institutional or Governmental)*
- R1 - Residential (Low Density)*

Change District from:



PS to R1

Proposed Amendment

Map: 7/2007

Bylaw: 3357/K-2007

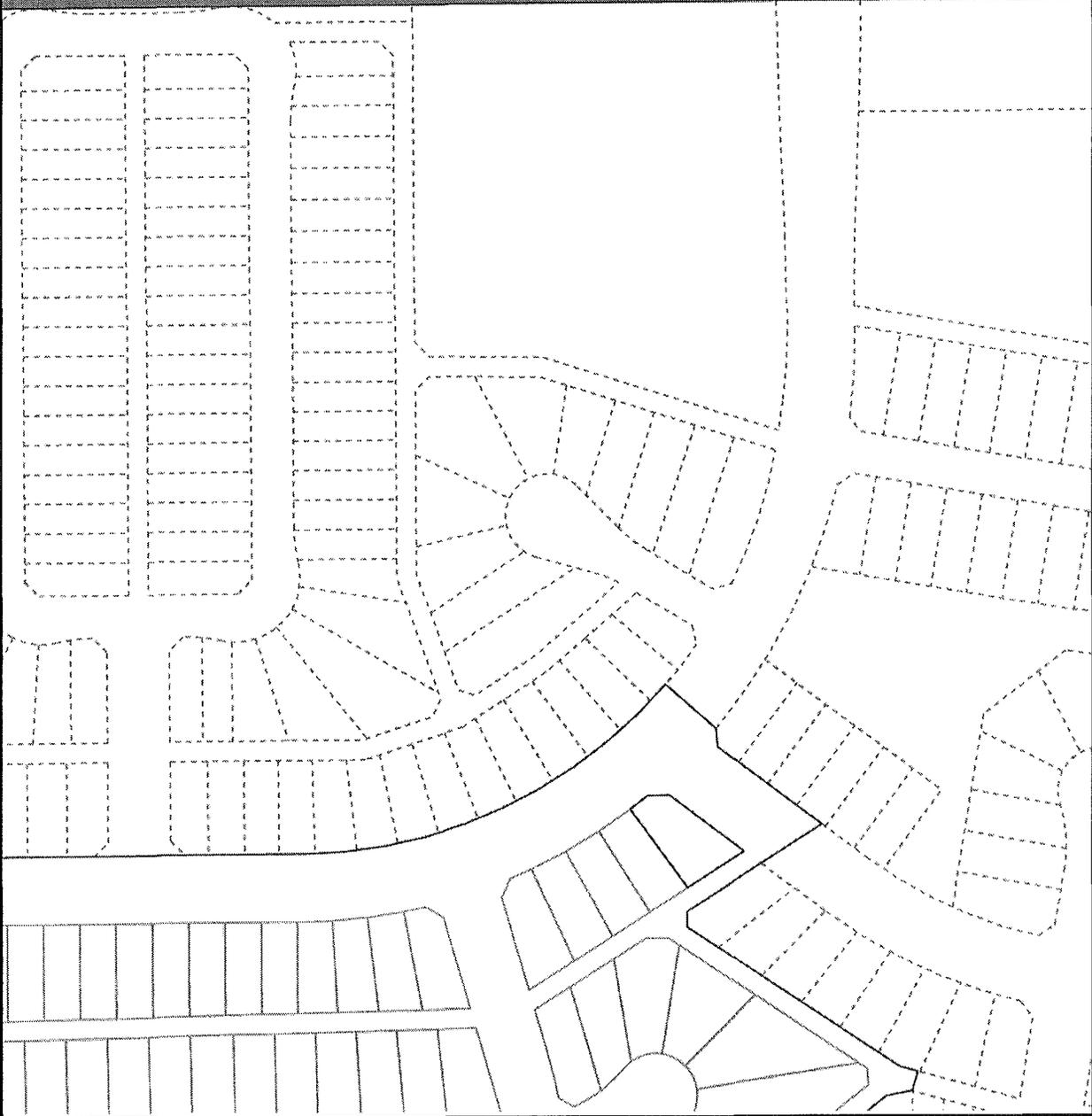
Prime Owner Name
NO → MELCOR DEVELOPMENTS LT900 - 10310 JASPER AVE
ROBERT YEE & ELIZABETH J. RR 1

Owner Address 1

Owner Address 2
EDMONTON, AB T5J 1Y8
PENHOLD, AB T0M 1R0

Owner Address 3 Owner Address 4

Parcel Address
123 VANIER DR
2057 30 AV



2007/04/27
Scale 1 : 2361.21665580392

The City of Red Deer does not guarantee
the accuracy of the information.
Data to be used as information only.

Copyright © 2007 The City of Red Deer

Christine Kenzie

From: Martin Kvapil
Sent: April 24, 2007 3:06 PM
To: Christine Kenzie
Subject: RE: LUB

It is Lot 103, Block 4, Plan 072 1488.

Martin

From: Christine Kenzie
Sent: April 24, 2007 2:53 PM
To: Martin Kvapil
Subject: RE: LUB

One more thing. I will need the legal land description for this LUB -- as it is a requirement that we put the legal land description in the advertising for a Public Hearing.

Thanks.

Christine Kenzie
Legislative & Administrative Services
City of Red Deer
403.342.8201
christine.kenzie@reddeer.ca

From: Martin Kvapil
Sent: April 24, 2007 12:02 PM
To: Christine Kenzie
Subject: RE: LUB

<< File: 3357k2007.DOC >>

Martin

From: Christine Kenzie
Sent: April 24, 2007 10:46 AM
To: Martin Kvapil
Subject: LUB

Would you please email me a copy of LUB 3357/K-2007 - that received 1st reading last night.
Thanks.

Christine Kenzie
Legislative & Administrative Services
City of Red Deer
403.342.8201

Legislative & Administrative Services

DATE: April 24, 2007
TO: Martin Kvapil, Parkland Community Planning Services
FROM: Kelly Kloss, Legislative & Administrative Services Manager
SUBJECT: Land Use Bylaw Amendment 3357/K-2007
Vanier Woods Public Service Site
Fanta Homes Ltd.

Reference Report:

Parkland Community Planning Services, dated April 13, 2007

Bylaw Readings:

Land Use Bylaw Amendment 3357/K-2007 was given first reading. A copy of the bylaw is attached.

Report Back to Council: Yes

A Public Hearing will be held on Tuesday, May 22, 2007 at 6:00 p.m. in Council Chambers, during Council's Regular Meeting.

Comments/Further Action:

Land Use Bylaw Amendment 3357/K-2007 provides for the rezoning of the existing social/daycare/retirement (SDR) site from PS Public Service District to R1 Low Density Residential within the Vanier Woods neighbourhood. This will create 2 detached dwelling residential lots. This office will now proceed with the advertising for the Public Hearing. Fanta Homes Ltd. will be responsible for the advertising costs in this instance.


Kelly Kloss
Manager

/chk

/attach.

c Director of Development Services
Inspections & Licensing Manager
Land & Economic Development Manager
LAS Clerk Steno

BYLAW NO. 3357/K-2007

Being a bylaw to amend Bylaw No. 3357/2006, the Land Use Bylaw of the City of Red Deer.

COUNCIL OF THE CITY OF RED DEER, ALBERTA, ENACTS AS FOLLOWS:

1. That "Use District Map Q10" contained within "Schedule A" of the Land Use Bylaw is hereby amended in accordance with Land Use District Map No. 7 attached hereto and forming part of the bylaw.

READ A FIRST TIME IN OPEN COUNCIL this 23rd day of April 2007.

READ A SECOND TIME IN OPEN COUNCIL this day of 2007.

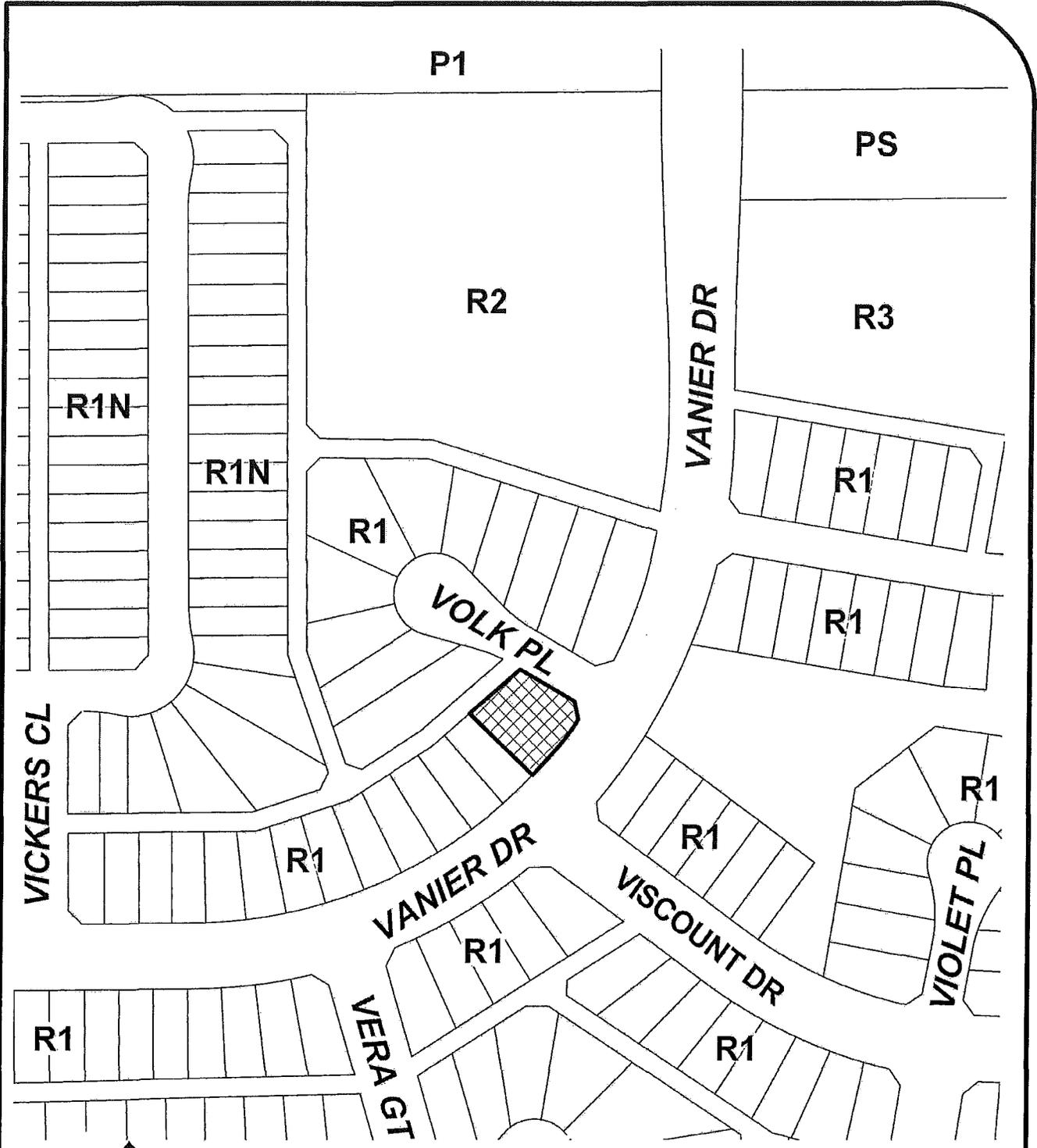
READ A THIRD TIME IN OPEN COUNCIL this day of 2007.

AND SIGNED BY THE MAYOR AND CITY CLERK this day of 2007.

MAYOR

CITY CLERK

Proposed Amendment to Land Use Bylaw 3357/2006



North
Not to Scale
THE CITY OF
Red Deer

Affected Districts:
PS - Public Service (Institutional or Governmental)
R1 - Residential (Low Density)

Change District from:
 PS to R1

Proposed Amendment
Map: 7/2007
Bylaw: 3357/K-2007

FILE



LEGISLATIVE & ADMINISTRATIVE SERVICES

April 24, 2007

Fax: 340-8441

Fanta Homes
#2, 4915 – 54 Street
Red Deer, AB T4N 2G7

Dear Sirs:

**Re: Land Use Bylaw Amendment 3357/K-2007
Vanier Woods Public Service Site
Fanta Homes Ltd.**

Red Deer City County gave first reading to *Land Use Bylaw Amendment 3357/K-2007* at the City of Red Deer's Council Meeting held Monday, April 23, 2007. For your information a copy of the bylaw is attached.

Land Use Bylaw Amendment 3357/K-2007 provides for the rezoning of the existing social/daycare/retirement (SDR) site from PS Public Service District to R1 Low Density Residential within the Vanier Woods neighbourhood. This will create 2 detached dwelling residential lots.

Council must hold a Public Hearing before giving second and third readings to the bylaw. This office will now advertise for a Public Hearing to be held on Tuesday, May 22, 2007 at 6:00 p.m. in Council Chambers of city Hall during Council's regular meeting.

You are responsible for the advertising costs and will be invoiced for this cost which we estimate to be approximately \$700.00. If you are not in agreement with paying this cost, please notify me by 10:00 A.M. on Wednesday, May 2, 2007.

Please call me if you have any questions or require additional information.

Sincerely,

Kelly Kloss
Manager

/attach.

: Parkland Community Planning Services

BYLAW NO. 3357/K-2007

Being a bylaw to amend Bylaw No. 3357/2006, the Land Use Bylaw of the City of Red Deer.

COUNCIL OF THE CITY OF RED DEER, ALBERTA, ENACTS AS FOLLOWS:

1. That "Use District Map Q10" contained within "Schedule A" of the Land Use Bylaw is hereby amended in accordance with Land Use District Map No. 7 attached hereto and forming part of the bylaw.

READ A FIRST TIME IN OPEN COUNCIL this 23rd day of April 2007.

READ A SECOND TIME IN OPEN COUNCIL this day of 2007.

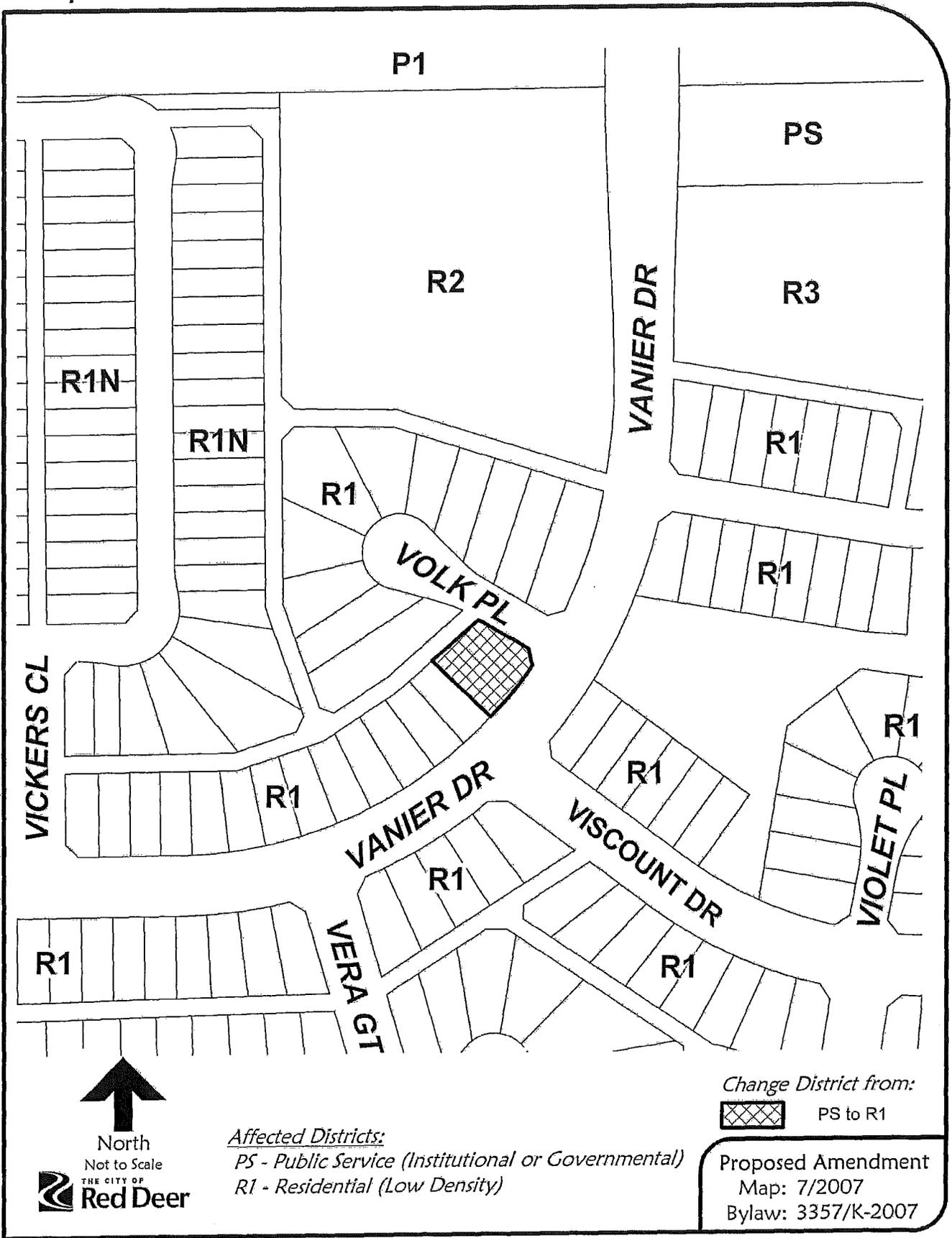
READ A THIRD TIME IN OPEN COUNCIL this day of 2007.

AND SIGNED BY THE MAYOR AND CITY CLERK this day of 2007.

MAYOR

CITY CLERK

Proposed Amendment to Land Use Bylaw 3357/2006



North
Not to Scale



Affected Districts:
 PS - Public Service (Institutional or Governmental)
 R1 - Residential (Low Density)

Change District from:

 PS to R1

Proposed Amendment
 Map: 7/2007
 Bylaw: 3357/K-2007

Item No. 2



Legislative & Administrative Services

DATE: May 14, 2007
TO: City Council
FROM: Kelly Kloss, Legislative & Administrative Services Manager
SUBJECT: Neighbourhood Area Structure Plan Bylaw Amendment 3217/C-2007
West Park Extension Neighbourhood Area Structure Plan
Trademark Western Properties

History:

At the Monday, April 23, 2007 meeting of Council, West Park Extension Neighbourhood Area Structure Plan Bylaw Amendment 3217/C-2007 was given first reading.

West Park Extension Neighbourhood Area Structure Plan Bylaw Amendment 3217/C-2007 provides for the future development of two-storey homes with walk-out basements on 8 R1 lots.

Public Consultation Process:

A Public Hearing has been advertised for the above noted bylaw to be held on Tuesday, May 22, 2007 at 6:00 p.m. in Council Chambers, during Council's regular meeting. The owners of the properties bordering the site have been notified by letter of the Public Hearing.

Recommendations:

That following the Public Hearing, Council consider second and third readings of the bylaw.

Kelly Kloss
Manager

From: Sandra Dransfield [saddjm@shaw.ca]
Sent: May 06, 2007 9:52 PM
To: LASMailbox
Subject: WestPark Extension Bylaw Amendment 3217/C-2007

Dear Manager,

I live on Cronquist Drive and very concerned about the proposed bylaw amendment 3217/C-2007.

Two story homes with walkout basements would be an eyesore and block out sunlight to homes directly to the east and north.

No one wants to look at 3 stories of house or to have a home looming over theirs.

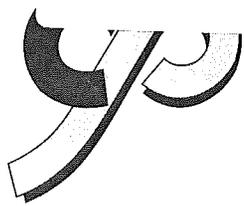
I think it is devious to attempt to pass this amendment when most of the lots that will be affected by this have not been purchased by home owners yet.

The lots to the north, on Cronquist Drive have not even been serviced yet, so these home owners won't have this opportunity to voice their thoughts and the area to the west is just being serviced now. I don't believe any of these neighbours want 2 story homes on top of walkouts.

Thank-you for your consideration,

Sandra Dransfield
6229 Cronquist Drive
Red Deer.

[This message has been scanned for security content threats, including computer viruses.]



DATE: April 16, 2007
TO: Kelly Kloss, Legislative and Administrative Services Manager
FROM: Martin Kvapil, Planning Assistant
RE: **Neighbourhood Area Structure Plan Amendment No. 3217/C-2007**
West Park Extension Neighbourhood Area Structure Plan
Trademark Western Properties

Proposal

A proposal has been received by The City of Red Deer to amend the *West Park Extension Neighbourhood Area Structure Plan* (NASP). The original NASP was adopted by Council in May 2002, and therefore, this proposed amendment is being considered and reviewed in accordance with the *Former Planning and Subdivision Guidelines*.

The applicant, Al-Terra Engineering, on behalf of Trademark Western Properties, is seeking to amend the NASP in order to:

Reallocate a portion of an undeveloped cul-de-sac (8 R1 lots) to allow for the possible future development of two-storey homes with walk-out basements.

The amendment is being proposed by the developer due to the realization that the existing topography is conducive to walk-out basement development.

Notwithstanding this NASP amendment, subsequent rezoning of this site within the Land Use Bylaw would not be required, as the area is already zoned R1 Low Density Residential District.

Department Referral

City departments were provided with a referral for comments – and no objections were received.

Public Consultation

Due to the minor nature of the proposed amendment, in accordance with the *Former Planning and Subdivision Guidelines*, no public meeting was conducted by Parkland Community Planning Services (PCPS). However, adjacent landowners were referred to for comment – and no comments or objections were received.

Planning Analysis

The proposed amendment will not increase the anticipated dwelling-unit-per-hectare density of the NASP area nor would any increase in vehicular traffic result. Furthermore, no other adverse land use planning impacts are anticipated, as the majority of the adjacent lots have yet to be developed. Presently, approximately only four adjacent lots have been developed.

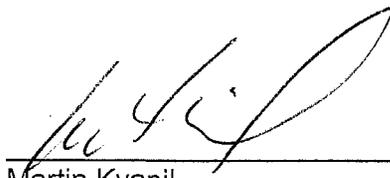
Municipal Planning Commission Recommendation

The proposed *West Park Extension Neighbourhood Area Structure Plan* amendment was presented by Parkland Community Planning Services to The City of Red Deer Municipal Planning Commission (MPC) at its April 16, 2007 meeting. MPC concurred with the proposed amendment to the NASP and recommended that City Council proceed with first reading of Neighbourhood Area Structure Plan Amendment Bylaw No. 3217/C-2007.

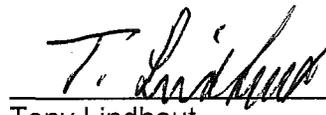
Staff Recommendation

It is recommended that City Council proceed with first reading of Neighbourhood Area Structure Plan Amendment Bylaw No. 3217/C-2007 to amend the *West Park Extension Neighbourhood Area Structure Plan*.

Respectfully submitted,

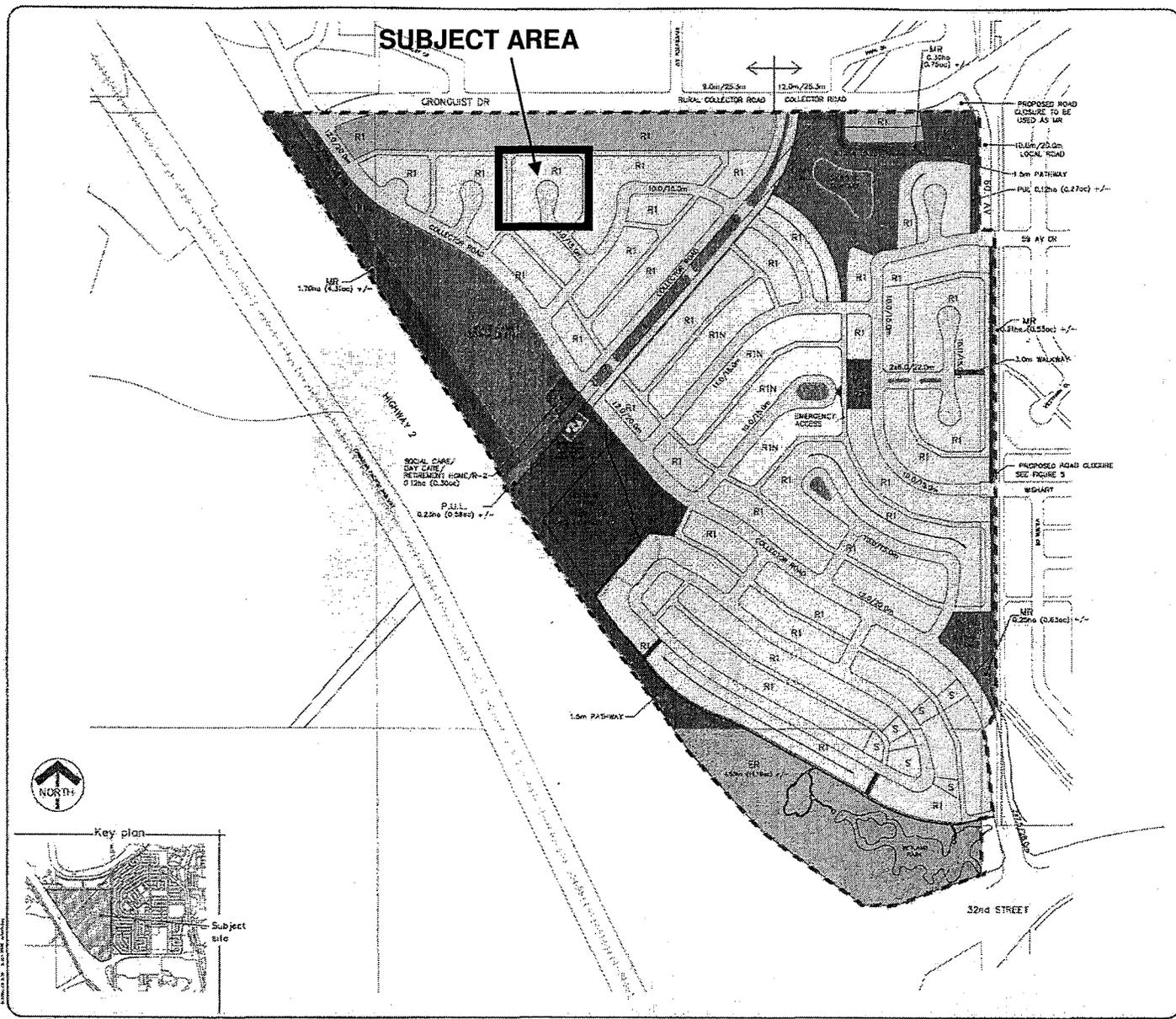


Martin Kvapil
PLANNING ASSISTANT



Tony Lindhout
CITY PLANNING MANAGER

Attachments



West Park Extension
in Red Deer
Neighbourhood Structure Plan

Within:
Section 7, Township 38, Range 27, W of 4

Prepared for: Trademark Western Properties.

Plan Statistics		Acres [±]	Hectares [±]	%
Total Area		156.26	63.24	
Environmental Reserve		11.19	4.53	
Total Developable		145.07	58.71	
Single family Large Lots	8.09	3.27	5.57	
Single family Std. Lots	60.07	24.31	41.41	
Single family Narrow Lots	8.18	3.31	5.64	
Multi family - Town House	8.20	3.32	5.65	
Secondary Suite Lots	1.19	0.48	0.82	
Street and Lanes	33.03	13.61	23.18	
Public Utility Lots	7.86	3.18	5.42	
Church Site/R1	1.0	0.40	0.68	
Social Care Site (Social Housing, Day Care, Retirement Home, R2)	0.30	0.12	0.21	
Municipal Reserve *	16.56	6.70	11.42	

Net Developable Area 145.07 58.71 100.0

* Municipal Reserve Summary		Acres [±]	Hectares [±]
Central Park		8.87	3.58
Highway 2 Buffer		4.19	1.70
Buffer - Existing Community		1.16	0.47
Tot Lot		0.55	0.22
Feature Park		1.03	0.42
N.E. Storm Pond		0.75	0.31
Total Area for Municipal Reserve		16.56	6.70

- Legend**
- Neighbourhood Structure Plan Boundary
 - .. Existing Power Poles
 - Proposed 1.5m Pathway
 - Proposed Walkway
 - Existing Tree Cover
 - Children Play Area
 - Potential Walkout lots
 - Landscaped Medians
 - Proposed 2.5m Regional Pathway
 - Existing Contours

Planning Team
 InterPlan Strategies Inc.
 A-Terra Engineering Ltd.
 Lira Associates Inc.
 Fine Transportation Consultants
 Wealth Research Engineering Inc.
 McElhenny Consulting Services Ltd.
 Group 2 Architects

Prepared By
InterPlan strategies inc.
 Lead Planning Services

Date: Nov 2001
 Rev: JUN 24/06 (A.1)
 Scale: 0 20 50 100m
 Figure: 4

FIGURE 1 - EXISTING LAND USE CONCEPT

West Park Extension in Red Deer Neighbourhood Structure Plan Section 7, Township 38, Range 27, W of 4

Prepared for: Trademark Western Properties
 Prepared by: InterPlan Inc.
 Date: Nov. 2004
 Revision: 1
 Scale: 1:5000
 Sheet: 4 of 4

Category	Area (Acres)	Area (Hectares)
Total Area	166.25	67.24
Environmental Reserve	11.18	4.53
Total Developable	145.07	58.71
Single Family Large Lots	8.09	3.27
Single Family Std. Lots	90.07	36.51
Single Family Narrow Lots	8.18	3.31
Multi-Family - Town House	9.25	3.72
Secondary Suite Lots	1.89	0.76
Street and Lanes	13.61	5.45
Public Utility Lots	7.86	3.16
Church Site/RI	1.0	0.40
Social Core SIC	0.30	0.12
Municipal Reserve	16.56	6.70

Category	Area (Acres)	Area (Hectares)
Net Developable Area	122.07	49.33
Municipal Reserve Summary	8.97	3.59
Central Park	4.19	1.70
Highway 2 Buffer	1.19	0.47
Buffer - Existing Community	0.55	0.22
Tot. Est.	1.03	0.42
Feature Park	2.76	1.12
N.E. Storm Pond	0.31	0.12
Total Area for Municipal Reserve	16.56	6.70

Legend

- Neighbourhood Structure
- Existing Property
- Proposed 1.5m Pathway
- Proposed Walkway
- Existing Tree Cover
- Children Play Area
- Potential Walkout Lots
- Landscaped Medians
- Proposed 2.0m Regional Pathway
- Existing Centreline

Prepared By: InterPlan Inc.
 1100 - 10th Street, N.W.
 Edmonton, Alberta T6A 1K6
 Phone: (780) 462-1111
 Fax: (780) 462-1112
 Email: info@interplan.ca
 Website: www.interplan.ca

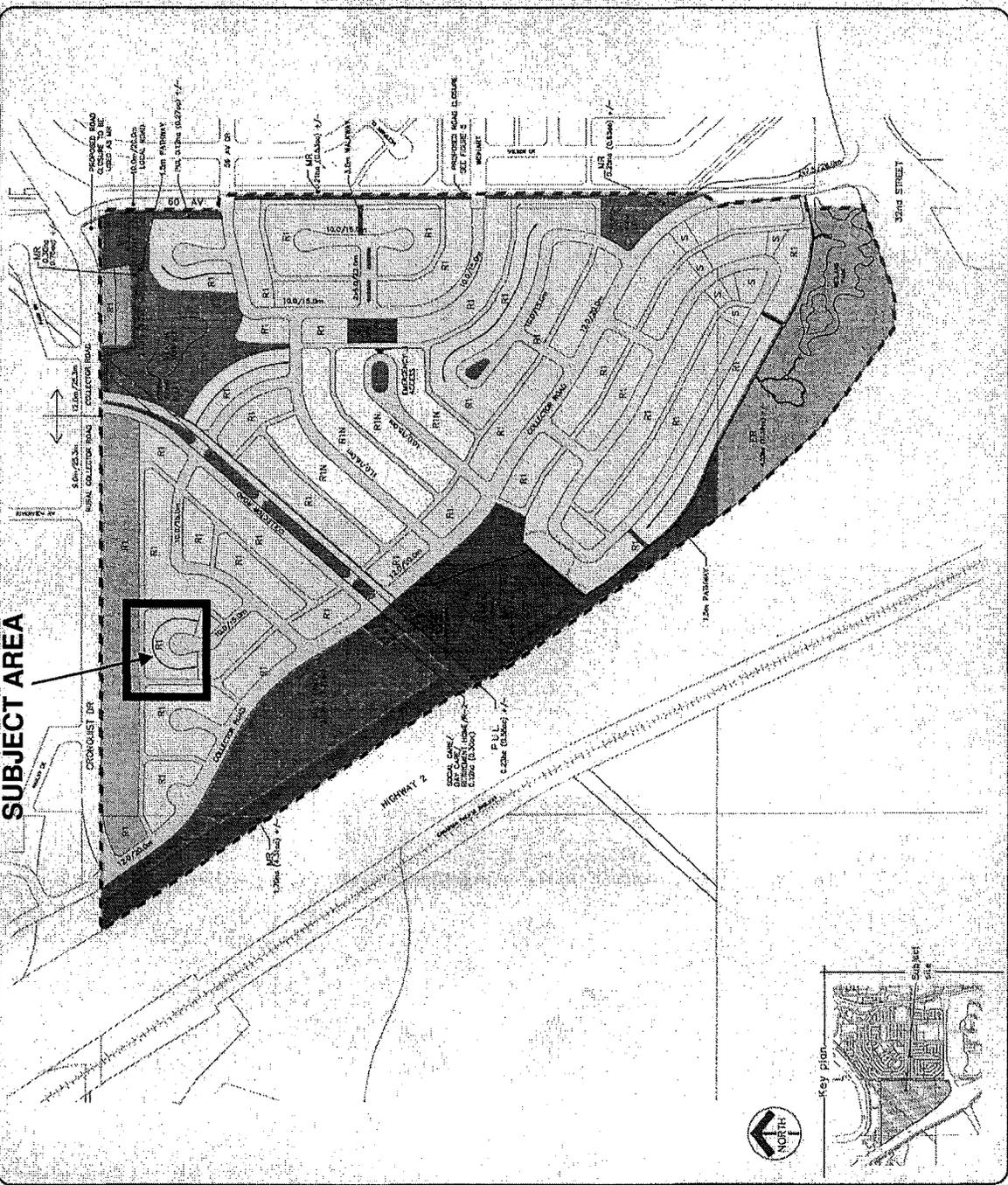


FIGURE 2 - PROPOSED LAND USE CONCEPT



OFFICE OF THE MAYOR

DATE: April 16, 2007
TO: Legislative & Administrative Services Manager
FROM: City of Red Deer Municipal Planning Commission
RE: **West Park Extension Neighbourhood Area Structure Plan
 Trademark Western Properties / NASP Amendment 3217/C-2007**

At the April 16, 2007 Red Deer Municipal Planning Commission meeting, the Commission considered a report from Parkland Community Planning Services dated April 10, 2007 re: West Park Extension Neighbourhood Area Structure Plan/NASP Amendment 3217/C-2007. Following discussion the resolution as set out below was introduced and passed.

"Resolved that the Municipal Planning Commission endorse the proposed West Park Extension Neighbourhood Area Structure Plan and recommend this report be forwarded for the consideration of City Council."

The above is submitted for Council's consideration.

Mayor Morris Flewwelling
 Chairperson
 City of Red Deer Municipal Planning Commission

c. Martin Kvapil, Parkland Community Planning Services



Council Decision – May 22, 2007

Legislative & Administrative Services

DATE: May 23, 2007
TO: Martin Kvapil, Parkland Community Planning Services
FROM: Nona Housenga, Deputy City Clerk
SUBJECT: West Park Extension Neighbourhood Area Structure Plan
Bylaw Amendment 3217/C-2007
Trademark Western Properties

Reference Report:

Parkland Community Planning Services, dated April 16, 2007

Bylaw Readings:

West Park Extension Neighbourhood Area Structure Plan Bylaw Amendment 3217/C-2007 received second and third reading. A copy of the bylaw is attached.

Report Back to Council: No.*Comments/Further Action:*

West Park Extension Neighbourhood Area Structure Plan Bylaw Amendment 3217/C-2007 provides for the future development of two-storey homes with walk-out basements on 8 R1 lots. Please provide this office with a copy of the revised West Park Extension Neighbourhood Area Structure Plan.

Nona Housenga
Deputy City Clerk

/chk
attchs.

c Director of Development Services
Inspections & Licensing Manager
Land & Economic Development Manager
City Assessor
LAS Admin Assistant



FILE

LEGISLATIVE & ADMINISTRATIVE SERVICES

May 23, 2007

Mr. Gary Grelish
Trademark West Park Inc.
#200, 6245 – 136 Street
Surrey, BC V3X 1H3

Dear Mr. Grelish:

**Re: *West Park Extension Neighbourhood Area Structure Plan
Bylaw Amendment 3217/C-2007***

At the City of Red Deer's Council Meeting held May 22, 2007, a Public Hearing was held with respect to *West Park Extension Neighbourhood Area Structure Plan Bylaw Amendment 3217/C-2007*. Following the Public Hearing, the bylaw was given second and third readings, a copy of which is attached.

West Park Extension Neighbourhood Area Structure Plan Bylaw Amendment 3217/C-2007 provides for the future development of two-storey homes with walk-out basements on 8 R1 lots.

Please call me if you have any questions or require additional information.

Sincerely,


Nona Housenga
Deputy City Clerk

/attach.

c Parkland Community Planning Services

LUB 3217/C-2007

West Park Extension Neighbourhood Area Structure Plan

DESCRIPTION: For the future development of two-storey homes with walk-out basements on 8 R1 lots.

FIRST READING: April 23, 2007

FIRST PUBLICATION: May 4, 2007

SECOND PUBLICATION: May 11, 2007

PUBLIC HEARING & SECOND READING: May 22, 2007

THIRD READING: MAY 22, 2007

LETTERS REQUIRED TO PROPERTY OWNERS: YES NO

DEPOSIT: YES \$ _____ NO

COST OF ADVERTISING RESPONSIBILITY OF: Trademark Western
Properties

ACTUAL COST OF ADVERTISING:

\$ 262.08 X 2 TOTAL: \$ 524.16

MAP PREPARATION: \$ _____

TOTAL COST: \$ 524.16

LESS DEPOSIT RECEIVED: \$ _____

AMOUNT OWING / (REFUND): \$ 524.16

INVOICE NO.: ~~4 202230~~ 202231
BATCH NO.: 4 844753

(Advertising Revenue to 180.5901)

www.reddeer.ca

Development Officer Approvals

On May 9, 2007, the Development Officer issued approval for the following applications:

Inglewood

1. Avalon Central Alberta – a 124 metre side yard to a proposed single family dwelling to be located at 92 Inglewood Close.

2. True-line Contracting Ltd. – a 7.92 metre width to a proposed detached garage to be located at 91 Inglewood Close.

Kentwood

3. Laebon Developments Ltd. – a 1.33 metre side yard to a proposed single family dwelling and attached garage to be located at 79 Kind Close.

Riverside Meadows

4. Bemoco Land Surveying Ltd. – a 1.06 metre side yard to an existing landing located at 5504-95A Street.

5. Alberta Quality Water 1995 Ltd. – a 22.29 m² cold storage shed to be located at 5914-54 Avenue.

Rosedale

6. Emerson Linton – a 4.8 metre rear yard to a proposed detached garage to be located at 105 Rupert Crescent.

Vanier

7. Mason Martin Homes – a 1.45 metre side yard to a proposed single family dwelling and attached garage to be located at 43 Vah Place.

You may appeal this decision to the Red Deer Subdivision & Development Appeal Board, Legislative & Administrative Services, City Hall, prior to 4:30 p.m. May 15, 2007. Appeal forms (outlining appeal fees) are available at Legislative & Administrative Services. For further information please phone 342-8132.

**PUBLIC NOTICE
THE CITY OF RED DEER
ENVIRONMENTAL
PROTECTION AND
ENHANCEMENT ACT
NOTICE OF APPLICATION
RENEWAL OF EXISTING
LANDFILL**

In accordance with the Environmental Protection and Enhancement Act, The City of Red Deer has applied to Alberta Environment for a renewal of an existing approval for the construction and operation of an existing Class II landfill located in Section 34 Township 37 Range 27 West of the 4th Meridian with a current disposal rate of approximately 110,000 tonnes per year, consisting of leaf and yard waste, storage area for household hazardous waste and recyclables as well as reclamation including post-closure care of a closed landfill located in the NE 1/4 of Section 33 Township 37 Range 27 West of the 4th Meridian.

Pursuant to Section 73 of the Environmental Protection and Enhancement Act, any person who is directly affected by this operation may submit a written statement of concern regarding this application. Failure to file a statement of concern may affect the right to file a Notice of Appeal with the Environmental Appeals Board. Such a statement of concern must be submitted to:

Director of Central Region
Alberta Environment
Regulatory Approval Center
9th Floor, 9830 – 106 Street
Edmonton, Alberta T5K 2J6
Fax: (780) 422-0154

within 30 days of the date of this notice. Please quote Application No.002-154918 when submitting a statement of concern in regards to the Environmental Protection and Enhancement Act application.

NOTE: Any statements filed regarding this application are public records which are accessible by the public.

Copies of the application and additional information can be obtained from:

The City of Red Deer
Attention: Jeff Miller
Box 5008
Red Deer, AB T4N 3T4
Telephone: (403) 342-8750
Fax: (403) 309-2695

**RED DEER SUBDIVISION & DEVELOPMENT
APPEAL BOARD HEARING**

TAKE NOTICE the following appeals will go before the Red Deer Subdivision & Development Appeal Board on Thursday, May 17, 2007 in the Council Chambers, 2nd Floor of City Hall, 4914 – 48 Avenue, Red Deer, commencing at 5:00 p.m.

DOWNTOWN

2007-02 Hackett Holdings Ltd. – application for reversal of the Municipal Planning Commission decision of April 10, 2007, which approved the discretionary use of a 12 suite, 3 storey multi-family building, with a 527 m² floor area and a 1246.2 m² site area, to be developed at 3613-3619 – 51 Avenue, zoned R2.

2007-03 Mason Martin Homes – application for reversal of the Municipal Planning Commission decision of April 23, 2007, which approved the discretionary use of a place of worship to be located at 4632 – 51 Street.

Under Section 687(1) of the Municipal Government Act, the Board will hear:

- a) the appellant;
- b) the development authority from whose order, decision or development permit the appeal is made;
- c) any other person who was given notice of the hearing and who wishes to be heard; or
- d) any other person who claims to be affected by the order, decision or permit and that the subdivision and development appeal board agree to hear.

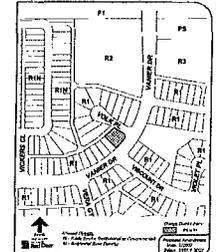
Parties as identified above may appeal in person or give notice in writing to the Red Deer Subdivision & Development Appeal Board on the specified date. Phone 342-8132 for further information.

**VANIER WOODS
NEIGHBOURHOOD**

Land Use Bylaw Amendment

City Council proposes to pass Land Use Bylaw Amendment 3337/R-2007, which provides for the re-zoning of the existing social day care centres (SDC) site, Lot 103, Block 4, Plan 072 1468, from PS Public Service District to R1 Low Density Residential District. This will create 2 detached dwelling residential lots. The proposed bylaw may be inspected by the public at Legislative & Administrative Services, 2nd Floor of City Hall during regular office hours or for more details, contact the city planners at Parkland Community Planning Services 343-3394.

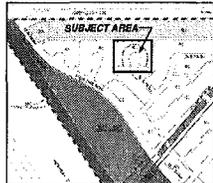
Proposed Amendment to Land Use Bylaw 2357/2006



City Council will hear from any person claiming to be affected by the proposed bylaw at a Public Hearing on Tuesday, May 22, 2007 at 6:00 p.m. in Council Chambers, 2nd floor of City Hall. If you want your letter or petition included on the Council agenda you must submit it to the Manager, Legislative & Administrative Services by Tuesday, May 15, 2007. Otherwise, you may submit your letter or petition at the Council meeting or you can simply tell Council your views at the Public Hearing. Council's Procedure Bylaw indicates that each presentation is limited to 10 minutes. Any submission will be public information. If you have any questions regarding the use of this information please contact the Manager, Legislative & Administrative Services at 342-8132.

**WEST PARK EXTENSION
Neighbourhood Area Structure Plan**

City Council proposes to pass Bylaw Amendment 3217/C-2007, an amendment to the West Park Extension Neighbourhood Area Structure Plan. The proposed amendment allows for future development of two-storey homes with walk-out basements on 8 ft lots. The proposed bylaw may be inspected by the public at Legislative & Administrative Services, 2nd Floor of City Hall during regular office hours or for more details, contact the city planners at Parkland Community Planning Services 343-3394.



City Council will hear from any person claiming to be affected by the proposed bylaw at a Public Hearing on Tuesday, May 22 2007 at 6:00 p.m. in Council Chambers, 2nd floor of City Hall. If you want your letter or petition included on the Council agenda you must submit it to the Manager, Legislative & Administrative Services by Tuesday, May 15, 2007. Otherwise, you may submit your letter or petition at the Council meeting or you can simply tell Council your views at the Public Hearing. Council's Procedure Bylaw indicates that each presentation is limited to 10 minutes. Any submission will be public information. If you have any questions regarding the use of this information please contact the Manager, Legislative & Administrative Services at 342-8132.

**Municipal Planning Commission
Approvals**

On May 7, 2007 the Municipal Planning Commission issued approval of the following applications:

Discretionary Uses:

South Hill

1. Janice Block o/a Infinite Power of Mind – a home based hypnotherapy/coach business to be located at 301, 3122 – 49 Avenue.

Deer Park

2. Rita Hooper o/a Hooper's Therapeutic Massage – a home based massage therapy business to be located at 43 Dobson Close.

Waskasoo/Woodlea

3. Red Deer Catholic Regional Division No. 39 – development of two additions totaling 279 m², and the discretionary use of 2nd storey offices, to the accessory workshop at Camille J. LeRouge School located at 4316 – 55 Street.

Permitted Uses:

Surebrook

4. Michael Milner – enclosure of a carport to form an attached garage on a single family dwelling located at 22 Sutton Close.

Parkland Hill

5. John Hurmy Architectural Associates – a 129 m² addition to The Keg located at 6365 – 50 Avenue.

You may appeal Discretionary approvals to the Red Deer Subdivision & Development Appeal Board, Legislative & Administrative Services, City Hall, prior to 4:30 p.m. Monday, May 28, 2007. You may not appeal a Permitted Use unless it involves a relaxation, variation or misinterpretation of the Land Use Bylaw. Appeal forms (outlining appeal fees) are available at Legislative & Administrative Services. For further information, please phone 342-8132.

URGENT! Please call/fax within 1 hour of receiving

OK as is
OK with corrections
Approved by

Sales Rep: 16
Composed by: dh

RED DEER ADVOCATE
PH: (403) 314-6248 Fax: (403) 342-4951

FRID., May 11
6 X 226
28164CityRedeerE11

AD CODE: 28164CityRedeerE11
FINAL PROOF: Proof read and approve or mark corrections. Proofing is the responsibility of the Advertiser. Thank you for your co-operation.

Municipal Planning Commission Approvals

On April 30, 2007 the Municipal Planning Commission issued approval of the following applications:

Discretionary Uses

Westerner area

1. Bearden Engineering – development of an Acura car dealership to be located at 1808 – 49 Avenue, zoned C4.

Permitted Uses

Golden West

2. Rod McWilliams – development of a 71.35 m² addition to an existing building (Red Deer Motors) located at 6720 Johnstone Drive, zoned C4.

You may appeal Discretionary approvals to the Red Deer Subdivision & Development Appeal Board, Legislative & Administrative Services, City Hall, prior to 4:30 p.m. Tuesday, May 22, 2007. You may not appeal a Permitted Use unless it involves a relaxation, variation or misinterpretation of the Land Use Bylaw. Appeal forms (outlining appeal fees) are available at Legislative & Administrative Services. For further information, please phone 342-8132.

Development Officer Approvals

On May 2, 2007, the Development Officer issued approval for the following applications:

Clearview

1. Beta Survey Ltd. – a 2.16 metre rear yard to an existing detached garage located at 93 Cunningham Crescent.

Deer Park

2. Beta Surveys Ltd. – a 1.87 metre rear yard to an existing detached garage located at 128 Duckering Close.

Highland Green

3. H. Mauro – a 0.8 metre side yard and a 1.67 metre rear yard to the existing detached garage and a 0 metre side yard to the existing deck located at 28 Haliburton Crescent.

Lancaster

4. N. Maclellan – a 7.31 metre width to a proposed detached garage to be located at 154 Lanterman Close.

Normandeau

5. Beneco Land Surveying Ltd. – a 0.72 metre side yard and a 0.71 metre rear yard to an existing detached garage located at 5848-69 Street Drive.

You may appeal this decision to the Red Deer Subdivision & Development Appeal Board, Legislative & Administrative Services, City Hall, prior to 4:30 p.m. May 18, 2007. Appeal forms (outlining appeal fees) are available at Legislative & Administrative Services. For further information please phone 342-8192

VANIER WOODS NEIGHBOURHOOD Land Use Bylaw Amendment

City Council proposes to pass Land Use Bylaw Amendment 335796-2007, which provides for the rezoning of the existing social/daycare retirement (SDR) site, Lot 103, Block 4, Plan 072 1488, from PS Public Service District to R1 Low Density Residential District. This will create 2 detached dwelling residential lots. The proposed bylaw may be inspected by the public at Legislative & Administrative Services, 2nd Floor of City Hall during regular office hours or for more details, contact the city planners at Parkland Community Planning Services 343-3394.



City Council will hear from any person claiming to be affected by the proposed bylaw at a Public Hearing on Tuesday, May 22, 2007 at 6:00 p.m. in Council Chambers, 2nd floor of City Hall. If you want your letter or petition included on the Council agenda you must submit it to the Manager, Legislative & Administrative Services by Tuesday, May 15, 2007. Otherwise, you may submit your letter or petition at the Council meeting or you can simply tell Council your views at the Public Hearing. Council's Procedure Bylaw indicates that each presentation is limited to 10 minutes. Any submission will be public information. If you have any questions regarding the use of this information please contact the Manager, Legislative & Administrative Services at 342-8132.

2006 ANNUAL REPORT

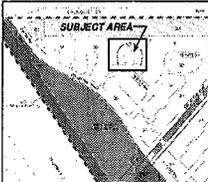
Copies of the 2006 Annual Report of The City of Red Deer are now available at the Information Desk, Main Floor, City Hall. Some financial information contained in this report may be accessed on The City of Red Deer's Web Site: <http://www.reddeer.ca>

R. Burkard, C.A.
Director of Corporate Services

WEST PARK EXTENSION

Neighbourhood Area Structure Plan

City Council proposes to pass Bylaw Amendment 3217C-2007, an amendment to the West Park Extension Neighbourhood Area Structure Plan. The proposed amendment allows for future development of two-story homes with walk-out basements on 8 R1 lots. The proposed bylaw may be inspected by the public at Legislative & Administrative Services, 2nd Floor of City Hall during regular office hours or for more details, contact the city planners at Parkland Community Planning Services 343-3394.



City Council will hear from any person claiming to be affected by the proposed bylaw at a Public Hearing on Tuesday, May 22 2007 at 6:00 p.m. in Council Chambers, 2nd floor of City Hall. If you want your letter or petition included on the Council agenda you must submit it to the Manager, Legislative & Administrative Services by Tuesday, May 15, 2007. Otherwise, you may submit your letter or petition at the Council meeting or you can simply tell Council your views at the Public Hearing. Council's Procedure Bylaw indicates that each presentation is limited to 10 minutes. Any submission will be public information. If you have any questions regarding the use of this information please contact the Manager, Legislative & Administrative Services at 342-8132

INVITATION TO TENDER THE CITY OF RED DEER

Sealed Tenders clearly marked "City of Red Deer 2007 Bridge Maintenance, (Tender Closing Date May 18, 2007)" delivered or mailed to:

Purchasing Section – Main Floor
The City of Red Deer
4914 - 48 Avenue T4N 3T3
Box 5008 T4N 3T4
Red Deer, Alberta

and received before 2:00 p.m. local time on May 18, 2007, will be opened in public immediately thereafter. Tenders received and not conforming to the foregoing will be returned to the Tenderer(s) without consideration. Tender Documents or Tender Amendments received via Facsimile machine will not be accepted.

The work entails a variety of repairs to 9 structures at different locations within the City of Red Deer. The work on bridge structures and retaining walls is comprised of approximately:

- Grout pad repairs to approximately 15 bearing or handrail base plates
- Repairs to deck joint cover plates and replacement of deck joint strip seals
- Repairs to damaged bridge rails
- Approximately 15 square metres of concrete cutting and patching on bridge decks, bridge substructures and retaining walls
- Routing and caulking of cracks and construction joints
- Application of penetrating and pigmented sealers on bridges and retaining walls
- Epoxy crack repairs
- Re-pointing and other masonry repairs to concrete block retaining walls
- Bridge jacking and bearing replacement
- Grinding concrete surfaces

Copies of the Tender Documents may be viewed & obtained from The City of Red Deer Public Works Department, 5402-47 Street, on or after May 07, 2007 upon payment of a \$50.00 non-refundable fee, made payable to The City of Red Deer. The City of Red Deer Contract Specifications 2007 Edition may be obtained from the Public Works Department for a \$25 non-refundable fee or free-of-charge at www.reddeer.ca. (Connecting with Your City > City Services & Departments > Engineering Services > Project Engineering/Construction > Contract Specifications)

Sub – Contractors may view the Tender Documents at the Edmonton, Calgary, and Red Deer Construction Association offices.

Inquiries regarding this Project may be directed to:

Frank Colosimo, P.Eng. Gord Elworthy, CET
The City of Red Deer Santee Consulting Ltd.
Public Works Department 400 – 4808 Ross Street
4914 – 48 Avenue Red Deer, Alberta T4N 1X5
Red Deer, Alberta, T4N 3T4 (403) 342-8238
(403) 341-3320

URGENT! Please call/fax within 1 hour of receiving

RED DEER ADVOCATE
Ph. (403)314-4343 Fax (403) 342-4051

INSERT DATE: **FRI, May 4**

AD SIZE: **4x**

AD CODE: **33538CityRDeerE4**

Status Rep: **OK as is**

16 OK with corrections

Approved by

Composed by

dh

FINAL PROOF. Proof read and approve or mark corrections.
Proofing is the responsibility of the Advertiser. Thank you for your co-operation

May 2, 2007

«Prime_Owner_Name»

«Owner_Address_1»

«Owner_Address_2»

«Owner_Address_3»

Dear Sir/Madam:

Re: West Park Extension Neighbourhood Area Structure Plan Amendment 3217/C -2007

Red Deer City Council is considering a change to the West Park Extension Neighbourhood Area Structure Plan , which controls the use and development of land and buildings in the West Park Extension Neighbourhood. As a property owner in the area of proposed changes, you have an opportunity to ask questions about the intended use and to let Council know your views.

Red Deer City Council proposes to pass **West Park Extension Neighbourhood Area Structure Plan Amendment 3217/C-2007**, which allows for future development of two-storey homes with walk-out basements on 8 R1 lots. The proposed bylaw may be inspected by the public at Legislative & Administrative Services, 2nd Floor of City Hall, during regular office hours. For more details contact the city planners at Parkland Community Planning Services at 343-3394.

City Council will hear from any person claiming to be affected by the proposed bylaw at a Public Hearing on **Tuesday, May 22, 2007** at 6:00 p.m. in Council Chambers, 2nd floor of City Hall. If you want your letter or petition included on the Council agenda you must submit it to our office by **Tuesday, May 15, 2007**. Otherwise, you may submit your letter or petition at the Council meeting or you can simply tell Council your views at the Public Hearing. Council's Procedure Bylaw indicates that each presentation is limited to 10 minutes. Any submission will be public information. If you have any questions regarding the use of this information, please contact Legislative & Administrative Services at 342-8132.

Yours truly,



Kelly Kloss

Manager, Legislative & Administrative Services

Enclosure

West Park Extension
 in Red Deer
 Neighbourhood Structure Plan
 Section 7, Township 38, Range 27, W. of 4

Proposed for Tradeable Western Properties
 Plan Statistics
 Total Area: 159.25 (4024)
 Environmental Reserve: 1.18 (.45)
 Total Developable: 158.07 (3979)

Single Family Large Lots	6.08	3.27	5.87
Single Family S/L Lots	50.97	23.91	9.41
Single Family Medium Lots	8.18	3.31	3.64
Single Family - Town House	3.21	3.32	3.55
Secondary S/L Lots	1.95	0.43	0.89
Street and Lanes	31.03	13.86	20.06
Public Utility Lots	7.60	3.18	3.42
Church Site/RI	1.0	0.10	0.69
Social Care Site	0.30	0.12	0.41
Neighbourhood Reserve	16.58	8.70	10.49

191 Developable Area: 151.07 (3827) 100%

Municipal Reserve Summary

General Park	8.87	3.98
Highway 2 Buffer	4.19	1.72
Buffer - Existing Community	1.13	0.47
15m Buffer	0.24	0.22
Existing Park	3.05	0.45
15m Street Park	2.06	0.31
Total Area for Municipal Reserve	18.58	8.70

LEGEND

- Neighbourhood Structure
- Existing Road Right-of-Way
- Proposed 15m Right-of-Way
- Proposed Walkway
- Existing Tree Crown
- Children Play Area
- Potential Wildlife Habitat
- Landscaped Medians
- Proposed 2.5m Right-of-Way
- Existing Centreline

Prepared By:
 Intertek Engineering Ltd.
 10000 10th Street, Red Deer, Alberta T4N 1A7
 Phone: (403) 293-1111
 Fax: (403) 293-1112
 Website: www.intertek.ca

Title: West Park Extension
 Date: 11/20/08
 Scale: 1:1000
 Author: J. Smith
 Checker: J. Smith

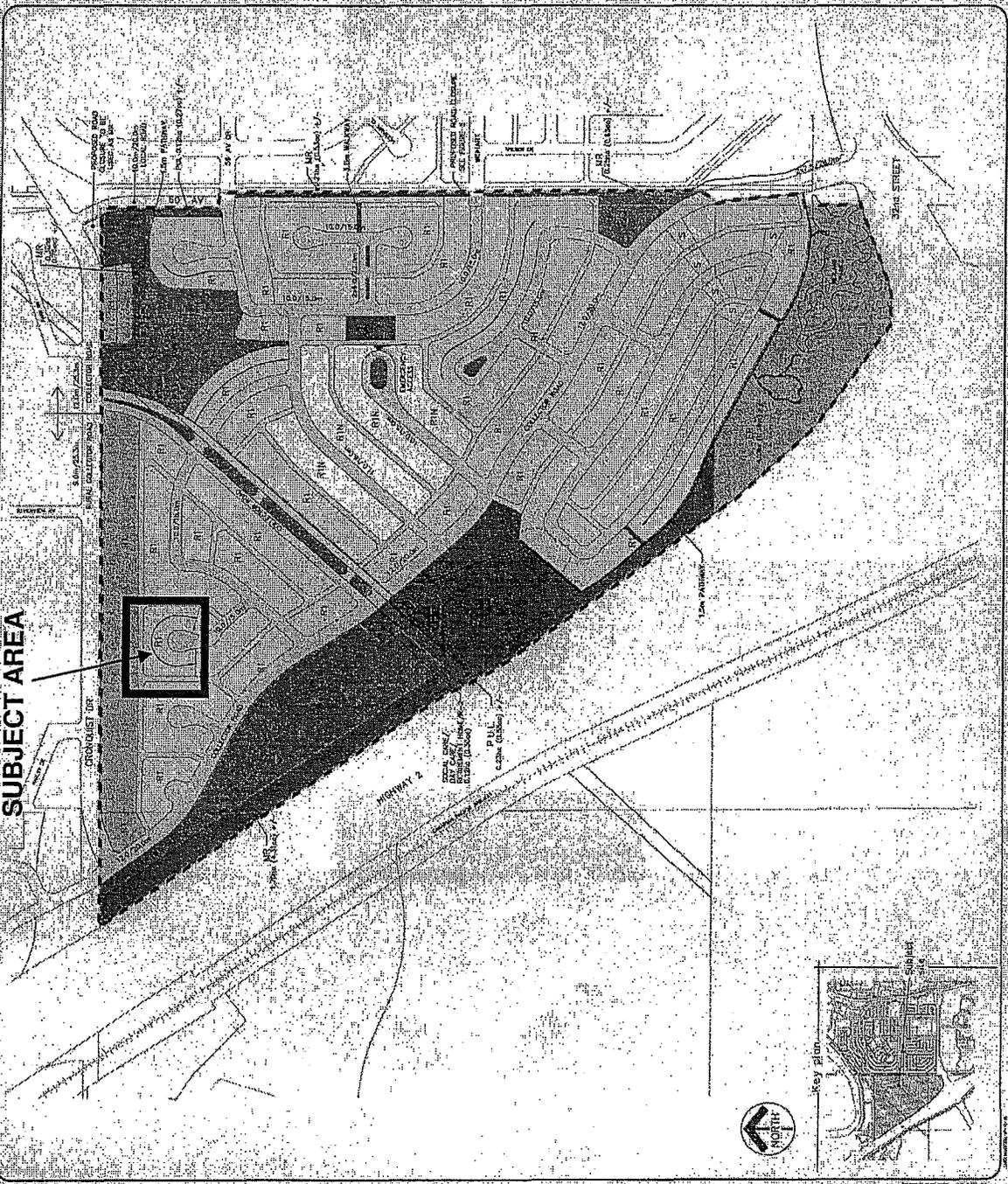
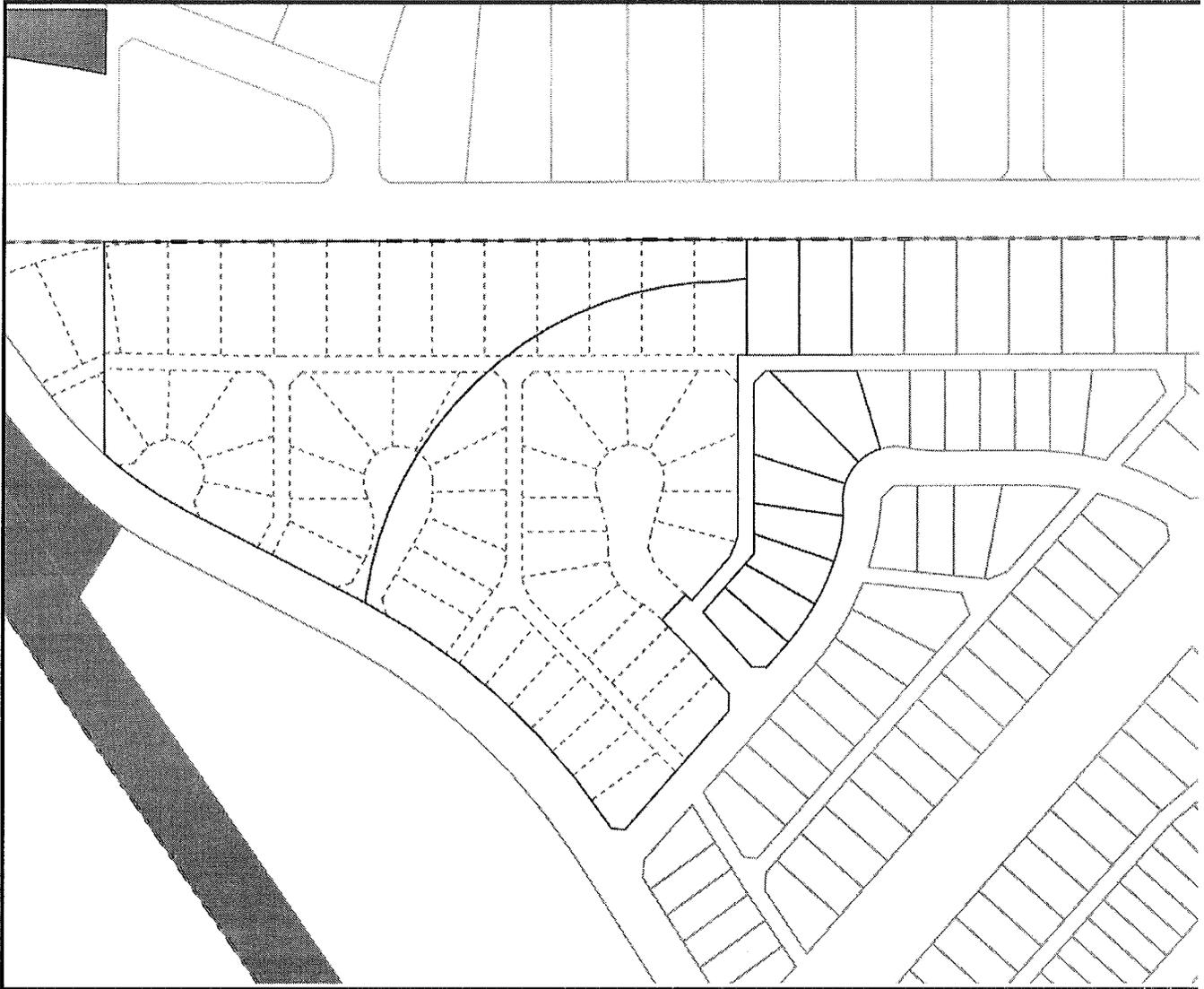


FIGURE 2 - PROPOSED LAND USE CONCEPT

Prime Owner Name	Owner Address 1	Owner Address 2	Owner Address 3	Owner Address	Parcel Address
STEVEN & LYNDA M HODGKINSON	97 WEDDELL CRES	RED DEER, AB	T4N 7E3		97 WEDDELL CR
TRUE-LINE CONTRACTING LTD	PO BOX 161 STN POSTA	RED DEER, AB	T4N 5E8		121 WEDDELL CR
JEFFREY & CHRISTIN BORLE	113 WEDDELL CRESCEI	RED DEER, AB	T4N 7E3		113 WEDDELL CR
BEVERLEY ANN HANES	109 WEDDELL CRES	RED DEER, AB	T4N 7E3		109 WEDDELL CR
CHRIS WALTER & TARRA LIZEE	105 WEDDELL CRES	RED DEER, AB	T4N 7E3		105 WEDDELL CR
DWAYNE & SYLVIA SIMMONS	101 WEDDELL CRES	RED DEER, AB	T4N 7E3		101 WEDDELL CR
ADRIAN V & DOREEN M LACHANCE	RR 1 SITE 11 BOX 13	RED DEER, AB	T4N 5E1		6241 CRONQUIST DR
JOHN & LISA JOAN ROTH	61 ERICKSON DRIVE	RED DEER, AB	T4R 1X8		6237 CRONQUIST DR



NASP 3217/C-2007

2007/04/27
Scale 1 : 2893

The City
the accur
Data to t
Copyright

Legislative & Administrative Services

DATE: April 24, 2007
TO: Martin Kvapil, Parkland Community Planning Services
FROM: Kelly Kloss, Legislative & Administrative Services Manager
SUBJECT: Neighbourhood Area Structure Plan Bylaw Amendment 3217/C-2007
West Park Extension Neighbourhood Area Structure Plan
Trademark Western Properties

Reference Report:

Parkland Community Planning Services, dated April 16, 2007

Bylaw Readings:

West Park Extension Neighbourhood Area Structure Plan Bylaw Amendment 3217/C-2007 was given first reading. A copy of the bylaw is attached.

Report Back to Council: Yes

A Public Hearing will be held on Tuesday, May 22, 2007 at 6:00 p.m. in Council Chambers, during Council's Regular Meeting.

Comments/Further Action:

West Park Extension Neighbourhood Area Structure Plan Bylaw Amendment 3217/C-2007 provides for the future development of two-storey homes with walk-out basements on 8 R1 lots. This office will now proceed with the advertising for the Public Hearing. Trademark Western Properties will be responsible for the advertising costs in this instance.



Kelly Kloss
Manager

/chk

/attach.

c Director of Development Services
Inspections & Licensing Manager
Land & Economic Development Manager
LAS Clerk Steno

BYLAW NO. 3217/C-2007

Being a bylaw to amend Bylaw No. 3217/98, the bylaw adopting the neighbourhood area structure plans as a bylaw of the City of Red Deer

COUNCIL OF THE CITY OF RED DEER, ALBERTA, ENACTS AS FOLLOWS:

That Bylaw No. 3217/98 is hereby amended:

1. By substituting the revised and updated map (Figure 4), attached hereto and forming part of the bylaw, in the West Park Extension Neighbourhood Area Structure Plan.

READ A FIRST TIME IN OPEN COUNCIL this 23^d day of April 2007.

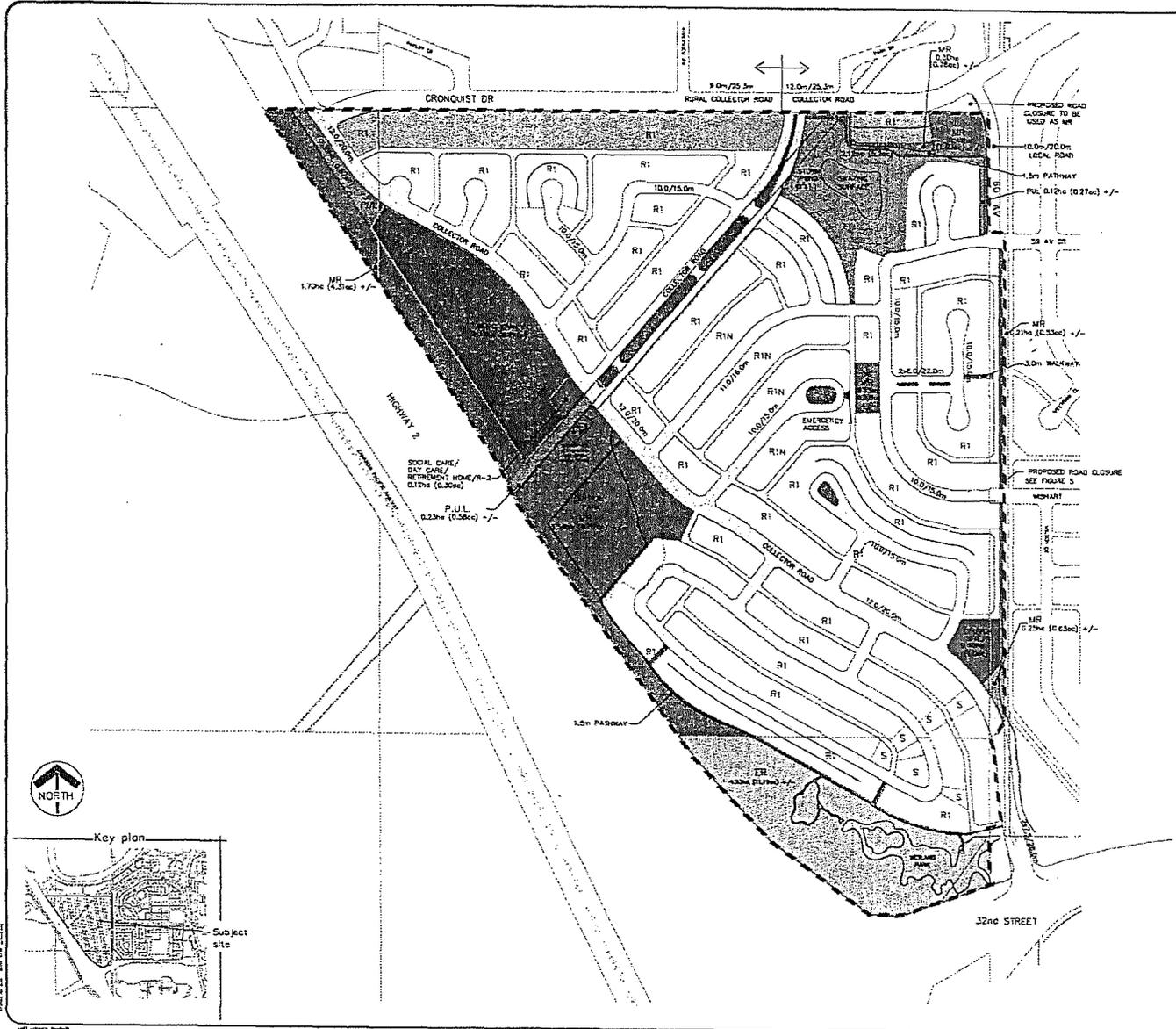
READ A SECOND TIME IN OPEN COUNCIL this day of 2007.

READ A THIRD TIME IN OPEN COUNCIL this day of 2007.

AND SIGNED BY THE MAYOR AND CITY CLERK this day of 2007.

MAYOR

CITY CLERK



West Park Extension in Red Deer

Neighbourhood Structure Plan
Within:
Section 7, Township 38, Range 27, W of 4

Prepared for: Trademark Western Properties.

Plan Statistics		Acres	Hectares	%
Total Area		156.26	63.24	
Environmental Reserve		11.19	4.53	
Total Developable		145.07	58.71	

Single family Large Lots	8.05	3.27	5.57
Single family Sid. Lots	60.07	24.31	41.41
Single family Narrow Lots	8.16	3.31	5.64
Multi family - Town House	8.20	3.32	5.65
Secondary Suite Lots	1.19	0.48	0.82
Street and Lanes	33.63	13.61	23.18
Public Utility Lots	7.86	3.15	5.42
Church Site/R1	1.0	0.40	0.69
Social Care Site (Social Housing/Day Care/ Retirement Home)/R2	0.20	0.12	0.21
Municipal Reserve *	16.56	6.70	11.42

Net Developable Area 145.07 58.71 100.0

* Municipal Reserve Summary		Acres	Hectares
Central Park	8.87	3.58	
Highway 2 Buffer	4.19	1.70	
Buffer - Existing Community	1.16	0.47	
Tot Lot	0.55	0.22	
Feature Park	1.03	0.42	
N.E. Storm Pond	0.76	0.31	
Total Area for Municipal Reserve	16.56	6.70	

Legend

- Neighbourhood Structure Plan Boundary
- Existing Power Poles
- Proposed 1.5m Pathway
- Proposed Walkway
- Existing Tree Cover
- Children Play Area
- Potential Walkout lots
- Landscaped Medians
- Proposed 2.5m Regional Pathway
- Existing Contours

Planning Team Prepared By
 InterPlan Strategies Inc. InterPlan Strategies Inc.
 At-Terra Engineering Ltd. Land Planning Services
 LHM Associates Inc.
 Firm Transportation Consultants
 Westhoff Resources Engineering Inc.
 McChesney Consulting Services Ltd.
 Group 2 Architects

Date	Scale	Figure
Nov. 2001	0 20 40 100m	4
Rev JAN 24/05 (4/17)		

CLARK
STAND



LEGISLATIVE & ADMINISTRATIVE SERVICES

April 24, 2007

Fax: 1-604-590-6766

Mr. Gary Grelish
Trademark West Park Inc.
#200, 6245 - 136 Street
Surrey, BC V3X 1H3

Dear Mr. Grelish:

**Re: West Park Extension Neighbourhood Area Structure Plan
Bylaw Amendment 3217/C-2007**

Red Deer City County gave first reading to *West Park Extension Neighbourhood Area Structure Plan Bylaw Amendment 3217/C-2007* at the City of Red Deer's Council Meeting held Monday, April 23, 2007. For your information a copy of the bylaw is attached.

West Park Extension Neighbourhood Area Structure Plan Bylaw Amendment 3217/C-2007 provides for the future development of two-storey homes with walk-out basements on 8 R1 lots.

Council must hold a Public Hearing before giving second and third readings to the bylaw. This office will now advertise for a Public Hearing to be held on Tuesday, May 22, 2007 at 6:00 p.m. in Council Chambers of city Hall during Council's regular meeting.

You are responsible for the advertising costs and will be invoiced for this cost which we estimate to be approximately \$700.00. If you are not in agreement with paying this cost, please notify me by 10:00 A.M. on Wednesday, May 2, 2007.

Please call me if you have any questions or require additional information.

Sincerely,

A handwritten signature in black ink, appearing to read 'Kelly Kloss', written over a printed name and title.

Kelly Kloss
Manager

/attach.

c Parkland Community Planning Services

BYLAW NO. 3217/C-2007

Being a bylaw to amend Bylaw No. 3217/98, the bylaw adopting the neighbourhood area structure plans as a bylaw of the City of Red Deer

COUNCIL OF THE CITY OF RED DEER, ALBERTA, ENACTS AS FOLLOWS:

That Bylaw No. 3217/98 is hereby amended:

1. By substituting the revised and updated map (Figure 4), attached hereto and forming part of the bylaw, in the West Park Extension Neighbourhood Area Structure Plan.

READ A FIRST TIME IN OPEN COUNCIL this 23rd day of April 2007.

READ A SECOND TIME IN OPEN COUNCIL this day of 2007.

READ A THIRD TIME IN OPEN COUNCIL this day of 2007.

AND SIGNED BY THE MAYOR AND CITY CLERK this day of 2007.

MAYOR

CITY CLERK

West Park Extension in Red Deer

Neighbourhood Structure Plan
Within:
Section 7, Township 38, Range 27, W of 4

Prepared for: Trademark Western Properties.

Plan Statistics		Acres	Hectares	%
Total Area		156.26	63.74	
Environmental Reserve		11.19	4.53	
Total Developable		145.07	58.71	

Single family Large Lots	8.08	3.27	5.07
Single family Sid. Lots	60.07	24.31	41.41
Single family Narrow Lots	0.18	3.31	5.64
Multi family - Town House	8.20	3.32	5.65
Secondary Suite Lots	1.19	0.48	0.82
Street and Lanes	33.63	13.61	23.18
Public Utility Lots	7.86	3.18	5.42
Church Site/R1	1.0	0.40	0.68
Social Care Site (Social Housing/Day Care/ Retirement Home/R2)	0.30	0.12	0.21
Municipal Reserve *	16.56	6.70	11.42

Net Developable Area 145.07 58.71 100.0

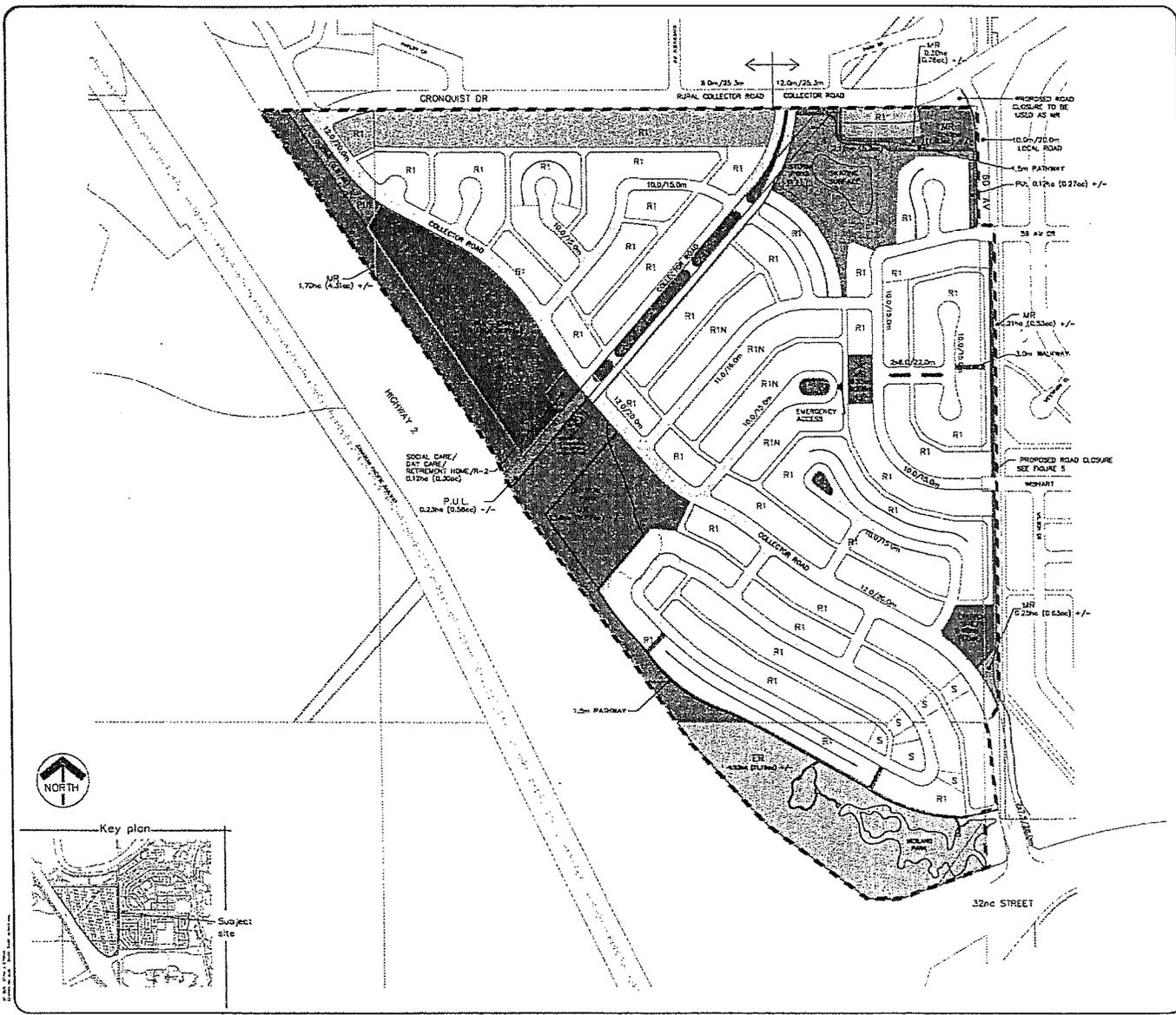
* Municipal Reserve Summary			Acres	Hectares
Central Park	8.87	3.58		
Highway 2 Buffer	4.19	1.70		
Buffer - Existing Community	1.16	0.47		
Tot Lot	0.55	0.22		
Feature Park	1.03	0.42		
N.E. Storm Pond	0.78	0.31		
Total Area for Municipal Reserve	16.56	6.70		

- Legend**
- Neighbourhood Structure Plan Boundary
 - .. Existing Power Poles
 - Proposed 1.5m Pathway
 - Proposed Walkway
 - * Existing Tree Cover
 - Children Play Area
 - Potential Walkout lots
 - Landscaped Medians
 - Proposed 2.5m Regional Pathway
 - Existing Contours

Planning Team: InterPlan Strategies Inc., At-Terra Engineering Ltd, LM Associates Inc., Firm Transportation Consultants, Washoff Resources Engineering Inc., McManhany Consulting Services Ltd, Group 2 Architects

Prepared By: InterPlan Strategies Inc., Land Planning Services

Date	Scale	Figure
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Social Planning Department

DATE: May 14, 2007

TO: Kelly Kloss, Manager
Legislative and Administrative Services

FROM: Scott Cameron, Manager
Social Planning Department

SUBJECT: Provincial Innovative Pilot Project Funding for Homelessness

Background:

The Provincial Innovative Pilot Project funding was developed as a result of the presentation made by Alberta's seven cities to the Standing Policy Committee on Health and Community Living in August 2006. In October 2006, the Province announced \$16 million over a two year period for an Innovative Pilot Project. The purpose of this funding is for the development of comprehensive outreach services and supports which assist in moving individuals experiencing homelessness through the continuum toward independent living and stable housing.

Red Deer has received \$1 million over two years, from April 1st, 2007 to March 31st 2009. As well, an amount of \$1 million has been set aside for a comprehensive evaluation (\$400,000) and for additional projects which are agreed to by the membership of the seven cities group (\$600,000).

In arriving at recommendations for the allocation of this funding, the Community Housing Advisory Committee (CHAC) ensured that all projects demonstrated:

- a) several key elements of the intent of the funding as outlined in the Request for Proposals;
- b) alignment with one or more of the Red Deer Community Housing Plan priorities, and
- c) the development of supports and services targeted at both reducing the "routes into homelessness" and increasing the opportunity for "routes out of homelessness" as identified in the *Ending Homelessness in the City of Red Deer* Research report, released March 2006.

Attached for your information are the Provincial Innovative Pilot Project Funding project descriptions.

Recommendation:

The Community Housing Advisory Committee recommends the following organizations and programs receive support from the Province's Innovative Pilot Project for Homelessness:

Agency/Program	2007/2008	2008/2009	Recommended Total
Shining Mountains Living Community Services – <i>Tawow Women's Connection Worker; Night and Crisis Support Worker</i>	\$96,510	\$96,510	\$193,020
Residential Society of Red Deer – <i>Housing First Demonstration Project</i>	\$320,929.50	\$320,929.50	\$641,859
Schizophrenia Society of Alberta (Red Deer & Area Chapter) – <i>SSARD Support Team</i>	\$25,440.50	\$25,440.50	\$50,881
Canadian Mental Health Association – <i>Supportive Housing</i>	\$47,600	\$57,120	\$104,720

Innovative Pilot Project Funding for Homelessness Project Descriptions

Agency: Shining Mountains Living Community Society
Project: Tawow Women's Connection Worker; Night & Crisis Support Worker

The two positions in this project will provide a continuum of services to offer a supportive, holistic, safe program primarily, but not exclusively to Aboriginal women and families within the Central Alberta region. The project is intended to offer an alternative option to Aboriginal women and their children by creating an intensive support system utilizing a combination of traditional and contemporary teaching material aimed at developing life skills, coping and communication skills, positive self esteem, self identity, budgeting, homemaking, and spiritual connectedness. The provision of an overnight crisis support worker together with the daytime staffing, will ensure significant continuity of intervention and support for the residents of Tawow, since many are victims of violence, or suffer from the inter-generational effects of Residential School Syndrome. Women will not be required to live within Tawow to access these services, since modules are designed in a circular tradition, thereby allowing participants to grow and develop in the traditional manner. It is expected that approximately 25 participants per quarter will complete the project.

Agency: Residential Society of Red Deer
Project: Housing First Demonstration Project

The purpose of this project is twofold:

- a) to have housing and support for 8 individuals who are considered to be the most vulnerable in the community and who have the most difficulty accessing regular housing, and
- b) to demonstrate the need for a long term program that would provide housing and support for 40 individuals who experience these same barriers to tenancy.

The individuals who choose this tenancy will have experienced extended and repeated periods of homelessness in Central Alberta. Tenants will have multiple barriers to stable housing such as active addictions, severe and persistent mental illness, criminal histories and blood borne pathogen infections. This housing is intended for individuals experiencing chronic homelessness, who can not sustain secure and stable housing without 24 hour, 7 days per week support. Features of this service include housing, nutritious meals, personal development, a safe and secure environment, case management and involvement of tenants in individual planning, increased inclusion in the community, strong inter-agency collaboration and culturally appropriate services for residents. This project represents a planning partnership between 10 community agencies and/or service providers. The Residential Society of Red Deer is the agency of record, and will hire and supervise staff. The project will be overseen by the Housing First Demonstration Project Advisory Committee. The Advisory Committee will work with Red Deer College Social Work Department for evaluation purposes.

**Social Planning Department**

Agency: Schizophrenia Society of Alberta Red Deer & Area Chapter
Project: SSARD Support team

This agency serves those living with schizophrenia or another severe mental illness, and their families. The project will deepen the capacity to offer supportive services on an individual basis to assist people to maintain their housing, to facilitate good choices and decision making, to become more involved and less isolated in their community and to promote health and self esteem. The specific objective of this program, is to improve services to the community and to formalize stable housing options for individuals living with schizophrenia or another serious long term mental illness, through creative housing partnership initiatives and the availability of deeper personal supports. An education coordinator will be hired to provide presentations in the community, allowing other support staff to focus more directly with clients needing housing. The agency currently provides assistance to individuals living in Lovella Society, Kentwood and Rosewood Manor housing, and works closely with other service providers who assist with housing needs.

Agency: Canadian Mental Health Association
Project: Supportive Housing

This project will use a Housing First approach whereby individuals will be offered housing before they are supported in addressing their needs. Housing will not be dependent on sobriety or adherence to a treatment plan. The focus will be on health, harm reduction and moving off the street. The project will identify three or four individuals or families who are prepared to provide accommodation and support in their own homes, to individuals and or couples. This proprietorship arrangement will include a stipend as well as regular ongoing support from a member of the Coordinated Community Outreach Team to the home owner. The Team member will provide overall case management services for the individuals who come to live in these homes, including home visits and addressing individual goals as identified in the development of the personal plan. The objective of this project is to provide housing for 8 individuals, to ensure safety, address health and harm reduction strategies and to foster a supportive, trusting relationship between the proprietor and the individual or couple. The Canadian Mental Health Association will identify potential proprietors and enter into contractual agreements for the provision of service.

Comments:

We agree with the recommendations of the Social Planning Manager.

"Morris Flewwelling"
Mayor

"Craig Curtis"
City Manager

Legislative & Administrative Services

DATE: May 23, 2007
TO: Scott Cameron, Social Planning Manager
FROM: Nona Housenga, Deputy City Clerk
SUBJECT: Provincial Innovative Pilot Project Funding for Homelessness

Reference Report:

Social Planning Manager, dated May 14, 2007

Resolutions:

“Resolved that Council of the City of Red Deer having considered the report from the Social Planning Manager, dated May 14, 2007, re: Provincial Innovative Pilot Project Funding for Homelessness, hereby approves the following organizations and programs to receive support from the Province’s Innovative Pilot Project for Homelessness:

Agency/Program	2007/2008	2008/2009	Total
Shining Mountains Living Community Services – <i>Tawow Women’s Connection Worker; Night and Crisis Support Worker</i>	\$96,510	\$96,510	\$193,020
Residential Society of Red Deer – <i>Housing First Demonstration Project</i>	\$320,929.50	\$320,929.50	\$641,859
Schizophrenia Society of Alberta (Red Deer & Area Chapter) – <i>SSARD Support Team</i>	\$25,440.50	\$25,440.50	\$50,881
Canadian Mental Health Association – <i>Supportive Housing</i>	\$47,600	\$57,120	\$104,720

Report Back to Council: No.


 Nona Housenga
 Deputy City Clerk

/chk

- c Director of Community Services
- M. Friesen, Community Facilitator 2, Social Planning
- B. Stearns, Contracts & Agreements Specialist, Social Planning

**COMMUNITY SERVICES**

Date: May 11, 2007
To: Kelly Kloss, Legislative & Administrative Services Manager
From: Colleen Jensen, Director of Community Services
Subject: Archives Offsite Storage
Short Term (1 - 3 years)

Background**1. 2001 – 2003**

Three studies have been completed on the Museum and Archives:

- Ball Report, 2001 – Archives
- Canadian Conservation Institute, 2002 – Museum
- Rotary Recreation Park, 2003 – Museum and Archives

All three studies identified significant issues of insufficient storage, limited office space, lack of program space, and better environmental controls for sensitive aspects of the collections.

2. April, 2004 – February 2005

Council approved proceeding with Site Evaluation and Concept Design for a new Museum and Archives in April, 2004:

- Eight sites were evaluated.
- Functional program needs were determine.
- Preliminary visioning was undertaken with stakeholders.
- Partners were identified and committed to the project: Normandeau Society (Museum) Museum Society, Red Deer College, the Library and The City's Archives and Cultural Services Sections.

3. March, 2005

Project put on hiatus to monitor status of potential downtown sites.

4. December, 2006

Alternative long-term solution was presented to Council for consideration:

- Permanent office and storage for Archives.
- Major renovation for Museum at existing site.

Initiative was not supported and Administration was directed to seek other alternatives. See resolution in Attachment #1.

Discussion

Since December, Administration has investigated several options that would assist with management of space and environmental issues at the existing Museum and Archives facility.

To: Kelly Kloss
Page 2 of 2

This is explained in more detail in the report from the Culture Services Superintendent that is attached. See Attachment #2.

In addition, work is underway to explore the relationship between Archives and Records and Information Management (RIM), as well as operational issues for each area. This work will assist our organization in determining how to proceed in the future with these two operations.

It is acknowledged that, in order to address issues with the Archives, a multi-faceted approach is required. The following identifies the work that Administration feels needs to be undertaken in fulfilling the direction outlined by Council in December 2006.

Proposal

1. Short Term Direction (1 – 3 Years):

- a. Records and Information Management (RIM)/Archives Study to be complete in June, 2007.
- b. Archives acquire offsite storage space that is clean and dry but not environmentally controlled. Museum may partner with Archives or seek their own space for interim storage. See Attachment #2.
- c. Museum may require investment in the facility to mitigate specific concerns. A further request specific to this item will be brought forward as necessary.
- d. RIM may seek offsite storage space to manage growing record storage concerns.
- e. Limited Public Engagement will be undertaken beginning in 2008, related to the future facility needs of the Archives.
- f. Direction for the Medium Term will be determined.

2. Medium Term (4 – 10 Years):

- a. Relationship of Archives with Museum and/or RIM will be confirmed.
- b. Location of Archives will be determined. (e.g. City Hall Expansion, with Museum etc.)
- c. Public engagement and education regarding value and benefit of maintaining a place to highlight cultural heritage/museum/archives will increase.
- d. Direction for the long term will be determined.

3. Long Term (10+ Years):

- To be determined.

Senior Management Team considered the report from the Culture Services Superintendent at its May 10 meeting and is in support of the recommendations as presented.

Recommendation

That Council for The City of Red Deer approves the recommendation from the Culture Superintendent for funding for Archives offsite storage in the amount of \$75, 000 for each of 3 years, and that the funding come from the Tax Stabilization Reserve.



Colleen Jensen
Director of Community Services

Attachment # 1



Council Decision – December 11, 2006

Legislative & Administrative Services

DATE: December 12, 2006
TO: Colleen Jensen, Director of Community Services
FROM: Kelly Kloss, Legislative & Administrative Services Manager
SUBJECT: Major Capital Budget 2007 – 2011
Museum / Archives Offsite Storage

Reference Report:

Major Capital Budget presentation held on December 11, 2006

Resolutions:

"Resolved that Council of the City of Red Deer, having considered the Major Capital Budget 2007 – 2011, hereby directs the Administration to develop for Council's consideration a terms of reference for the investigation of Museum/ Archives offsite storage."

Report Back to Council: Yes*Comments/Further Action:*

Please provide a report for Council's consideration regarding the Museum/ Archives offsite storage.

A handwritten signature in black ink, appearing to read 'Kelly Kloss'.

Kelly Kloss
Manager

/chk

Attachment # 2

**Culture Services**

A Cultural Capital of Canada

DATE: May 10, 2007
TO: Colleen Jensen
FROM: Kristina Getz, Culture Superintendent
SUBJECT: Archives Off-Site Storage

Background

The City of Red Deer is legally responsible, through the Municipal Government Act, for preserving municipal records. For more than four decades, Red Deer's City Council has been committed to preserving historically and culturally significant collections and information for Red Deer and the Central Alberta region. This stewardship occurs through The City's Archives unit in the Culture Services section of the Recreation Parks and Culture Department.

Since 1978, the Red Deer and District Archives and the Red Deer and District Museum have been housed together in one facility. Despite three renovations over the past 35 years, the facility is experiencing serious space constraints. At this time the Archives is nearing capacity and it is therefore of the utmost importance that acceptable space is secured soon. We are approaching the point where we will have limited capacity to handle new donations and meet the growing demand for innovative public programming.

Since 2006 Culture Services has been looking to secure offsite storage space that would suffice for up to 5 years while a more permanent solution is explored. We have estimated our needs for 5 years to be approximately 3,000 square feet. We have explored many potential storage spaces and have come close to securing a couple of locations but due to different factors, these have either not met our needs or were already leased due to the extremely active real estate market that our community is currently experiencing.

Opportunities and Challenges

With the assistance of the Land and Economic Development Department, we have worked to identify potential sites that could meet our needs and the costs associated with securing lease space for this purpose.

Our goal is to secure space that would suffice as temporary, off-site storage for a period of 5 - 7 years. This space would not be environmentally controlled to the same degree as the regular Archives space, and would therefore be used to store less sensitive items. In the shorter term, the excess space could potentially serve as transitional storage space for the Museum as well as storage for our public art maquettes and support materials.



Culture Services

A Cultural Capital of Canada

Factoring in Red Deer's strong real estate market, we need the ability to respond quickly in securing a lease on quality space for our Archives' off-site storage needs. By requesting funding that would reflect the maximum amount available to us, we would move forward to secure a lease when a location that meets our needs is identified.

Based on our search for space, in conjunction with Land and Economic Development, over the last several months our experience is that the costs related to leasing will be approximately \$90,000 per year, including leasing, utilities, janitorial etc. Our current budget has an annual allocation of \$15,000, and therefore we require a funding amount up to an additional \$75,000. It is suggested that, when an opportunity arises, we would like to be able to move forward quickly and further, that a lease be undertaken for a period of three years.

There will also be some one time costs of approximately \$15,000 for a dehumidification and humidification unit, furniture and some shelving. These costs can be covered out of Archives reserves that are in place from the royalties that accrue to the section from a community donation.

Recommendation

That funding in the amount of \$75 000.00 per year, for each of three years, be approved to allow Culture Services to move forward in securing off-site storage space primarily for Archives purposes. This amount would include the yearly lease and associated operational costs.

Kristina Getz
Culture Superintendent

Comments:

We agree with the recommendations of the Director of Community Services. At the 2007 Capital Budget deliberations, Council directed that Administration pursue an alternate arrangement to what was initially presented for the Museum/Archives storage. This report is the result of that direction.

"Morris Flewwelling"
Mayor

"Craig Curtis"
City Manager

Legislative & Administrative Services

DATE: May 23, 2007
TO: Colleen Jensen, Director of Community Services
FROM: Nona Housenga, Deputy City Clerk
SUBJECT: Archives Offsite Storage
Short Term (1 – 3 years)

Reference Report:

Director of Community Services, dated May 11, 2007

Resolutions:

“*Resolved* that Council of the City of Red Deer, having considered the report from the Director of Community Services, dated May 11, 2007, re: Archives Offsite Storage Short Term (1 – 3 Years), hereby approves an amendment to the 2007 Budget to allocate the funding for Archives Offsite Storage in the amount of \$75,000 for each of 3 years with the funding to come from the Tax Stabilization Reserve.”

Report Back to Council: No.


Nona Housenga
Deputy City Clerk

/chk

c C. Lust, Strategic Initiatives Coordinator, Community Services
K. Getz, Culture Superintendent
M. Bovair, Financial Analyst



RECREATION, PARKS & CULTURE

Date: May 11, 2007

To: Kelly Kloss, Legislative & Administrative Services Manager

From: Greg Scott, Manager
Recreation, Parks & Culture

Jeff Graves, Projects Superintendent

Subject: INFORMATION UPDATE – G.H. DAWE CENTRE RENOVATION
PROJECT

This memo is to update City Council on the status of the G.H. Dawe Centre Renovation Project relating to the scope, costing of the project and a funding option.

BACKGROUND

The G.H. Dawe Centre Renovation Project Needs Assessment and Concept Plan was completed in December 2003 and presented to City Council. In 2004 funding for the design phase of this project was approved in the Recreation, Parks and Culture budget. The design phase was delayed due to the ongoing renovation to the Recreation Centre and the need to study the feasibility of the City operating the Roland Michener Centre. The budget was therefore carried forward and approved by Council in 2006.

Council on July 17, 2006 received a report from the Recreation, Parks and Culture Manager and approved proceeding with the detail design phase of this project based on a budget of \$650,000.00. A further \$25,000.00 was approved as part of the 2006 budget to undertake a site master plan of the Dawe Centre to determine the future site capabilities for recreation and park amenities.

The 2007 Major Capital Budget approved by Council provided for the construction phase of this project in the amount of \$16,330,000.00. A debenture bylaw for this same amount was passed by Council on January 15, 2007.

The following is a summary of funding for this project:

2003	Need Assessment and Concept Plan	\$25,000.00
2006	Detail Design	\$650,000.00
2006	Site Master Plan	\$25,000.00
2007	Construction	\$16,330,000.00
Total		\$17,030,000.00

The project team of Recreation, Parks and Culture Department staff, together with Group² Architects, has been meeting with the Red Deer Public Library and representatives of both School Boards to further the concept and design of this project. This project is being completed in accordance with the Major Facilities Planning and Construction template.

DISCUSSION

The Project Committee together with Group² Architects, have been meeting to review the original 2003 concept design and to establish the current needs of community for the development of the G.H. Dawe Centre. The committee has established objectives and priorities for the renovation and upgrade as follows:

1. Review the values and needs of the community – provide new and exciting amenities;
2. Safe and accessible;
3. Flexible use of spaces;
4. Reflect responsible stewardship;
5. Design priorities.

Further detail and description of these priorities are included in the schematic design report dated March 2007 (see Attachment I).

A. Scope Changes

As a result of the detail review of objectives and priorities, the following items are enhancements from the original 2003 concept:

1. The addition of more pool amenities
 - a. Two waterslides;
 - b. Expanded play pools and water features;
 - c. Increase size and height of pool enclosure to accommodate the slides and features.
2. The addition of second floor office/meeting/administration areas above the library – 480 m² area;
3. Addition of an expanded basement for pool mechanical of 146 m²;
4. Increase size of the Dawe Library.

The existing centre covers 5,675 m². The 2003 concept showed 8,660 m² and the current design reflects 9,974 m².

5. Increased and improved mechanical and electrical requirement to improve energy efficiency and become independent from school mechanical systems that are currently shared and outdated;
6. Increased emphasis on sustainable;
7. Design to improve the “green building” concept for this renovation;
8. Site landscaping improvement;
9. Parking upgrades and improvements.

The above scope changes are an important enhancement to this project to revitalize the facility to meet the needs of the community. As a result of changes in scope plus the inflationary pressures on the cost of construction, the following is a summary of cost of completing this project:

B. Costing

The current preliminary design of this project has been completed and the following are the cost estimates provided by the cost consultants for the completion of this project with a late fall/winter 2007 start.

Construction	\$22,405,000.00
Public Art	\$268,860.00
Professional Consulting Fees	\$2,106,670.00
Furnishings, Equipment, Disbursement of miscellaneous costs, moving, testing	\$1,529,300.00
Landscaping, site amenities	\$800,000.00
Total	\$27,109,830.00

This costing includes all components of the project including contingencies.

C. Funding

The following funding option has been provided by Gary Mullin, City Treasurer as a proposed way of funding this project.

Currently approved funding for concept, detail design and site master plan	\$ 700,000.00
Debenture bylaw January 15, 2007	\$16,330,000.00
Capital projects revenue	\$2,000,000.00
(1) Municipal Rural Infrastructure Grant	\$2,133,334.00
(2) Major Community Facility Grant	\$5,946,496.00
Total	\$27,109,830.00

(1) Funding from the Municipal Rural Infrastructure Grant is a Federal/Provincial matching program with the grant having an environmental energy improvements category and the retrofit of municipal buildings such as the G.H. Dawe Centre fits into this category. Our architects have identified \$3,153,156.00 of energy efficiency and substantial building improvement for this project of which 2/3 could be funded by the grant.

(2) The Major Community Facility Grant is a new grant program announced by the province in its March 2007 budget. It is ideally suited to this project as it provides funding for repair, renovation, upgrade and improvements to recreational, culture and other related family and community wellness facilities. A copy of the grant program new release and background is attached.

Gary Mullin will be in attendance at the meeting to discuss these funding issues.

CONCLUSION

The committee is recommending that we proceed with the project as currently designed as we feel that the opportunity to have components completed may be more difficult at a future date due to the following factors:

1. Both School Administrations are proposing exterior modifications and upgrades to their schools to compliment these renovations.
2. The Public School Administration is excited about the opportunity to swap space to meet their needs as well as our needs. This may not be the case if we delay the gym and classroom additions.
3. Construction inflation continues to increase the price of the project and delays will result in increased costs.
4. The public and the schools will only be faced with one construction renovation on this site if we proceed with the full project. If we do the project in phases we will have multiple construction disruptions for both the school and the public.

The G.H. Dawe Centre facility has the potential to become the “activity place” for the citizens who work, play and live north of the river. There are a total of 4025 families with children at home in the northwest quadrant of Red Deer that would benefit and enjoy the amenities of the new Dawe Centre.

The expansion of the centre will allow the development of more value added programs to be offered during the day, which has been highlighted through consistent public feedback as an opportunity that is currently lacking. The addition of the gymnasium and classrooms will expand the potential use of the centre to provide swim and gym times, arts and culture classes and daytime fitness classes. For any adult and child interactive programs, child minding for other children in the family is critical to ensure success.

Presently, the City has the ability to book the G.H. Dawe gymnasium after 6pm on weekdays and weekends. However, this use is only guaranteed if there is no special school program activity planned. Often these situations arise with little forewarning or notice. When these conflicts occur, staff has to scramble to find another venue for the program. This can result in cancelled programs if another venue is unavailable. Presently in our community, dry land/gymnasium space is very well utilized so there are few options for alternate space.

Weekday use of the gymnasium would allow for an expansion of daytime activities, after school play gym times and earlier evening programs. The public has expressed the need for added preschool activities during the daytime. Collicutt Centre, in the south east part of the City, offers an extensive assortment of activities for the preschool market, but their programs are full with waiting lists most of the time. The ability to add more dry land programming space at the G.H. Dawe Centre will allow the City of Red Deer to meet the needs of its citizens.

The renovated G.H. Dawe Centre will become a destination for the citizens of Red Deer who work, play and live north of the river due to the recreation opportunities that will be offered there.

This renovation project is a very important facility for the north side of Red Deer. As you know, over the past number of years we have added the Collicutt Centre, a great facility in the south east, and we have just completed the newly renovated Recreation Centre for the downtown, central area of our city. We now feel it is critical to provide an expanded and upgraded recreation multi-purpose facility to serve the residents in the north sector, as we don't currently have any other major recreation facility in this part of the city.

The review of the overall site Mater Plan, has confirmed that we can add additional functionality to the Dawe Centre in the future. This may be in the form of an additional ice arena or field house. This has significant implications to the newly adopted Future Directions Red Deer at 300,000 Initiative. As a result of the potential future site expansion capacity, we feel this may allow us to delay or defer the need for an additional facility to service the population growth in the north section of the city for a longer period of time than originally expected. The Major Community Facility Needs Study planned for 2007/2008 will better identify the timing and need for the next major facility.

RECOMMENDATION

We would like to recommend to Council the following:

1. That Council approves the scope changes to the G.H. Dawe Centre Renovation Project as outlined in this report.
2. That Council directs the administration to apply for funding from the Municipal Rural Infrastructure Grant Program and the Major Community Facilities Grant Program to assist in financing of this project.
3. That Council directs the Project Committee to finalize detail design of the project and report back to council upon completion of the Phase III Design Stage in accordance with the Major Facilities Planning and Construction template for City Council approval to proceed to the construction phase of the project.

Respectfully Submitted,



Greg Scott
Recreation, Parks and Culture Manager



Jeff Graves
Projects Superintendent

- c Colleen Jensen, Community Services Manager
Kay Kenny, Recreation Superintendent
Dean Frey, Red Deer Public Library

Comments:

We agree with the recommendations of the Recreation, Parks & Culture Manager.

"Morris Flewwelling"
Mayor

"Craig Curtis"
City Manager

May 15, 2007

The G.H. Dawe Centre Revitalization Project

1. Why has The City decided to renovate the G.H. Dawe Centre now?

The G.H. Dawe Centre is part of our broader vision and planning to upgrade our aging recreation infrastructure and respond to a growing population. The G.H. Dawe Centre is more than 25 years old and is in need of repairs and upgrades. It is important to re-invest in The Centre now to address the aging infrastructure and to provide enhancements to more effectively meet the needs of our users.

2. What benefit will this revitalization bring to the community?

The G.H. Dawe Centre has the potential to become the “activity place” for the citizens who work, play and live north of the river. There are a total of 4025 families with children at home in the northwest quadrant of Red Deer who could benefit and enjoy the amenities of the new G.H. Dawe Centre.

With such strong family growth north of the river, this revitalization will allow us to look beyond the aquatics component of the facility and incorporate other amenities ensuring a more holistic approach and broader reach into the community. It will mean:

- An expanded aquatics facility with a family fun and leisure area.
- The addition of a gym which will allow for an extra 70 hours of available time each week. This will make it more accessible to adults with young children, the after-school timeframe, youth who have free time while their parents are still at work, and shift workers.
- The addition of multi-purpose program space to be used for drop-in and registered physical activities such as fitness, yoga, tai chi, basketball, etc.
- Ability to utilize more of the main floor space with the move of the offices to a second floor above the Dawe Library.
- The addition of a child care component.
- A dedicated fitness equipment space.
- The expansion of the Dawe Library.

3. What are the future expansion opportunities for this site?

The review of the overall site Master Plan has confirmed that additional functionality can be added to the G.H. Dawe Centre in the future. This may be in the form of an additional ice area or field house or other multi-purpose facility. This flexibility aligns well with the newly adopted Future Directions Red Deer at 300,000 initiative. With the ability for potential future site expansion, this may allow us to delay or defer the need for an additional facility to service the population growth in the north section of the city for a longer period of time than originally expected.

4. What kind of environmental initiatives and energy efficient design will be included in the proposed renovation?

The City is committed to environmental stewardship by providing design options that integrate green building and energy conservation measures in new development and redevelopment projects. As part of this commitment, we will assess the related benefits and costs of the environmental initiatives and strategies we choose to ensure they meet The City's conservation and reduction philosophy.

For this renovation, The City will be shadowing the Leadership in Energy and Environmental Design (LEED™) program. The project will include; solar wall technology, heat recovery systems, high efficiency lighting, and water conservation throughout the building.

Also, by incorporating extra energy efficiency features into the redesign, we have the ability to apply for a number of federal and provincial grant and loan programs to help offset the renovation costs.

5. What is the revised cost estimate for the G.H. Dawe Centre revitalization project?

The 2007 Major Capital Budget approved by Council provided for the construction phase of this project in the amount of \$16,330,000.00. A debenture bylaw for this same amount was passed by Council on January 15, 2007. As a result of the detail review of objectives and priorities, completed in accordance with the Major Facilities Planning and Construction template, enhancements from the original 2003 concept have been proposed. These enhancements will allow us to better meet community needs. As a result of the changes in scope, plus the inflationary pressures on the cost of construction, the total project cost is projected at \$27,109,830.00. This amount includes construction, contingencies, professional fees, start-up and equipment costs.

6. How is The City looking to offset these cost increases?

Due to our commitment to environmental energy improvements and the upgrading of aging recreational infrastructure, we are eligible to apply for grants to offset some of the projected cost increases. These grants are ideally suited to the G.H. Dawe Centre project and if successful, are estimated at approximately \$8,000,000.00.

7. What's the process The City uses when it considers building or renovating a facility?

In April 2004, Council approved the *Major Facilities and Construction Planning Template* to guide facility renovation and construction processes. This template has helped us improve the process we had by providing more detail about role definitions, responsibilities, process steps and decision points throughout major construction projects. The template acts as a process management and information gathering tool that allows us to give Council even better information on which to base their decisions.

The template defines three phases: 1) the idea generation phase; 2) the planning phase including needs assessment and concept design stages; 3) the construction phase which covers detail design and actual construction stages. There are decision points in each of phases and stages that relate to the project's scope, timeline, funding needs and other resource requirements. Council makes 'go' or 'no go' decisions during each major phase or stage to direct the project to go forward to the next step, or to be postponed until more information is gathered, or to be cancelled.

8. What part of the template process is the G.H. Dawe Centre revitalization in?

On Monday, May 21 Council will decide whether the project will move to the detailed design stage of the construction phase as defined in the *Major Facilities and Construction Planning Template*. If a decision is made to move forward, the finalized design will be completed, the project will go to tender and this tender will be brought forward to Council for final approval. It is anticipated that this will happen in late fall 2007.



Council Decision – May 22, 2007

Legislative & Administrative Services

DATE: May 23, 2007

TO: Greg Scott, Recreation, Parks & Culture Manager
Jeff Graves, Projects Superintendent

FROM: Nona Housenga, Deputy City Clerk

SUBJECT: Information Update – G.H. Dawe Centre Renovation Project

Reference Report:

Recreation, Parks & Culture Manager, dated May 23, 2007

Resolutions:

“Resolved that Council of the City of Red Deer having considered the report from the Recreation, Parks & Culture Manager, dated May 11, 2007 re: Information Update – G.H. Dawe Centre Renovation Project, hereby:

- 1) Approves the scope changes to the G.H. Dawe Centre Renovation Project as outlined in the report presented to Council on May 22, 2007.
- 2) Directs Administration to apply for funding from the Municipal Rural Infrastructure Grant Program and the Major Community Facilities Grant Program to assist in financing of this project.
- 3) Directs the Project Committee to finalize detail design of the project and report back to Council upon completion of the Phase III Design Stage in accordance with the Major Facilities Planning and Construction template for City Council approval to proceed to the construction phase of the project.”

Report Back to Council: Yes

Comments/Further Action:

A report is to be brought back to Council upon completion of the Phase III Design Stage, for City Council approval, prior to proceeding to the construction phase of this project.



Nona Housenga
Deputy City Clerk

/chk

- c Director of Community Services
- K. Kenny, Recreation Superintendent
- D. Frey, Red Deer Public Library



EMERGENCY SERVICES

Date: May 10, 2007

To: Kelly Kloss, Legislative and Administrative Services Manager

From: Jack MacDonald, Fire Chief/Manager, Emergency Services

Subject: Replacement of the Voice Data Recorder for the 911 Communications Centre

Background

Red Deer Emergency Services provides a local and regional 9-1-1 / dispatch service to the residents of Red Deer and as well as numerous regional partners. As part of this service, Red Deer Emergency Services utilizes an Electronic Voice Recorder System to record all 9-1-1 calls, and telephone and radio communications within the 9-1-1 Emergency Communications Center. This system, purchased in 2001, is an essential part of our operations as it provides:

- Immediate playback of calls and communications;
- An official transcript of all calls reducing potential liability issues;
- The RCMP with information should it be needed for investigative purposes;
- The opportunity to ensure Department quality assurance of services provided.

Issue

In January of 2007 the Electronic Voice Recorder System experienced a system overload, which resulted in significant problems and failures to the system. The manufacturer was able to get the system operational for the short term. The initial intent was to repair the system however we have found that the system is now considered outdated and parts and technical support are no longer available for the system. What this means is that the System needs to be replaced as soon as possible to ensure the City can maintain the integrity of its 9-1-1 system for its local and regional customers.

Budget

It was the intent to replace the Electronic Voice Recorder System in 2008 and \$100,000 had been identified in Emergency Services' 2008 Capital Budget for this purpose.

As part of the 2007 Capital Budget, Council approved the building of a back up 9-1-1 system at a cost of \$150,000 from the Capital Projects Reserve.

Discussion

In evaluating this issue, we have determined that the first priority must be to replace the Electronic Voice Recorder System as soon as possible and should now take priority over the building of a back up 9-1-1 system. For this reason we are recommending that the Electronic Voice Recorder System be included in the 2007 budget and the back-up 9-1-1 system be deferred to the 2008 budget.



EMERGENCY SERVICES

Updated estimates of the cost to replace the Electronic Voice Data Recorder System are in the range of \$125,000, plus or minus \$25,000.

Recommendation

That Council approve an amendment to the 2007 Capital Budget by:

1. Deferring the building of a back up 9-1-1 system to the 2008 Capital Budget deliberations, and
2. Approving the purchase of a new Electronic Voice Data Recorder System for the Emergency Services 9-1-1 Communications Centre at a cost of up to \$150,000 to be funded by the Capital Projects Reserve.

Jack MacDonald

cc. Lorraine Poth, Financial Services Manager

Comments:

We agree with the recommendations of the Fire Chief/Manager, Emergency Services. This is an amendment to the Capital Budget but results in no increase in the budget as it is a reallocation of funding to an alternate project.

"Morris Flewwelling"
Mayor

"Craig Curtis"
City Manager

Legislative & Administrative Services

DATE: May 23, 2007
TO: Jack MacDonald, Fire Chief/Manager, Emergency Services
FROM: Nona Housenga, Deputy City Clerk
SUBJECT: Replacement of the Voice Data Recorder for the 911 Communications Centre

Reference Report:

Fire Chief/Manager, Emergency Services, dated May 10, 2007

Resolutions:

“Resolved that Council of the City of Red Deer having considered the report from the Fire Chief/Manager, Emergency Services, dated May 10, 2007, re: Replacement of the Voice Data Recorder for the 911 Communications Centre, hereby agrees to amend the 2007 Capital Budget by:

- 1) Deferring the building of a backup 911 system to the 2008 Capital Budget deliberations, and
- 2) Approving the purchase of a new Electronic Voice Data Recorder System for the Emergency Services 911 Communications Centre at a cost of up to \$150,000 to be funded by the Capital Projects Reserve.”

Report Back to Council: No.



Nona Housenga
Deputy City Clerk

/chk

c Director of Development Services
Financial Services Manager
D. Krejci, Corporate Controller
M. Bovair, Financial Analyst

Item No. 5

MEMO

DATE: May 14, 2007

TO: Kelly Kloss, Legislative and Administrative Services Manager

FROM: Russell Crook, Land and Appraisal Coordinator and
Howard Thompson, Land and Economic Development Manager

RE: **JOHNSTONE CROSSING PHASE 8
RESIDENTIAL LOT PRICING**

The City is developing 62 lots in the last phase of the Johnstone Crossing neighborhood as shown on the attached map. Phase 8 is located in the north part of the neighborhood with most of the lots located in crescent. This phase consists of all R1N (narrow lot) single family lots. The development is consistent with the land use theme identified in the Johnstone Crossing Neighborhood Area Structure Plan.

Subdivision approval has been granted for Phase 8, and servicing contracts are being prepared. In keeping with our historical marketing practices, we are recommending that the City proceed with a presale lot draw for these residential lots in June of this year in anticipation of allowing purchasers possession of the lots in the fall.

Lot Pricing

As per City Policy to sell land at current market value, an independent appraiser was hired to provide the City with recommendations for lot values in this phase. Land and Economic Development have reviewed the comprehensive report and concur with the appraiser's valuations.

The appraisal report was completed in March of this year and concluded market value ranges for single family (R1) lots are from about \$13.00 per square foot for the largest (pie shaped) lots to about \$18.00 for a smaller lot. In general terms, the smaller the lot the higher the market value per square foot, with diminishing values for lots with more square footage than average. After adjustments, single-family (R1) lot prices will range from about \$70,000 to \$105,000 depending on size location and orientation. The average price of a R1N lot in this subdivision will be approximately \$81,000.00 plus GST.

For comparable single family (narrow) lots this represents an increase over last year's average R1N price in this neighborhood that is consistent with increases throughout the city. The market value for residential lots is increasing at a rapid rate of 1.67% to 2.55% per month and lot draws by other developers between the dates of this report and the lot sale are anticipated to have a further significant positive influence on market value. We anticipate recommending some upward adjustment in the prices for approval by the City Manager, to account for passage of time between the appraisal report and the sale of the lots to more accurately reflect market value.

We anticipate that increases will be consistent with the monthly percentages outlined above and our consultant will provide us with a supplementary report outlining these increases before we market the lots. Additions to the sale price will also include a portion of the cost to install one tree per lot in the front yard.

Kelly Kloss
May 10, 2007
Page 2

Architectural Standards and Controls

Architectural controls are intended to encourage building designs that enhance the natural and planned features of the subdivision. In order to ensure a pleasing look and consistency to the neighbourhoods, all purchasers will be encouraged to incorporate different building finishing materials; different architectural elements or accents in all housing units built in these phases. House plans will be reviewed by the Land and Economic Development Department, prior to application for a Building Permit. Plans must be consistent with the architectural controls. Amendments to plans will be required if The City in its sole discretion considers plans to not sufficiently comply with controls

Recommendation

That City Council approves the following for Johnstone Crossing Phase 8:

1. Market values to be based on Howard and Company Appraisals Ltd. Report No. 071c15.gj dated March 21, 2007, and any subsequent updates, with further adjustments to the individual lot prices, and the architectural standards and controls to be approved by the City Manager.
2. Proceeding with a lot draw.



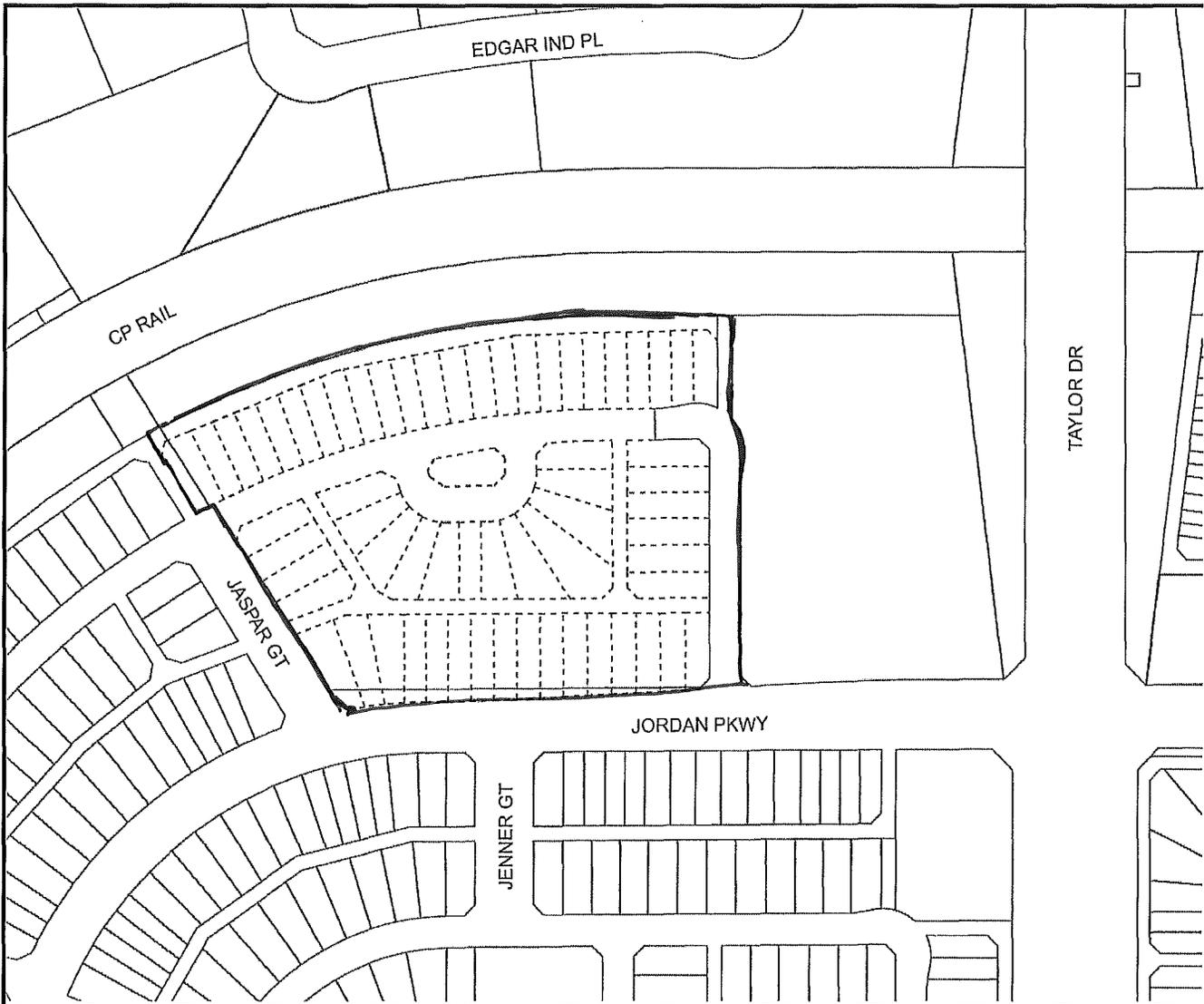
Russell Crook
Land and Appraisal Coordinator



Howard Thompson
Land & Economic Development Manager

Attach.

- c. Paul Goranson, Director of Development Services



Map Produced By The City of Red Deer

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Comments:

We agree with the recommendations of the Land and Appraisal Coordinator and the Land and Economic Development Manager.

"Morris Flewwelling"
Mayor

"Craig Curtis"
City Manager

Legislative & Administrative Services

DATE: May 23, 2007

TO: Russell Crook, Land and Appraisal Coordinator
Howard Thompson, Land and Economic Development Manager

FROM: Nona Housenga, Deputy City Clerk

SUBJECT: Johnstone Crossing Phase 8 – Residential Lot Pricing

Reference Report:

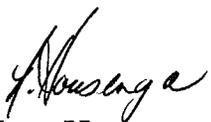
Land and Appraisal Coordinator, dated May 14, 2007

Resolutions:

“Resolved that Council of the City of Red Deer having considered the report from the Land and Appraisal Coordinator, dated May 14, 2007, re: Johnstone Crossing Phase 8, Residential Lot Pricing, hereby approves the following for Johnstone Crossing Phase 8:

1. Market values to be based on Howard and Company Appraisals Ltd. Report No. 071c15.gj dated March 21, 2007, and any subsequent updates, with further adjustments to the individual lot prices, and the architectural standards and controls to be approved by the City Manager.
2. Proceeding with a lot draw.”

Report Back to Council: No.


Nona Housenga
Deputy City Clerk

/chk

c Director of Development Services

MEMO

DATE: May 10, 2007

TO: Kelly Kloss, Legislative and Administrative Services Manager

FROM: Russell Crook, Land and Appraisal Coordinator and
Howard Thompson, Land and Economic Development Manager

RE: **ORIOLE PARK ESTATES PHASE 3
RESIDENTIAL LOT PRICING**

The City is developing 49 lots in the last phase of Oriole Park Estates as shown on the attached map. Phase 3 is located in the south part of the neighborhood with most of the lots located in Cul de sacs or closes. This phase contains 48 single family (R1), of which 2 are secondary suites, and 1 pair (2 lots) of duplex (R1A) on Orr Drive. The development is consistent with the land use theme identified in the Oriole Park West Neighborhood Area Structure Plan.

Subdivision approval has been granted for Phase 3, and servicing contracts are being prepared. In keeping with our historical marketing practices, we are recommending that the City proceed with a presale lot draw for these residential lots in June of this year in anticipation of allowing purchasers possession of the lots in the fall.

Lot Pricing

As per City Policy to sell land at current market value, an independent appraiser was hired to provide the City with recommendations for lot values in this phase. Land and Economic Development have reviewed the comprehensive report and concur with the appraiser's valuations.

The appraisal report was completed in March of this year and concluded market value ranges for single family (R1) lots are from \$14.00 per square foot for the largest (pie shaped) lots to \$18.00 for a smaller lot. In general terms, the smaller the lot the higher the market value per square foot, with diminishing values for lots with more square footage than average. After adjustments, single-family (R1) lot prices will range from about \$78,000 for a lot on Orr Drive to \$180,000 for the largest lot backing onto the escarpment with river valley view. The average price of a R1 lot in this subdivision will be approximately \$113,000 plus GST. The duplex lot is valued at \$22.00 per square foot or \$78,300 per side or \$156,600 plus GST.

For comparable single family (R1) lots this represents an increase over last year's average R1 price in this neighborhood that is consistent with increases throughout the city. Many of the R-1 lots in this phase are large estate lots backing onto the escarpment or park some with a view of the river valley. This year our lots are more desirable than last years and the prices reflect this. The market value for residential lots is increasing at a rapid rate of 1.67% to 2.55% per month and lot draws by other developers between the dates of this report and the lot sale are anticipated to have a further significant positive influence on market value. We anticipate recommending some upward adjustment in the prices for approval by the City Manager, to account for passage of time between the appraisal report and the sale of the lots to more accurately reflect market value.

Kelly Kloss
 May 10, 2007
 Page 2

We anticipate that increases will be consistent with the monthly percentages outlined above and our consultant will provide us with a supplementary report outlining these increases before we market the lots. Additions to the sale price will also include a portion of the cost to install one tree per lot in the front yard, and for installation of a chain link fence on those lots backing onto the municipal reserves.

Architectural Standards and Controls

The standards and controls for this phase will be consistent with Phase 1 and 2 of this subdivision. John Murray Architectural Associates have been contracted to review all the house plans, prior to application for a building permit.

At a minimum, we are considering front attached garages be required on all the lots. The location of the garages will be predetermined to ensure garages are compatible with each other. The R1 single family lots located in a Close and on Oak Drive will require a minimum 1,500 square foot house, while some lots on Orr Drive will require a minimum 1,300 square foot house.

Carpports or front parking pads will not be allowed throughout the subdivision. Duplexes must provide a variation in design on the exterior elevation from one side to the other to avoid mirror imaging. In order to ensure a pleasing look and consistency to the neighborhoods, all purchasers will be required to incorporate different building finishing materials; or different architectural elements or accents in all housing units.

Recommendation

That City Council approves the following for Oriole Park West (City) Phase 3:

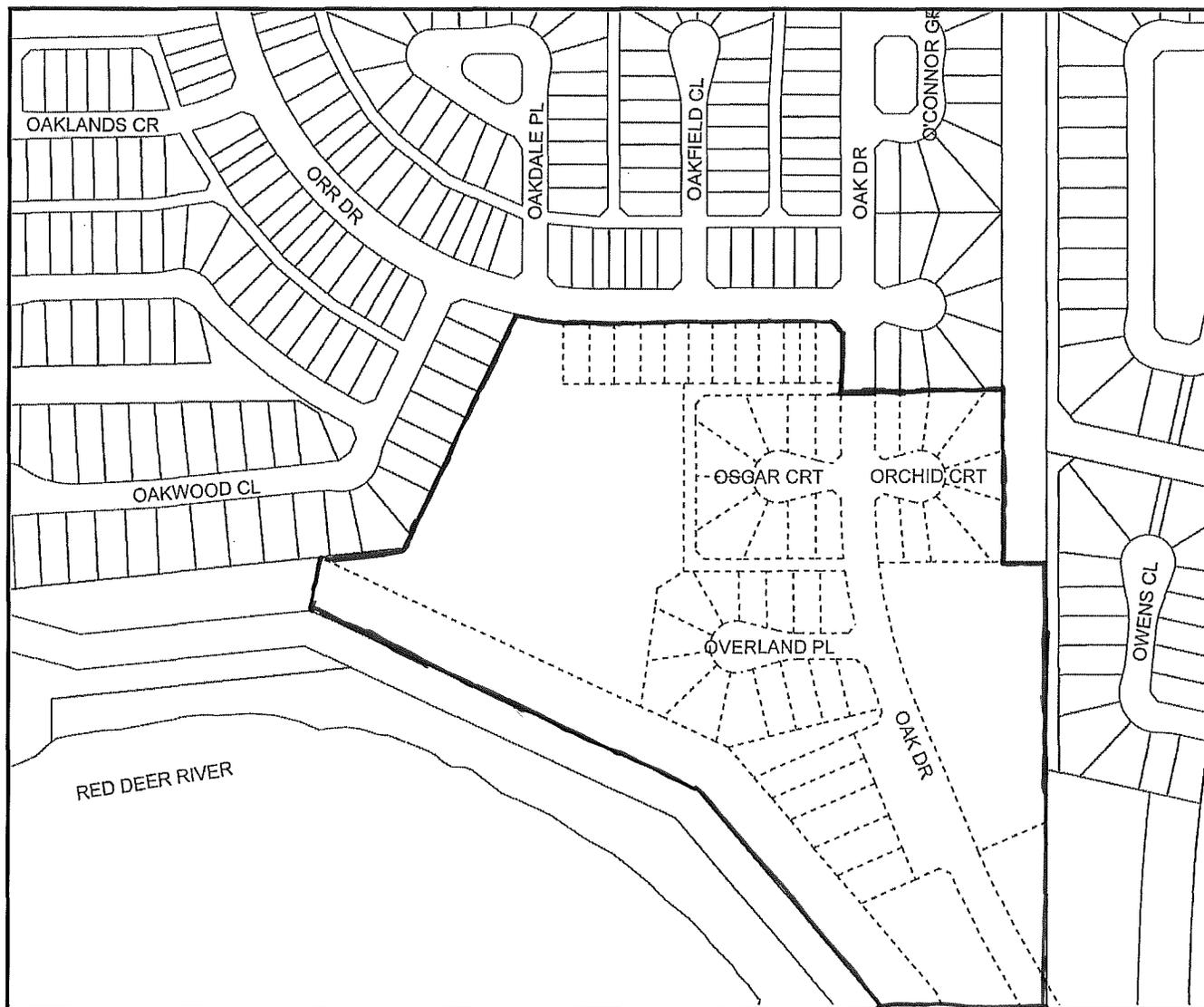
1. Market values to be based on Soderquist Appraisals Ltd. Report No. 2007338 dated March 02, 2007, and any subsequent updates, with further adjustments to the individual lot prices, and the architectural standards and controls to be approved by the City Manager.
2. Proceeding with a lot draw.


 Russell Crook
 Land and Appraisal Coordinator


 Howard Thompson
 Land & Economic Development Manager

Attach.

- c. Paul Goranson, Director of Development Services



Map Produced By The City of Red Deer

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Comments:

We agree with the recommendations of the Land and Appraisal Coordinator and the Land and Economic Development Manager.

"Morris Flewwelling"
Mayor

"Craig Curtis"
City Manager



FILE

Council Decision – May 22, 2007

Legislative & Administrative Services

DATE: May 23, 2007
TO: Russell Crook, Land and Appraisal Coordinator
Howard Thompson, Land and Economic Development Manager
FROM: Nona Housenga, Deputy City Clerk
SUBJECT: Oriole Park Estates Phase 3 – Residential Lot Pricing

Reference Report:

Land and Appraisal Coordinator, dated May 10, 2007

Resolutions:

“Resolved that Council of the City of Red Deer having considered the report from the Land and Appraisal Coordinator, dated May 10, 2007, re: Oriole Park West (City) Phase 3 hereby approves the following for Oriole Park West (City) Phase 3:

1. Market values to be based on Soderquist Appraisals Ltd. Report No. 2007338 dated March 2, 2007, and any subsequent updates, with further adjustments to the individual lot prices, and the architectural standards and controls to be approved by the City Manager.
2. Proceeding with a lot draw.”

Report Back to Council: No.


Nona Housenga
Deputy City Clerk

/chk

c Director of Development Services

Director of Corporate Services

Date: May 14, 2007
To: Kelly Kloss, Legislative & Administrative Services Manager
From: Rodney Burkard, Director of Corporate Services
Subject: Canada Alberta Municipal Rural Infrastructure Fund (CAMRIF)

Background

The CAMRIF grant is a partnership between Canada, Alberta and municipal governments for infrastructure projects in the province. The eligible cost of the approved projects will be shared equally among the three partners. Applicants may use federal or provincial funding for their share but it cannot exceed 50% of the eligible costs. For purposes of this grant, costs that have already been incurred, or work that is performed by City staff is ineligible, such as studies, administrative overhead, and staff salaries.

The project approvals will be decided on a competitive basis. There are two calls for projects. The first call was July 31, 2006. The second call is May 31, 2007 which we are preparing for now.

Construction must commence 6 months after the later date of the approval date or the completion date of an environmental assessment, and construction must be totally complete by March 31, 2010. The Province intends to review submitted business plans by December 31, 2007.

The grant reviewers are placing a strong emphasis on funding "green" projects that improve the quality of the environment and contribute to clean water, soil, or air.

Projects must fall into one of the following categories:

- water and wastewater
- solid waste
- public transit
- energy efficiency improvements

The grantors intend to also allocate grant money to projects such as:

- local roads and bridges
- recreation cultural and tourism projects
- energy improvement

- transit
- water and wastewater
- recreation facilities
- improved broadband Internet access projects

We are advised that a minimum of a 1/3 of the total grant funds will be awarded to water and wastewater projects and a minimum of a 1/3 of the grant funds will be awarded to transportation with a maximum of a 1/3 being awarded to other projects. The final 1% will be used to fund municipal capacity building, such as an asset management system.

Canada and Alberta will each contribute \$88 million, for a total of \$176 million. Of that amount, 20% or \$35.2 million will be allocated to Edmonton and Calgary. Cities are also expected to contribute \$88 million, for a total funding of \$264 million.

For any project that is approved, progress and final reports will be required. These reports must include the project costs and the performance measures to indicate the level of success in supporting the objectives and specific benefits of the project.

Discussion

Administration prioritized the following five projects for this grant application:

1. Transit road/sidewalk improvement project (accessibility)
2. Dawe Project 'green' component
3. Conversion of traffic signals to LED
4. Traffic control room upgrades & field equipment
5. Maskepetoon Park Development

The program requires a supporting Council resolution. With Council's approval, we will apply for this funding by May 31, 2007.

Results of this process are not expected until the end of 2007 and matching funds will be included in the 2008 budget. If successful, we will need to proceed to construction within six months after we are granted project approval.

Recommendation

That Council approve submission of the business cases for the above noted projects, to the CAMRIF Secretariat for review.



Rodney Burkard

Comments:

We agree with the recommendations of the Director of Corporate Services.

"Morris Flewwelling"
Mayor

"Craig Curtis"
City Manager

Legislative & Administrative Services

DATE: May 23, 2007

TO: Rodney Burkard, Director of Corporate Services

FROM: Nona Housenga, Deputy City Clerk

SUBJECT: Canada Alberta Municipal Rural Infrastructure Fund (CAMRIF)

Reference Report:

Director of Corporate Services, dated May 14, 2007

Resolutions:

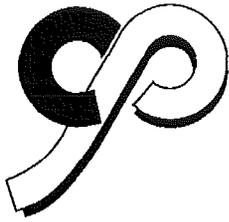
“Resolved that Council of the City of Red Deer having considered the report from the Director of Corporate Services, dated May 14, 2007, re: Canada Alberta Municipal Rural Infrastructure Fund (CAMRIF) hereby approves the submission of the business cases for the following projects to the CAMRIF Secretariat for review:

1. Transit road/sidewalk improvement project (accessibility)
2. Dawe Project ‘green’ component
3. Conversion of traffic signals to LED
4. Traffic control room upgrades & field equipment
5. Maskapatoon Park development”

Report Back to Council: No.Nona Housenga
Deputy City Clerk

/chk

c Financial Services Manager



**PARKLAND
COMMUNITY
PLANNING
SERVICES**

Suite 404, 4808 Ross Street
Red Deer, Alberta, T4N 1X5
Phone: (403) 343-3394
FAX: (403) 346-1570
E-mail: pcps@pcps.ab.ca

DATE: May 14, 2007
TO: Kelly Kloss, Legislative and Administrative Services
FROM: Tara Lodewyk, Planner
RE: Land Use Bylaw Amendment 3357/L-2007
Michener Hill East Neighbourhood Area Structure Plan (NASP) Stage 1 & 2
David Thompson Health Region

Proposal

David Thompson Health Region is proposing to develop Stage 1 and 2 of the Michener Hill East neighbourhood. Rezoning is being sought for approximately 20.24 acres (7.49 ha) of land. Please refer to the attached map. The current zoning is Public Service (PS).

A condition of the Development Agreement is that the treed reserve (13.7 acres) be preserved and dedicated to The City of Red Deer as a combination of environmental and municipal reserve. The environmental reserve will be zoned A2 Environmental Preservation from the current PS Public Service zoning. The municipal reserve will be zoned P1 Parks and Recreation from the current PS Public Service zoning. The northern portion of Michener Avenue will remain PS Public Service district.

A central portion of the PS Public Service area (4.36 acres) is proposed to be rezoned to a R1A Semi-detached Residential District. The southern portion of Michener Avenue will be dedicated as road from the current PS Public Service zoning.

The Land Use Bylaw amendment can be summarized as:

- 4.36 acres of Public Service (PS) to Semi-detached Residential (R1A)
- 5.90 acres of Public Service (PS) to Environmental Preservation (A2)
- 7.98 acres of Public Service (PS) to Parks and Recreation (P1)
- 2.00 acres of Public Service (PS) to Road

The proposed land uses conform to the *Michener Hill East Neighbourhood Area Structure Plan*.

Staff Recommendation

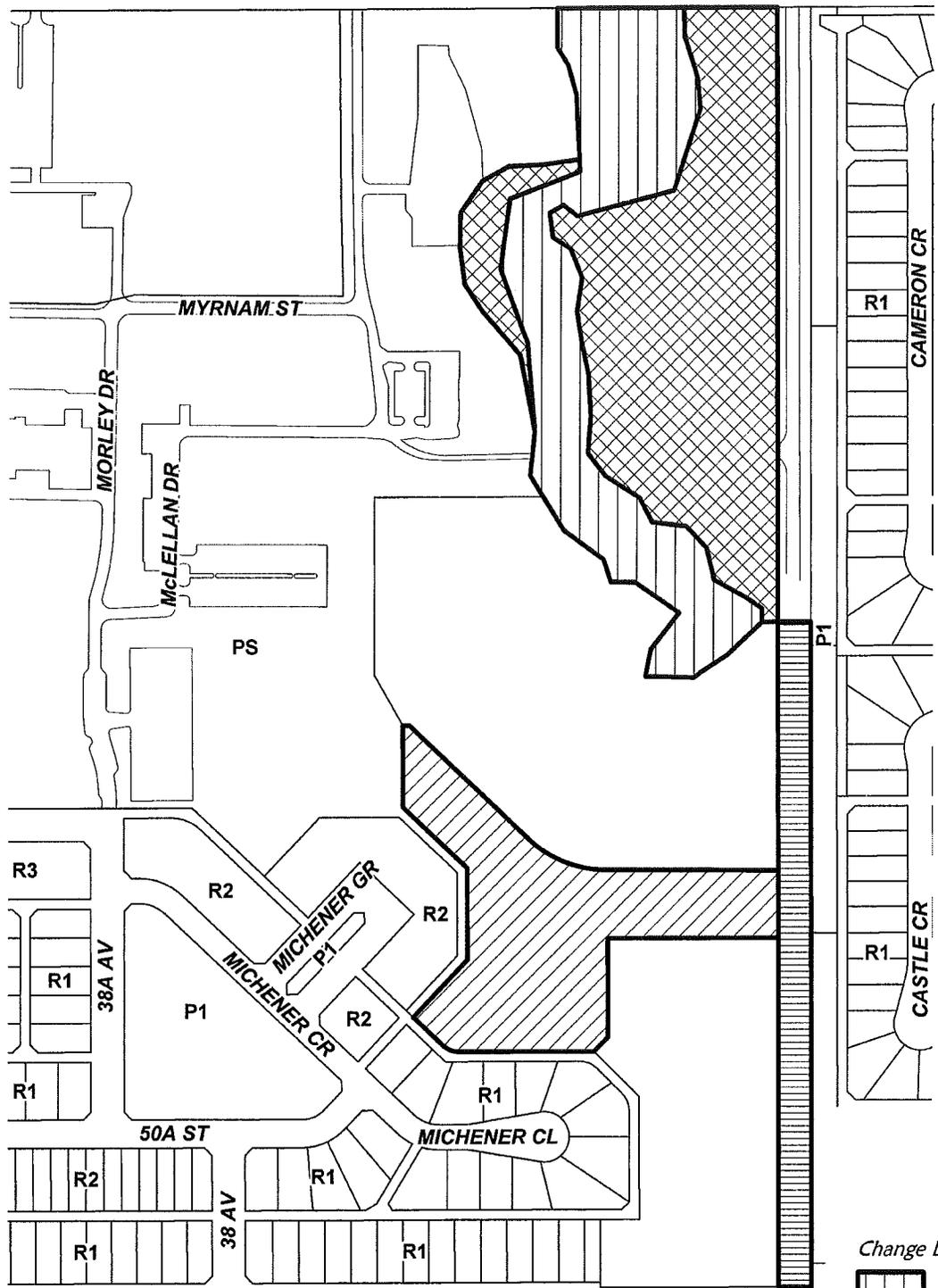
It is recommended that City Council proceed with first reading of Land Use Bylaw Amendment 3357/L-2007.

Respectfully Submitted,

Tara Lodewyk
Planner

Tony Lindhout
City Planning Manager

Proposed Amendment to Land Use Bylaw 3357/2006



North
Not to Scale



Affected Districts:

- A2 - Environmental Preservation
- P1 - Parks and Recreation
- PS - Public Service (Institutional or Governmental)
- R1A - Residential (Semi-Detached Dwelling)

Change District from:

-  PS to A2
-  PS to P1
-  PS to R1A
-  PS to road

Proposed Amendment
Map: 8/2007
Bylaw: 3357/L-2007

Comments:

We agree with the recommendations of Parkland Community Planning Services that Council give first reading to the Land Use Bylaw Amendment. A Public Hearing would be held on Monday, June 18, 2007 at 6:00 p.m. in Council Chambers during Council's regular meeting.

"Morris Flewwelling"
Mayor

"Craig Curtis"
City Manager

FILE



Council Decision – May 22, 2007

Legislative & Administrative Services

DATE: May 23, 2007
TO: Tara Lodewyk, Parkland Community Planning Services
FROM: Nona Housenga, Deputy City Clerk
SUBJECT: Land Use Bylaw Amendment 3357/L-2007
Michener Hill East Neighbourhood Area Structure Plan (NASP)
Stage 1 and 2, David Thompson Health Region

Reference Report:

Parkland Community Planning Services, dated May 14, 2007

Bylaw Readings:

Land Use Bylaw Amendment 3357/L-2007 was given first reading. A copy of the bylaw is attached.

Report Back to Council: Yes

A Public Hearing will be held on Monday, June 18, 2007 at 6:00 p.m. in Council Chambers, during Council's regular meeting.

Comments/Further Action:

Land Use Bylaw Amendment 3357/L-2007 provides for the development of Stage 1 and 2 of the Michener Hill East neighbourhood by rezoning approximately 20.24 acres (7.49ha) of land from Public Service (PS) District to A2 Environmental Preservation District, P1 Parks and Recreation District, R1A Semi-Detached Residential District and Road. This office will now proceed with the advertising for a Public Hearing. David Thompson Health Region will be responsible for the advertising costs.


Nona Housenga
Deputy City Clerk

/chk

/attach.

c Director of Development Services
Inspections & Licensing Manager
Land & Economic Development Manager
LAS Admin. Assistant



FILE

LEGISLATIVE & ADMINISTRATIVE SERVICES

May 23, 2007

Fax: 309-5732

Ms. Jerri Taylor, CHE
Director of Capital Planning
David Thompson Health Region
Suite 803, 5010 – 43 Street
Red Deer, AB T4N 6H2

Dear Ms. Taylor:

Re: *Land Use Bylaw Amendment 3357/L-2007*
Michener Hill East Neighbourhood Area Structure Plan – Stage 1 and 2

Red Deer City Council gave first reading to *Land Use Bylaw Amendment 3357/L-2007* at the City of Red Deer's Council Meeting held Tuesday, May 22 2007. For your information, a copy of the bylaw is attached.

Land Use Bylaw Amendment 3357/L-2007 provides for the development of Stage 1 and 2 of the Michener Hill East neighbourhood by rezoning approximately 20.24 acres (7.49ha) of land from Public Service (PS) District to A2 Environmental Preservation District, P1 Parks and Recreation District, R1A Semi-Detached Residential District and Road.

Council must hold a Public Hearing before giving second and third readings to the bylaw. This office will now advertise for the Public Hearing to be held on Monday, June 18, 2007, at 6:00 p.m. in Council Chambers of City Hall, during Council's regular meeting.

...2/

David Thompson Health Region
May 23, 2007
Page 2

You are responsible for the advertising costs and this advertisement will be combined with the advertising for the Michener Hill East Neighbourhood Areas Structure Plan Bylaw Amendment 3217/E-2007 which was given first reading by City Council on May 7, 2007. You will be invoiced for this cost which we estimate to be approximately \$700.00. If you are not in agreement with paying this cost, please notify me by 10:00 A.M. on Wednesday, May 30, 2007.

Please call if you have any questions or require additional information.

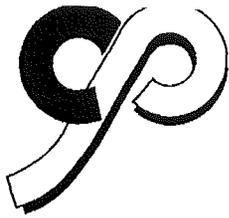
Sincerely,



Nona Housenga
Deputy City Clerk

/attach.

c Parkland Community Planning Services
LAS Admin. Assistant



**PARKLAND
COMMUNITY
PLANNING
SERVICES**

Suite 404, 4808 Ross Street
Red Deer, Alberta, T4N 1X5
Phone: (403) 343-3394
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DATE: May 11, 2007
TO: Kelly Kloss, Legislative and Administrative Services
FROM: Tara Lodewyk, Planner
RE: Land Use Bylaw Amendment 3357/M-2007
*Design Criteria for Identified Redevelopment Sites in the Riverside
Meadows Overlay District*

The *Riverside Meadows Area Redevelopment Plan* was adopted by City Council in 2000 after a thorough community consultation process and contained the following recommendation:

Establish a committee comprised of residents, Parkland Community Planning Services, Inspections and Licensing, and design professionals to create a set of design criteria for the more prominent redevelopment sites in the community, namely the Harper's/ Town Square site, Convent Park/Multi-Family site, and the Riverfront area. These criteria are to be consistent with the objectives of this plan. The aforementioned direct control districts should include standards for landscape design, parking, environmental preservation, and development of a 'theme' area where directed by this Plan. (Action 5.2, iii)

As per the above recommendation, the Riverside Meadows Design Criteria Steering Committee was formed to lead the process of developing design criteria for identified redevelopment sites in Riverside Meadows. The committee is comprised of a representative from Parkland Community Planning Services, Inspections and Licensing Department, Riverside Meadows Community Association as well as a citizen of Red Deer, a business person from Riverside Meadows neighbourhood and a person with design expertise.

A copy of the *Design Criteria for Identified Redevelopment Sites in the Riverside Meadows Overlay District* is attached as well as a Land Use Bylaw amendment that implements the design criteria as additional regulations for redevelopment sites in the Riverside Meadows neighbourhood.

Background

Purpose of Design Criteria

Traditionally, the Land Use Bylaw regulates land use and does not regulate how the uses will look. The purpose of preparing design criteria is to describe the manner by which redevelopment, both private and public, will be designed to satisfy objectives outlined in the *Riverside Meadows Area Redevelopment Plan*. The intent of the design criteria is for adoption as additional regulations in the Land Use Bylaw. A Land Use Bylaw amendment is attached that adopts these criteria as regulations.

The community vision describes a compatible blend of residential and commercial development in Riverside Meadows aimed at providing needed services and shopping for local residents as if it were a "Village in a City". This theme is the basis for the design criteria.

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Design Criteria for Riverside Meadows Overlay District
Page 2

The design criteria are intended to enhance certain key features of Riverside Meadows that will have a positive and long lasting impact. The steering committee, conscious of a theme, did not want to impose rules and regulations in order to create a single aesthetic. Initial neighbourhood consultation found businesses were concerned that the design criteria were going to be too restrictive. The goal was to create design criteria that allow for diversity, ingenuity, and innovation. The design criteria provide a balance between the community's vision as articulated in the Area Redevelopment Plan and public consultation process as well as the ability of developers to deliver the vision in built form.

The objectives of the design criteria are to:

- promote consistency and a sense of continuity, while acknowledging diversity,
- reflect, acknowledge and support the existing character and context of the neighbourhood and are reflective of natural and built environments,
- acknowledge, anticipate and direct change, setting out a framework for new development, redevelopment and infill projects,
- encourage high quality development consistent with a vision that reflects community interests envisioned in the *Riverside Meadows Area Redevelopment Plan*,
- provide landowners and developers with design criteria in a format which explains and illustrates the concepts and policies,
- provide guidance to the Development Authority in processing development permit applications,
- achieve excellence in urban design in both private and public sector developments,
- provide aesthetically pleasing urban and architectural designs.

Area of Application

The design criteria will apply to major redevelopment sites in the Riverside Meadows Overlay District as outlined in the attached map. These sites were outlined in the Area Redevelopment Plan and then ratified by the committee. Major redevelopment sites are those where land assembly and/or significant development or redevelopment is proposed including change of use.

The 40 design criteria are broken into six sections: all redevelopment, residential redevelopment, commercial redevelopment, landscaping/streetscaping and parking. The design criteria contain "shall", "should" and "may" statements. "Shall" statements are those which must be followed. "Should" statements mean compliance to the principle is required but the Development Authority has some discretion based on the circumstances of the specific case. "May" statements indicate that the Development Authority determines the level of compliance that is required. The steering committee felt this section was important for clarity of interpretation and ease of translation into the Land Use Bylaw as regulations.

Implementation

It is proposed that the *Design Criteria for Identified Redevelopment Sites in the Riverside Meadows Overlay District* document be adopted by resolution of City Council. A Land Use Bylaw amendment is being brought forward simultaneously which will implement the design criteria as additional development regulations for those sites in the Riverside Meadows Overlay District. This district will be superimposed over the current land use districts therefore the uses listed as permitted and discretionary in the underlying land use district will continue to apply.

The full document will provide the developer and City Administration with insight and background to the regulations listed in the Land Use Bylaw. This is the same method used to implement the Parkvale Design Criteria.

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Design Criteria for Riverside Meadows Overlay District
Page 3

Where the development regulations of the underlying use district are in conflict with the redevelopment regulations of the Riverside Meadows Overlay District, then the redevelopment regulations of the Riverside Meadows Overlay District shall govern, and the development regulations of the underlying District shall be deemed to be repealed to the extent of the inconsistency.

Sites located in the Riverside Meadows Overlay District are required to comply with the design criteria regulations listed in the Land Use Bylaw when a development permit application is submitted for approval that deals with the exterior of the building and/or site design. This can range from a cosmetic alteration to the construction of a new building.

Consultation

Community Workshop

The design criteria are based on the Area Redevelopment Plan and the input received from the fourteen people who attended a workshop on Wednesday, June 21, 2006. Parkland Community Planning Services facilitated the session. Participants were given a project background and then taken through the process of a Community Image Survey which is a tool that uses visual images to help participants evaluate their existing environment.

After rating 40 various images on a scale of 1 to 10, (1 being negative and don't want it in my community to 10 which is loved it and want it in my community) a discussion focused on the groups preferences for signage, landscaping, parking, streetscaping, heights, mixed uses, etc. The top 10 most highly rated images and the discussion notes formed the basis of the design criteria. These images are included throughout the full design criteria document.

Administration

Administration reviewed the design criteria. All comments were addressed by the steering committee and changes were made to the document. Major changes included the deletion of the proposed angle parking along Kerry Wood Drive because it carries more than 3,000 vehicles per day.

Public Open House

A neighbourhood open house to review and comment on the proposed design criteria was held on March 7, 2007. Over 35 people attended the open house. Five comment sheets were received.

In general, residents liked garages in the rear with lots of windows and balconies overlooking the streets and lanes for increased visibility with the idea of reducing crime with more eyes on the street. Residents also liked commercial on the street level with residential above and large developments having a variety of heights with front yards and separate individual unit entrances.

Two comments centred on the height of buildings. As business and land owners, they would like to see more than 4 stories and a maximum of 8 stories for certain sites that are zoned industrial or commercial. The reason being is that this height increase would allow for development for some of the "challenging sites" located in Riverside Meadows.

One comment spurred on a further meeting with the owners of property along Gaetz Avenue. It was felt that Gaetz Avenue should be treated differently because lane access is limited to some sites and there is no room for parking in the rear due to an elevation change. As well, a 15

Land Use Bylaw Amendment 3357/M-2007
Design Criteria for Riverside Meadows Overlay District
Page 4

metre setback is required from Gaetz Avenue and access points are limited off of Gaetz Avenue because it is an arterial roadway. As well they felt that service bays for automotive services such as oil change and repair shops should still be able to have access from the front. In contradiction of the residents, it was also felt by these property owners that a minimum of 50% transparent glass is a lot for a façade and glass block or semi-transparent glass should be acceptable. The groups also requested that the document better define when you would be required to follow the design criteria.

One resident felt that landscaping should continue to be important in Riverside Meadows and that consideration should be given to keeping the visibility lines open and ease of maintenance.

Planning Analysis

A balance between urban, economic, and social design has been incorporated to create well rounded and relevant design criteria for this neighbourhood component within the *Riverside Meadows Area Redevelopment Plan*.

Based on comments from the open house, the steering committee has purposely removed a design criteria prescription for a height minimum or maximum. This has to be balanced with the community's vision of low rise development as described in the Area Redevelopment Plan where the heights of buildings do not exceed 3 storeys. Developers are pushing the height limit. The Land Use Bylaw currently states that buildings located in the I1A/BSR district may have heights up to four storeys approved by the Development Authority in special circumstances and based on the requirements of the Area Redevelopment Plan. This is a much more comprehensive issue than should be dealt with in the proposed design criteria document. It is recommended that the height issue be reviewed when the Area Redevelopment Plan is updated later this year.

The committee responded to the concerns of the businesses located along Gaetz Avenue and developed a special design criteria to provide an exception for setbacks, parking and site access as long as the exception is supported by Administration. Gaetz Avenue property owners approve of this change.

In response to a comment regarding landscaping and visibility, the committee felt that there are ample regulations pertaining to quality landscaping. The request for clear site lines and maintaining visibility are principles of CPTED which are required of any development and reinforced in this document. The committee also felt that the minimum 50% transparent glass was acceptable and was supported by the majority of open house visitors who liked having lots of windows to increase the number of eyes on the street.

The implementation section of the document has been reworked to better clarify when the design criteria would be applicable in a redevelopment.

Planning staff feel the community participation and consultation process has been successful in creating community driven design criteria and regulations. City Administration supports the document.

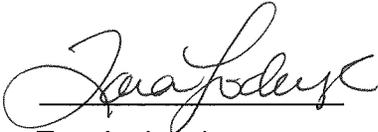
Planning staff also feel there is clear interpretation between the design criteria document and the Land Use Bylaw regulations proposed. The consistent use of 'shall', 'should' and 'may' statements and outlining the exact meaning of each is vital to the success of the document and regulations.

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Design Criteria for Riverside Meadows Overlay District
Page 5

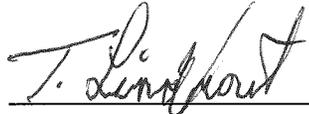
Recommendation

That City Council proceed with the first reading of Bylaw 3357/M-2007 to adopt the *Riverside Meadows Design Criteria for Identified Redevelopment Sites in the Riverside Meadows Overlay District*.

Respectfully Submitted,

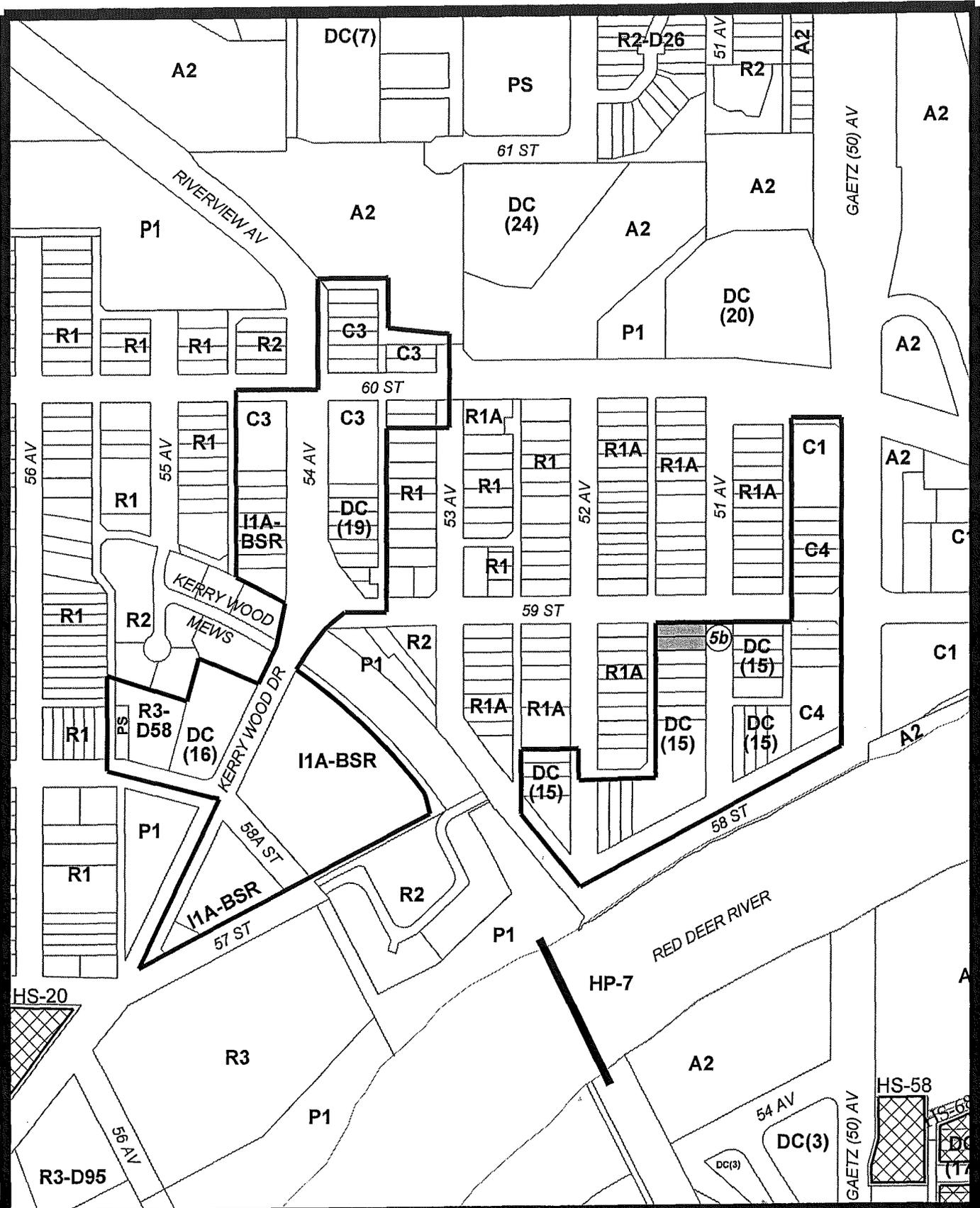


Tara Lodewyk
Planner



Tony Lindhout
City Planning Manager

cc. Colleen Jensen



NTS



RIVERSIDE MEADOWS OVERLAY DISTRICT

Bylaw No. 3357/M-2007

— Area of Application



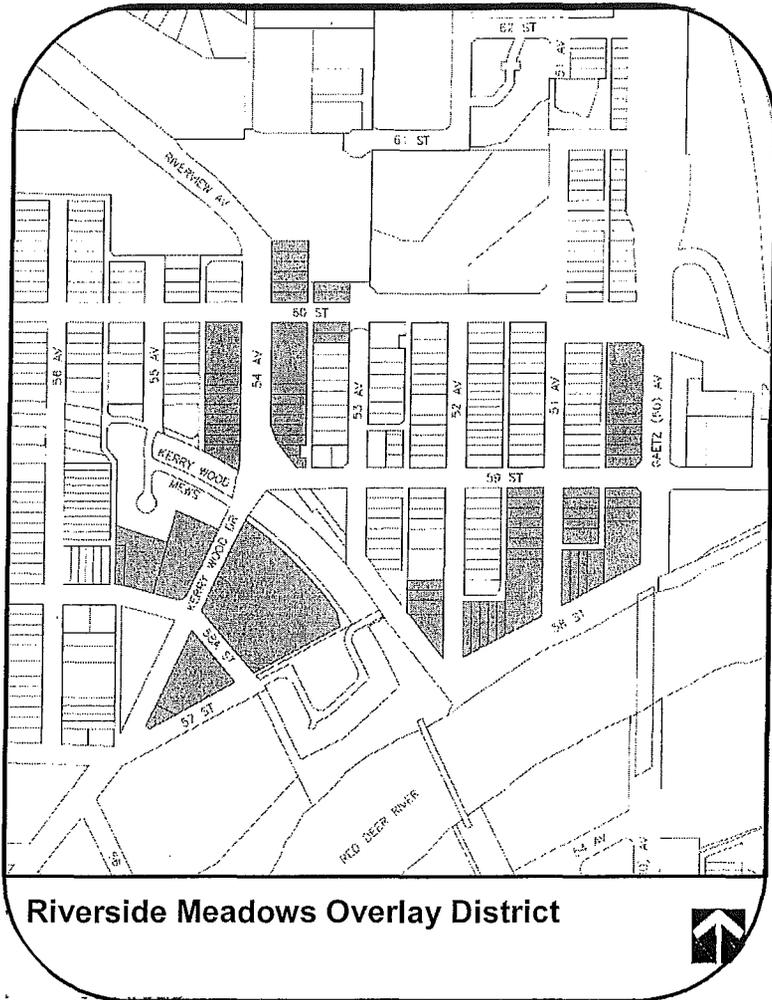
Bylaw No. 3357/2006

FIGURE 17

Design Criteria for Identified Redevelopment Sites

In the Riverside Meadows Overlay District

...encouraging quality redevelopment consistent with the "Village in a City" community vision as outlined in the Riverside Meadows Area Redevelopment Plan.



May 11, 2007

Prepared for:



By:



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1.0 INTRODUCTION

1.1 RIVERSIDE MEADOWS AREA REDEVELOPMENT PLAN

An area redevelopment plan (ARP) is a neighbourhood based municipal planning tool. It is used to guide redevelopment in an existing neighbourhood or defined area. The *Riverside Meadows Area Redevelopment Plan* was adopted in 2000 after a thorough community consultation process.

As listed below, one of the recommendations was that design criteria be developed for prominent redevelopment sites. It was also recommended that architecture and design should reflect the heritage of the site.

Action 5.2 Land Use

- iii. Establish a committee comprised of residents, Parkland Community Planning Services, Inspections and Licensing, and design professionals to create a set of design criteria for the more prominent redevelopment sites in the community, namely the Harper's/ Town Square site, Convent Park/Multi-Family site, and the Riverfront area. These criteria are to be consistent with the objectives of this plan. The aforementioned direct control districts should include standards for landscape design, parking, environmental preservation, and development of a 'theme' area where directed by this Plan.*

Action 5.5.3 Heritage

Encourage architecture and design that reflect the heritage of the site.

1.2 VISION OF RIVERSIDE MEADOWS

The following excerpt from the *Riverside Meadows Area Redevelopment Plan* paints a picture of the community's vision for Riverside Meadows as a 'Village in a City' and forms the basis for the design criteria.

In our future vision for Riverside Meadows, the community continues to be a friendly, caring, and clean neighbourhood. It is a neighbourhood filled with great community pride, a strong sense of history, and identity. Families, friends, and neighbors come together to share ideas, resources, and values. They participate in many types of activities with the schools, churches, and community centers serving as meeting places for everyone. All people of all ages are respected and supported by shared community values. Our community is the kind of place that fosters leaders and volunteers.

The schools here make people feel welcome; they are safe, clean community learning centers which promote values and respect. People take part in many opportunities for life long learning.

Homes and businesses in our community are attractive and well maintained. New development consists of low-rise buildings and we have a wide variety of housing types; including many single family homes. The type of housing available recognizes the needs of people of all ages and abilities. Future development encourages architecture and landscaping that compliments and enhances the overall character of our neighbourhood. As you look around, you see many beautiful trees that make our neighbourhood green and lush. The residents of the community will identify and preserve resources of historic significance for future generations to enjoy.

Owners and the surrounding neighbourhood are proud of local businesses. Community members play a vital role in planning processes to ensure there is a compatible blend of residential, commercial, and institutional uses, especially in the redevelopment of industrial sites. Our businesses are clean, quiet, and non-polluting. They are grouped together, with a mix of small, service oriented businesses such as cafes, medical clinics and personal services like banks that are an asset to the neighbourhood. We foster family run and home based businesses.

Our community is bright, well lit, and safe. Residents continue to participate with police and social agencies in making it a safe community. There is mutual respect for each other and property in the community.

Our community promotes walking and biking especially on the recreational paths that interconnect our neighbourhood with the rest of the city. All residents can safely and easily use sidewalks and properly marked crosswalks to travel about the community. Public transportation is available, reliable, and convenient. The majority of motorized traffic is routed around the perimeter of the community with access roads to other areas of the city. Our local roadways are designed to reduce speed, volume, and noise with an emphasis on safety in the community. Although people often walk or bike, our community has ample parking available for businesses and residents.

Riverside Meadows is a park-like neighbourhood with many trees and green spaces that support a clean, natural environment. We enjoy safe, leisure activities and recreational resources for all ages. Our community understands our continued responsibility to protect and preserve the river and adjacent parklands and their historical value to the community. Riverside Meadows is an ideal community in which to live, work, visit, and play. It's a wonderful place to be!

Riverside Meadows Area Redevelopment Plan, Appendix A

1.3 PLANNING PROCESS

A Riverside Meadows Design Criteria Steering Committee was formed to lead the planning process and comprised of members from the community. The Steering Committee adopted a Terms of Reference that outlined the process for the development of design criteria for identified redevelopment sites.

Flyers were delivered to all homes in the Riverside Meadows neighbourhood. A community events ad was posted in the Red Deer Advocate. A notice was included in the Konoinia Christian School newsletter. Personal invites were done via phone by the Community Association executive to key community members.

Fourteen people attended the workshop on Wednesday, June 21, 2006 at 7p.m. at Konoinia Christian School. Parkland Community Planning Services facilitated the session. Participants were given a project background and then taken through the process of a Community Image Survey which is a tool that uses visual images to help participants evaluate their existing environment. The survey consisted of 40 slides from various communities dealing with different residential, commercial and open space design aspects. Participants then rated each image on a scale of 1 to 10. A rating of one was given if they disliked the image and felt it was inappropriate in the neighbourhood. A rating of ten was given if they really liked the image and felt it was very appropriate for their neighbourhood. An average was taken and a discussion was held drawing out specifics relating to signage, landscaping, parking, streetscaping, heights, mixed uses, etc. These comments were recorded on a flip chart. The top 10 images were the basis for developing the design criteria and they are included in the design criteria section of this document.

Participants were then asked to rate 12 images of Riverside Meadows as a way of transitioning from the 'big picture' image discussions to focusing on their own neighbourhood. A worksheet was sent home with participants. It asked several questions relating to the location for residential and commercial uses. As well, it asked their vision of the neighbourhood in 10 years after design criteria have been implemented.

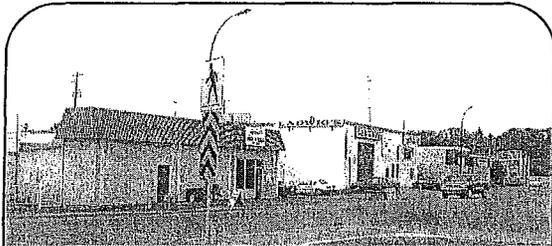
The steering committee reviewed the comments and prepared a set of draft design criteria. These were circulated to relevant City administration for comment.

A neighbourhood open house to review and comment on the proposed design criteria was held March 7, 2007. Flyers explaining the meeting were distributed to all households in the neighbourhood via Canada Post as well as mailed directly to property owners in the Riverside Meadows Overlay District. An announcement was placed in the Riverside Meadows Community Association newsletter and members of the community association also hand delivered flyers to businesses.

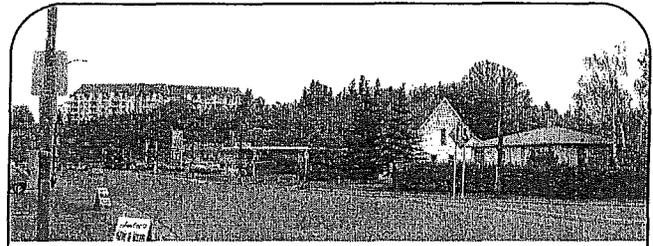
The comments were summarized and concerns were addressed by the Steering Committee and minor changes were made to the document. A report including a recommendation was prepared by Parkland Community Planning Services and presented to City Council for approval.

1.4 WELCOME TO RIVERSIDE MEADOWS

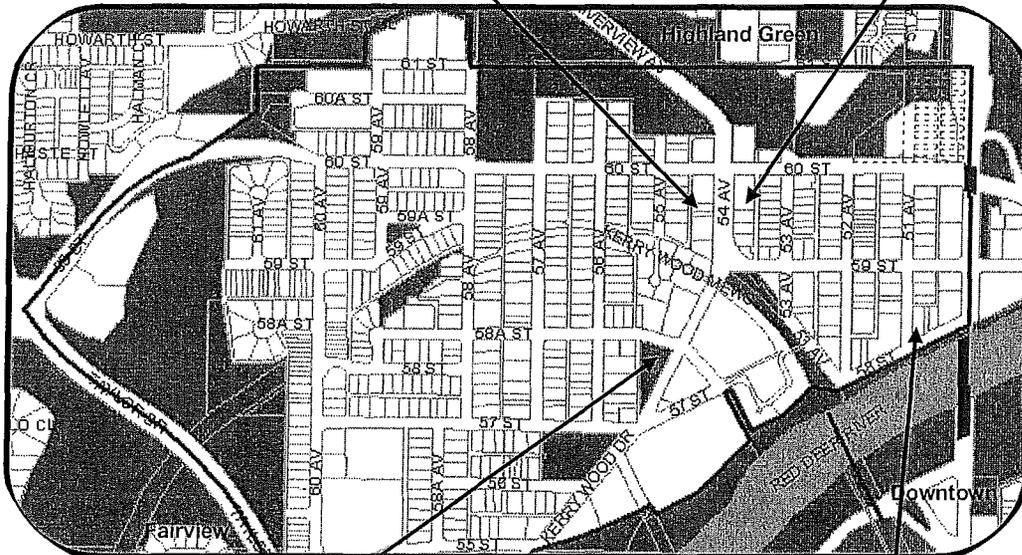
Riverside Meadows is located north west of the downtown and bounded on the south by the Red Deer River. A treed escarpment to the north divides the neighbourhood from Highland Green. To the east is Gaetz Avenue and to the west is Taylor Drive and Fairview neighbourhood. The 2006 city census reports that 3681 people live in Riverside Meadows.



West Side 5900 Block Kerry Wood Drive



East Side 5900 Block Kerry Wood Drive



Riverside Meadows Park along Kerry Wood Drive



Corner of 51 Avenue and 58 Street renovated in 2004.

1.5 HARMONY OF URBAN, ECONOMIC AND SOCIAL DESIGN

The development and/or redevelopment of a site and surrounding neighbourhood is ultimately dependent on the economic feasibility of the proposal. Design criteria are intended to enhance certain key features of Riverside Meadows that will have a positive and long lasting impact. A balance had to be found between the economic realities in the area and the community's vision. If a balance is not created, then the design criteria will constantly be challenged to meet development demands.

Riverside Meadows is a good location for people who work downtown due to its proximity. With Red Deer's continued growth and demand for housing, the opportunity for redevelopment increases.

Schollie Research and Consulting was commissioned by The City of Red Deer to conduct a *Greater Downtown Market Opportunities Study* in 2005. Although the study did not specifically focus on Riverside Meadows, it did focus on the downtown and Riverlands neighbourhoods which are adjacent and undergoing redevelopment. They identified several trends that point to further opportunities for residential development in the Greater Downtown Area.

As a reaction to higher house prices and other market trends, there has been a trend toward 'starter homes' being built, condominium conversions, and condominium developments.

Several stakeholders consulted felt that there are significant residential opportunities in the Greater Downtown Area, particularly in the mid to high end condominium market.

There are limited opportunities to feasibly redevelop existing second floors of commercial buildings to residential use. Compared to the opportunity for new residential development, converting second floor space for residential can be cost prohibitive. Residential conversions of upper floors of buildings with special characteristics (heritage, location, unique architecture) can be feasible if the units can be marketed as upscale condominiums. Lack of parking in converted units can also impact marketability of these condominiums.

(2005 Greater Downtown Market Opportunities Study, page 5)

There is a demand for newly constructed mid to high end condominiums in the greater downtown area. By developing the residential component of the neighbourhood, the development of support services and businesses is likely to follow. Population thresholds determine the type of businesses that will locate in an area. As an example, 717 is the average number of persons required to support a full service restaurant in Alberta according to the *2005 Greater Downtown Market Opportunities Study*.

A Traffic Impact Assessment, at the cost of the developer, may be required by The City to take into consideration the possibility of increased traffic if high density residential projects are proposed.

The height of structures has an economic impact on their viability. There is a strong correlation between the height of a building and the economic feasibility of underground parking. Typically it is not feasible for buildings that are less than three storeys to have underground parking.

With the possible development of multi-storey condominiums, the capacity and sizing of all deep utilities should be reviewed through a Servicing Feasibility Study at the cost of the developer. The existing deep utilities in the Riverside Meadows neighbourhood are of an advanced age and replacement or upgrades, by the developer, should be considered as new development occurs.

Riverside Meadows is a distinct neighbourhood in the city and separate from the downtown. There are a range of amenities currently provided in the neighbourhood (gas station, convenience store, fast food, restaurant, pub, service garage, hair salon, and church) that serve the immediate community. The community would like to see this broadened to include a post office, doctor's office, coffee shop, and other services that would benefit the local area.

Residents have been challenged with the perception that the neighbourhood is unsafe. The principles of Crime Prevention Through Environmental Design (CPTED) should be considered in the design of buildings and streetscapes. The 'eyes on the street' principle needs to be applied through building design as well as more lighting was identified as a need throughout the neighbourhood. With more character and identity the neighbourhood acquires, the more perception of safety will improve.

In the area redevelopment plan, a neighbourhood hub was identified as a goal where community members could be the pulse of the community, host events, display community information, and meet. This should be the busiest area and centre of activity. An area has not been clearly identified at this time.

A balance between urban, economic, and social design has been incorporated to create well rounded and relevant design criteria for the neighbourhood.

2.2 WHAT ARE DESIGN CRITERIA?

Good design criteria do not aim to impose rules and regulations in order to create a single aesthetic; good design criteria allow for diversity, ingenuity, and innovation. Above all, good design criteria provide a balance between the public's objectives as articulated in their planning documents and the ability of developers to deliver the vision in built form.

Design criteria will:

- promote consistency and a sense of continuity, while acknowledging diversity,
- reflect, acknowledge and support the existing character and context of the neighbourhood and are reflective of natural and built environments,
- acknowledge, anticipate and direct change, setting out a framework for new development, redevelopment and infill projects,
- encourage high quality development consistent with a vision that reflects community interests envisioned in the Riverside Meadows Area Redevelopment Plan,
- provide landowners and developers with design criteria in a format which explains and illustrates the concepts and policies,
- provide guidance to the City's Development Authority in processing development permit applications,
- achieve excellence in urban design in both private and public sector developments,
- provide aesthetically pleasing urban and architectural designs.

2.3 INTERPRETATION

The design criteria contain "shall", "should" and "may" statements. "Shall" statements are those which must be followed. "Should" statements mean compliance to the principle is required but the development authority has some discretion based on the circumstances of the specific case. "May" statements indicate that the development authority determines the level of compliance that is required.

2.4 ALL REDEVELOPMENT

Objective
 To create a 'village in a city' feel through building design that encourages socialization and interaction. Buildings shall have an individual character and enhance the intimate 'human scale' of the street by incorporating architecture elements such as large windows, awnings, sidewalk lighting, interesting shapes, variety of colours, inviting entrys, varied roof lines, lower level signage etc. into the design of the building. Building design shall incorporate the principles of Crime Prevention Through Environmental Design (CPTED).

1 Unbroken Facades

Wall surfaces facing a street shall not have any single horizontal wall length greater than 5 metres unless it is visually broken into 'human scaled' proportions. This could be achieved with design elements such as projections, balconies, surface changes, and articulation.

2 Window Placement

Windows and balconies shall be placed to allow overlook of streets, lanes, sidewalks, pedestrian passages, parking areas and public open spaces. Mixed uses in the same building are encouraged, especially main floor retail or restaurant uses, to provide activity and interest to the pedestrian environment.

3 Entrances

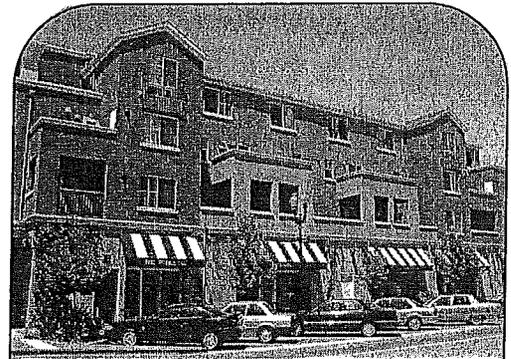
Entrances shall be clearly identified, visible and accessible from the principal frontage streets.

4 Public Amenity Space

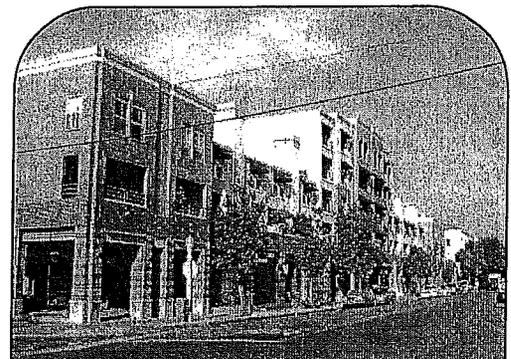
Any area between a building edge and a public sidewalk shall be developed in a manner that provides a visual amenity and pedestrian enhancement.

5 Materials and Colours

More than one type of high quality and innovative building materials, such as, but not limited to, brick, stone, concrete and cement stucco shall be used in a variety of combinations. Ornamentation and articulation shall be the result of the assembly of compatible and complimentary materials and construction details.



Buildings with human 'scaled proportions'.



Buildings with a variety of heights, materials, colours and architectural elements.

Architectural Elements

Architectural elements such as gables, cornices, window and door trim and strong eave detailing shall be used to help articulate facades and reduce scale of larger buildings.

Horizontal Elements

A critical height line shall be defined on the building facade with a projecting horizontal element at a height between 3.6 metres and 4.25 metres. This ensures new construction blends into existing streetscape and matches those of its neighbours.

Safety (CPTED)

Crime Prevention Through Environmental Design (CPTED) principles shall be applied to all components of development as listed in The Land Use Bylaw.

Corner Lots

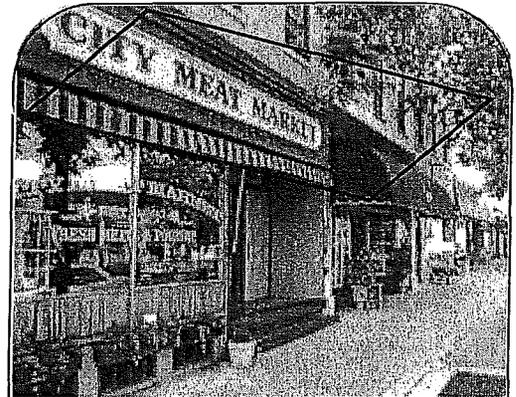
Street frontage elevations of buildings located on corner lots shall have equal architectural treatment.

Street Orientation

Street facing elevations shall be parallel to the street. In the case of corner lots or parcels with multiple street frontages, a minimum of two street facing elevations shall be parallel to the street.

Lighting

Lighting shall be used to compliment and draw attention to window displays, signs, store information, and architectural elements on the entire facade.



The box shows the streets critical height line and a variety of horizontal elements from awnings to cornices.

2.5 RESIDENTIAL REDEVELOPMENT

To create residential development that has a small town 'village in a city' feel. Residential building facades shall have minimal consistent landscaped setbacks to provide privacy and define the use. Individual entries with verandahs, porches, and creative design features create a transition zone from street to residence. Residential development on upper storeys shall incorporate balconies, windows, and other design elements opening on to the street promoting safety with more eyes on the street.

Style of Residence

A variety of sizes, styles and types of residences shall be used within the neighbourhood that reflect the 'village in a city' vision and appeal to a large demographic.

Design Elements

Architectural design elements such as building projections, balconies, verandas, canopies and bay windows shall be incorporated into building elevations fronting any street.

Entrances

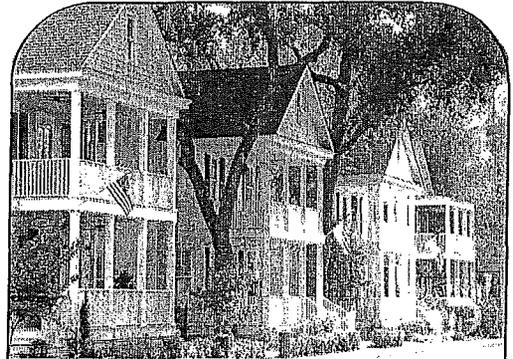
All main floor residential units, fronting onto a public street, shall have an individual front entry that can be accessed directly from the public sidewalk through a private front yard. The main floor of residential ground units shall not be situated higher than 1.2 metres above the grade of the front public sidewalk/curb.

Privacy Buffer

Front yards for residential units shall provide separation from the street/sidewalk. If installed, vertical walls, railings, hedges, gateways or decorative fences shall not exceed .9 metres in height unless of an open design.

Setbacks

For residential uses at ground floor, a minimum 4 metre setback between the property line and foundation shall be provided as a privacy buffer. Steps or porches should be provided to create a transition from the public street to the private residence.



A residential development cluster with an inviting and unique design.



Residences with individual front entryways and a landscaped privacy buffer.

Garages

17
Front drive garages shall not be permitted. Garages shall be rear attached or detached with access off the lane. Large multi-family developments should have an underground parking garage to minimize above grade parking.

Front Yard Landscaping

18
Enhanced landscaped areas with trees and a variety of plantings shall be in the front yard setback area.

2.6 COMMERCIAL REDEVELOPMENT

Objective
To create quality commercial development that has a 'small town-village in the city' feel and is inviting to the pedestrian and those vehicles passing through the neighbourhood by accentuating primary entrances. Commercial areas shall be the hub for interaction and meeting your neighbours. Facades shall be differentiated architecturally on the main floor and the three dimensional character of the building mass varied as it rises skyward to create character and variety.

Setbacks

19
Building elevations facing a street, including both elevations on corner sites shall be built to the property line unless a setback provides an amenity to the pedestrian environment. Side yard setbacks shall be zero unless parcel abuts a residential parcel than minimum 1.5 metre side yard. Rear yard setbacks shall be no less than 1.5 metres.

Ground Floor Height

20
The minimum ground floor to ceiling height for commercial uses shall be 3.6 metres.

Windows

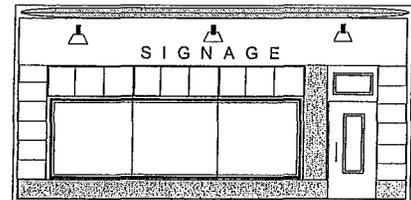
21
Ground floor walls for retail or commercial spaces shall maximize the amount of glazing and windows to make activities and merchandise visible from the sidewalk to increase the interaction between pedestrians and businesses. A minimum of 50% of the ground floor street frontage shall be transparent windows.

Lanes

22
Where rear lanes exist, access to building loading and delivery zones and to any on-site surface parking shall be from the lane.



A commercial district with angle parking and boulevard trees.



A storefront that has the majority of street frontage transparent to the street.

Overhangs and Canopies

Overhangs and canopies shall be located at each entrance and should be located along the full face of the building to provide pedestrians with shelter from sun and rain. The design shall be compatible with the building's architecture and shall not impact the safety of the sidewalk environment.

Storage

Service bays, utility entrances, and storage yards shall be located to the side or rear of the building and screened from view.

Storefront Rhythm

Street level elevations shall replicate the historic pattern of storefront modules of 7.5 metres to 10 metres wide, each containing varied design elements such as entrances, windows, canopies, projections, roof lines and signage.

Gaetz Avenue

Sites located along Gaetz Avenue shall comply with the design criteria with the following exceptions:

(i) Setbacks

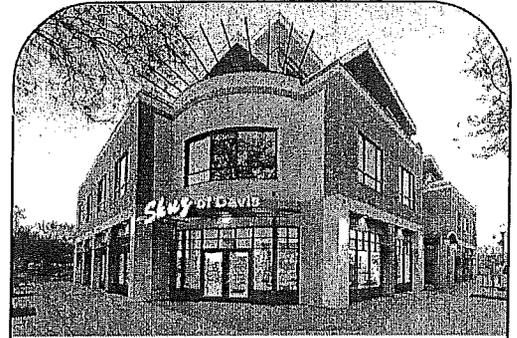
New buildings or major additions shall be setback as per C4 (Major Arterial) Commercial Land Use District regulations as listed in the Land Use Bylaw.

(ii) Parking

Parking should be in the rear or side yard of the building. Subject to City Administration approval, front parking areas may be considered if an enhanced landscaped buffer of 1.5 metres is provided adjacent to Gaetz Avenue.

(iii) Access

Access off Gaetz Avenue shall be subject to Engineering Department approval.



A four storey corner development that has many street level windows and is stepped above the second storey.

2.7 PARKING FOR ALL REDEVELOPMENT

Objective
 Parking is a necessary component in a neighbourhood. The objective is to create harmony between pedestrian safety and the demand by businesses to provide accessible parking for their customers. Parking lots shall not be large, barren and unsightly areas but carefully planned and integrated into the neighbourhood.

27 Angle Parking

Subject to review by City Administration and approval by the Development Authority, angle parking shall be permitted on local roads and streets where traffic volumes are less than 3,000 vehicles per day. Angle parking design shall incorporate landscaped boulevards and sidewalks between the vehicle and building elevation to ensure a continuous pedestrian path.



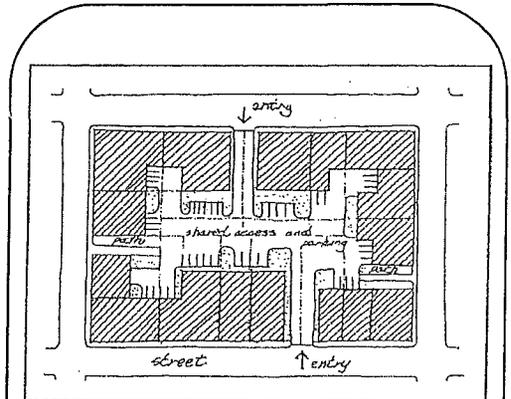
Residential above commercial with one row of angle parking in the front.

28 Residential Parking

There shall be no front on-site parking for residential developments. Parking shall be provided in the rear of the lot or underground.

29 Access

Parking access shall be from the lane. Where no lane exists, street access to the rear of the building or parking lot may be permitted if it does not interfere with boulevard trees or other streetscaping. The number of vehicular site entrances should be held to a single driveway per block. Entrances may be combined with other properties.



Cluster parking in the rear with a combined access.

30 Walkways

Defined walkways shall provide clear pedestrian connections between vehicle parking areas and adjacent sidewalks and/or building entrances.

31 Paving

All off street surface parking areas shall be paved.

Off-Street Parking Lots

Parking areas shall be organized into clusters. Fulfilling the principles of CPTED, parking areas shall be visually enhanced and incorporate quality landscaping, elements to define sidewalk edge, promote user safety and ease of pedestrian movement.

2.8 LANDSCAPING/STREETSCAPING ALL REDEVELOPMENT

To create sidewalks, trails, parking lots, benches, and open spaces that are attractive and draw the pedestrian in to experience it.

Fences

Fencing along the street fronts of vacant sites, construction sites, and around garbage compounds shall be constructed of weather proof materials or finishes (no plywood) and should be coordinated with the look and finish of adjoining development.

Lighting

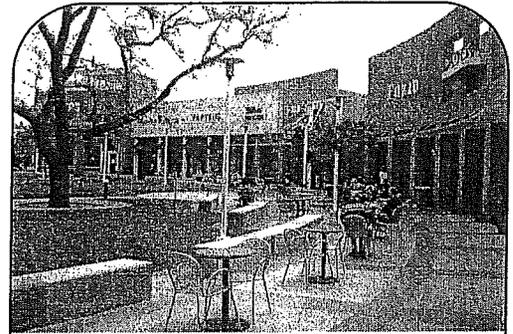
Ground-oriented pedestrian scale lighting shall identify pedestrian routes and site entrances to parking lots and buildings.

Pedestrian Linkages

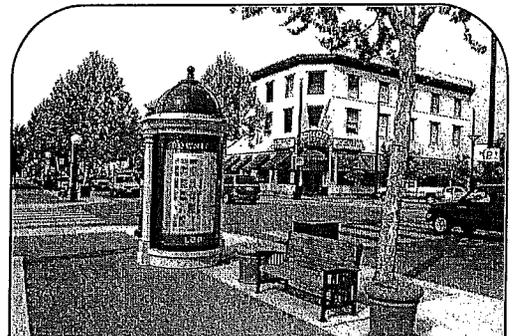
The creation of pedestrian spaces, linkages to parking lots and other streets, pocket parks, courtyards, area sidewalks, walkways, and trail networks between buildings shall become part of the normal fabric of Riverside Meadows.

Street Furniture

Street furniture such as benches, poster kiosks, garbage cans, recycle containers, bike racks, planters, etc. shall have a common design and strategically placed to provide the public with ample places to visit and rest. Transit stop furniture shall meet transit design criteria. All street furniture shall be placed in such a manner as to not disrupt pedestrian mobility lanes. Private street furniture shall not be placed on public boulevards.



A courtyard in a commercial area.



Street furniture and a defined pedestrian space.

Open spaces

Open spaces shall use landscaping and plant materials to soften the harder elements. Buildings, including additions, shall be designed to provide for useable outdoor spaces.

Screening

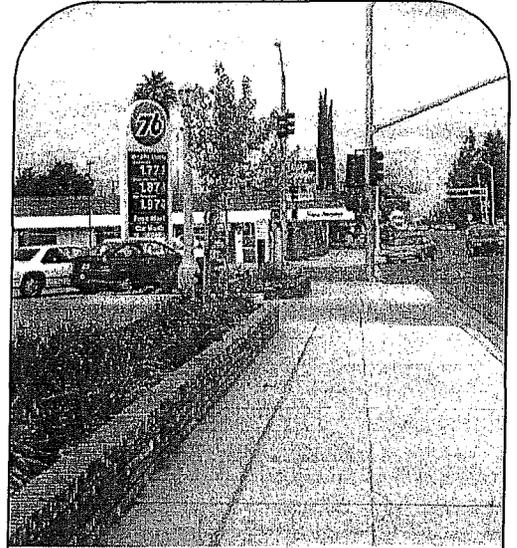
Elements which are utilitarian in nature such as air conditioning units, electrical equipment, service areas, waste receptacles and the like shall be screened from the public view, while fulfilling CPTED principles.

Topography

Development shall minimize disruption to existing topography and vegetation.

Boulevards

Landscaped boulevards shall be incorporated into parking lots and between the sidewalk and road right of way.



A raised landscaped division between a parking lot and sidewalk.

3.0 IMPLEMENTATION

The *Design Criteria for Identified Redevelopment Sites in the Riverside Meadows Overlay District* will be adopted by amending *The City of Red Deer Land Use Bylaw* to include regulations for a Riverside Meadows Overlay District.

The design criteria will be incorporated as regulations applicable to areas listed within the Riverside Meadows Overlay District. A map of the Riverside Meadows Overlay District will be included as part of *The Land Use Bylaw*. The uses listed as permitted and discretionary in the underlying land use district will continue to apply.

This document will provide the developer and City Administration with insight and background to the regulations listed in the Land Use Bylaw when submitting or reviewing an application for redevelopment.

Where the development regulations of the underlying use district are in conflict with the redevelopment regulations of the Riverside Meadows Overlay District, then the redevelopment regulations of the Riverside Meadows Overlay District shall govern, and the development regulations of the underlying District shall be deemed to be repealed to the extent of the inconsistency.

To add a redevelopment site to the Riverside Meadows Overlay District, an amendment to *The Land Use Bylaw* shall be required.

4.0 APPLICATION PROCESS

Redevelopment can range from a cosmetic alteration to the construction of a new building; therefore, prior to any disturbance of a site, The City's Inspections and Licensing Department should be contacted to discuss the details of the redevelopment to determine whether a permit is required and which Land Use Bylaw regulations are applicable.

Sites located in the Riverside Meadows Overlay District are required to comply with the design criteria regulations listed in The City's Land Use Bylaw as soon as a development permit application is submitted for approval that deals with the exterior of the building and/or site design. Development permits may be required if you are planning to construct a new building, an addition, alter an existing building, change the use of a building, construct an accessory building or erect a temporary structure. A development permit is written approval from The City of Red Deer that the proposed development complies with the regulations of The City's Land Use Bylaw

In addition to the requirements of The City's Land Use Bylaw, any development permit application shall include:

1. A site plan showing the existing and proposed grades, trees, landscaping features and outdoor display areas, buildings, extent of demolition, proposed height of the main floor, fence locations and utility service locations.
2. A sketch or photographs showing façade design and location of existing or proposed adjacent buildings.
3. Any part of the proposed development which does not comply with The Land Use Bylaw and the criteria is to be clearly indicated on the development application.

Where an application for a development permit does not comply with the Riverside Meadows Overlay District regulations of The City's Land Use Bylaw the application with an explanation of how it does not comply with the regulations is to be forwarded by the applicant to the Riverside Meadows Community Association and each owner of property located within a distance of 30 metres of the site of the proposed development (affected parties) for review and comment. The applicant shall solicit and document the comments of the affect parties with respect to the proposed development. The applicant shall describe any modifications to the proposed development, if any, to address affected parties' concerns in a revised development permit application which also includes the affected parties' comments. Where a proposed development is to be forwarded to the Municipal Planning Commission for a decision, the Development Officer shall notify affected parties of the time and date at which the application will be considered.

APPENDIX A – APPLICATION CHECKLIST

Criteria #	Comment
Is the redevelopment located within the Riverside Meadows Overlay District? If yes, proceed.	
<u>All Redevelopment</u>	
1. Wall surfaces facing a street shall not have any single wall length greater than 5 metres unless broken into human scaled proportions. I.e. Balconies, projections, surfaces changes, and articulation.	
2. Windows and balconies overlook streets, lanes, parking, and open spaces.	
3. Entrances are clearly identified, visible and accessible from the street.	
4. If there is space between building edge and public sidewalk it is a visual amenity.	
5. More than one type of high quality and innovative building materials are used in a variety of combinations.	
6. Facades are articulated and the scale of larger buildings is reduced with architectural elements such as gables, cornices, trims, etc.	
7. Critical height line defined with a projecting horizontal element at a height between 3.6 metres and 4.2 metres.	
8. CPTED principles have been applied.	
9. Street frontage elevations of buildings located on corner lots have equal architectural treatment.	
10. Street facing elevations are parallel to the street. In the case of corner lots or parcels with multiple street frontages, a minimum of two street facing elevations shall be parallel to the street.	
11. Lighting is used to compliment and draw attention to window displays, signs, store information, and architectural elements on the entire façade.	
<u>Residential Redevelopment</u>	
12. A variety of sizes, styles, and types of residences are proposed for a large demographic.	
13. Building projections, balconies, verandas, canopies and/or bay windows are incorporated into building elevations fronting any street.	
14. There is an individual front entry. Entrances are no higher than 1.2 metres above grade.	
15. Front yard provides separation from the street. If installed, walls, railings, hedges, gateways or fences do not exceed .9 metres in height unless of an open design.	
16. Front yard setback a minimum of 4 metres from the property line to foundation.	
17. No front driveway or garages permitted. Underground parking for large multi-family developments to minimize above grade parking.	
18. Enhanced landscaping with trees and a variety of plantings in the front yard.	

Commercial Redevelopment	
19. Zero front yard setback unless the setback provides an amenity space. Side yard setbacks are zero unless abuts a residential parcel than a 1.5 metre side yard. Rear yard setbacks are to be a minimum of 1.5 metres.	
20. Minimum ground floor to ceiling height is 3.6 metres.	
21. Minimum of 50% of the ground floor street frontage is transparent windows.	
22. If there is a rear lane, access to building loading zones and surface parking is from the lane.	
23. Overhangs and canopies are at each entrance and preferred along the full face of the building. They are compatible with the building design.	
24. Service bays, utility entrances and storage are at the rear of the building.	
25. Street level elevations are broken into modules of 7.4 metres to 10 metres wide each containing varied design elements.	
26. Sites located along Gaetz Avenue follow all design criteria except: (i) Building setback as per C4 regulations. (ii) Parking should be in the rear or side yard. Front parking may be considered if a 1.5 metre enhanced landscaped buffer adjacent to Gaetz Ave is provided. (iii) Site access requires Engineering Department approval.	
Parking-All Redevelopment	
27. For angle parking, Engineering and Public Works completes a review of the proposal and it is on a street with less than 3,000 vpd. Boulevards are landscaped and there is a continuous sidewalk.	
28. No front on-site parking for residential developments. Rear or underground is acceptable.	
29. Parking accessed from the lane. If no lane, than one access may be permitted if does not interfere with boulevard trees or other streetscaping. Vehicle entrances should be limited to a single access per block and may be shared.	
30. Parking area has a defined walkway.	
31. The off-street parking area is paved.	
32. The parking area is organized into clusters and visually enhanced. CPTED principles are met.	
Landscaping-All Redevelopment	
33. Vacant sites, construction zones, and garbage enclosures are fenced with a weather proof material and coordinated with adjoining development.	
34. Entrances, pedestrian routes, and parking lots are well lit with ground oriented pedestrian scale lighting.	
35. There are good pedestrian linkages.	
36. Street furniture is incorporated, strategically placed, and of a common design. Private street furniture is not placed on public property. Transit furniture meets transit design criteria.	

37. Outdoor spaces are incorporated into the developments and made into useable spaces with landscaping.	
38. Utilitarian elements are screened from public view and meet CPTED principles.	
39. Development minimizes disruption to existing topography and vegetation.	
40. Landscaped boulevards are incorporated into parking lots and between the sidewalk and road right of way.	

APPENDIX B - STEERING COMMITTEE

A Riverside Meadows Design Criteria Steering Committee was formed to lead the process. It was comprised of the following members:

- Representative from Parkland Community Planning Services (Tara Lodewyk)
- Representative from Inspections and Licensing Department (Vicki Swainson)
- Representative from Riverside Meadows Community Association (Shirley Hocken, Marleen Cowan-alternate)
- Citizen of Red Deer (must be a Landowner with the City of Red Deer) (Marcel Pouliot)
- Business person from Riverside Meadows neighbourhood (Randy Harper)
- Community person with design expertise (Sherri Turpin)

Comments:

We agree with the recommendations of Parkland Community Planning Services that Council give first reading to the Land Use Bylaw Amendment. A Public Hearing would be held on Monday, June 18, 2007 at 6:00 p.m. in Council Chambers during Council's regular meeting.

"Morris Flewwelling"
Mayor

"Craig Curtis"
City Manager

FILE



Council Decision – May 22, 2007

Legislative & Administrative Services

DATE: May 23, 2007
TO: Tara Lodewyk, Parkland Community Planning Services
FROM: Nona Housenga, Deputy City Clerk
SUBJECT: Land Use Bylaw Amendment 3357/M-2007
Design Criteria for Identified Redevelopment Sites in the Riverside
Meadows Overlay District

Reference Report:

Parkland Community Planning Services, dated May 11, 2007

Bylaw Readings:

Land Use Bylaw Amendment 3357/M-2007 was given first reading. A copy of the bylaw is attached.

Report Back to Council: Yes

A Public Hearing will be held on Monday, June 18, 2007 at 6:00 p.m. in Council Chambers, during Council's regular meeting.

Comments/Further Action:

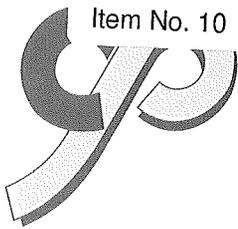
Land Use Bylaw Amendment 3357/M-2007 provides for the implementation of design criteria as additional regulations to describe the manner by which redevelopment, both private and public, will be designed to satisfy objectives outlined in the Riverside Meadows Area Redevelopment Plan. The design criteria will apply to major redevelopment sites in the Riverside Meadows Overlay District. This office will now proceed with the advertising for a Public Hearing. The City will be responsible for the advertising costs in this instance.


Nona Housenga
Deputy City Clerk

/chk

/attach.

c Director of Development Services
Inspections & Licensing Manager
Land & Economic Development Manager
LAS Admin. Assistant



DATE: May 14, 2007

TO: City Council

FROM: Martin Kvapil, Planning Assistant

RE: **Neighbourhood Area Structure Plan Bylaw Amendment No. 3217/B-2007
Johnstone Park
Carolina Homes Inc.**

Proposal

A proposal has been received by The City of Red Deer to amend the *Johnstone Park Neighbourhood Area Structure Plan* (NASP). The original NASP (Figure 1) was adopted by Council in August 1999, and therefore, this proposed amendment is being considered and reviewed in accordance with the *Former Planning and Subdivision Guidelines*.

The applicant, Al-Terra Engineering, on behalf of Carolina Homes, is seeking to amend the NASP in order to:

1. Reallocate of a portion of the northeast plan area from future R1 Low Density Residential to future R2 Medium Density Residential and R1A Semi-detached Dwelling Residential; and
2. Reallocate the entire remaining lands south of Johns Street from future R1N Narrow Lot Residential to future R1A Semi-detached Dwelling Residential.

Proposed NASP text changes and NASP figures would be revised to reflect the proposed Development Concept as shown on Figure 2.

The amendments are being proposed by the developer due to changes in market trends and the inability to sufficiently site some lots within the existing land use allocations. Concurrent rezoning to R2 Medium Density Residential and R1A Semi-detached Dwelling Residential is being sought with the proposed NASP amendment. The applicable subdivision applications would then follow any successful bylaw first readings.

Public Consultation

On February 13, 2007, at Glendale Middle School, a neighbourhood meeting was conducted by Parkland Community Planning Services (PCPS). At this meeting, a presentation was provided by the applicant in order to offer information regarding the proposed amendment. Notification of

the public meeting was provided by flyer delivery within the neighbourhood. The meeting attendance register indicated that 6 residents attended.

At the meeting, concerns were raised and comments were presented. The majority of the meeting's discussion included issues such as:

- density (overall neighbourhood and subject sites)
- vehicular traffic and site access
- on-street parking

Written comments were received from 2 residents/landowners, via comment sheets and other correspondence. These comments received by PCPS indicated no opposition to the proposed amendment.

The applicant had initially submitted a different amendment to the NASP proposing a multiple-family development site in the southerly portion of the plan area. In May 2006, a public meeting was conducted by PCPS for this amendment. Upon receiving heavy objection to that specific proposal from the neighbourhood, the applicant withdrew the amendment application.

Upon further discussions between the applicant and PCPS, the current development concept proposal was agreed upon where the aforementioned multiple-family development site has been scaled down in the number of dwelling units and zoning intensity.

Density

Initially, community concerns were raised with regards to overall neighbourhood density. The table below compares the currently anticipated density of the Johnstone Park neighbourhood with various neighbourhoods within the city of similar age that accommodate similar housing types. This information is collected from the existing neighbourhood area structure plans.

Neighbourhood	Year NASP Adopted	Developable Area (ha)	Anticipated Dwelling Units	Anticipated Units Per Hectare
Westlake	2002	58.71	692	11.79
Kingsgate	1998	45.91	515	12.48
Inglewood West	2002	57.74	766	13.27
Lonsdale	1997	60.71	875	14.41
<i>Johnstone Park</i>	<i>1999</i>	<i>50.07</i>	<i>765</i>	<i>15.28</i>

Considering the information above, Johnstone Park may be identified as presently being one of the most-dense, newer neighbourhoods within the city. Johnstone Park does presently contain two higher-density housing parcels, each with separate multiple-family developments (52 and 58 units). These lands are zoned R3-D55 District (multiple-family residential with a maximum density of 55 units per hectare).

Traffic

Residents have expressed concerns regarding additional vehicular traffic that could be generated by any new multiple-family housing development. Primary concerns focused on the added number of vehicle trips along Jones Crescent and Jarvis Street. Considering its location and configuration, the proposed amendment would dictate that any access for multiple-family development within the proposed R2 site be restricted to Jamieson Avenue.

On-Street Parking

Comments were made regarding the amount of vehicles presently parked along area streets. Primarily, these parked vehicles are associated with the existing R1N residential developments in the southerly portion of the NASP area. Residents raised concerns regarding on-street parking with respect to vehicle and pedestrian safety and attributing to traffic congestion. Much of the on-street parking may be due to the lack of use of provided rear parking areas. The R1A portion of the proposed amendment is for the purpose of semi-detached dwelling development with attached garages (Figure 3). Such development would encourage on-site parking. As well, the proposed multiple-family site (R2) boundaries have been configured to discourage off-site parking by not provided any flanking local street frontage. The intent of the R2 site is to provide for two-storey 8-plex and 12-plex development with internal private driveways and parking spaces (Figure 4).

Municipal Referral

Comments from Engineering Services primarily indicated that: 1) a servicing study is required to ensure the proposed northeast R2 site may be accommodated; 2) an additional access to Springfield Crossing should be considered at the southerly point of Joice Close; and 3) the subdivision map signs be updated to reflect any approved amendment.

The applicant has since submitted a servicing study and plans satisfactory to Engineering Services.

The updating of the neighbourhood signs could be required by agreement at the subdivision stage.

Community Services' comments primarily indicated that the proposed amendment does not meet sections of the *Neighbourhood Planning & Design Guidelines* with respects to not achieving the required 60% dwelling unit minimum for detached and semi-detached housing types. Considering the proposed amendment, such housing types are provided at 47%. However, as mentioned, the Johnstone Park NASP amendment is being processed under the *Former Planning and Subdivision Guidelines*, and meets these requirements.

All other City departments indicated no objection or further comment pertaining to the proposed amendment.

The proposed amendment was also referred to Red Deer County. The County had no objection to the proposed amendment and also encouraged the City to favourably consider higher density residential uses.

Planning Analysis

With a built-out capacity of 814 dwelling units as proposed, the neighbourhood would achieve a density of 16.3 units per hectare, and would continue to be within the City's required density range of 12.35 to 17.3 units per hectare. Over the years, including the proposed amendment, the original 1999 NASP would face an increase of 148 medium density dwelling units and a decrease of 99 low density units, thus resulting in a net increase of 49 dwelling units.

Neighbourhood	Year NASP Adopted/amended	Developable Area (ha)	Anticipated Dwelling Units	Anticipated Units Per Hectare
Johnstone Park	1999	50.07	765	15.28
Johnstone Park	Proposed 2007	49.93	814	16.30

Deletion of a local road from the existing NASP, in order to accommodate the proposed R2 site, will not adversely impact vehicular traffic flow within the neighbourhood. Considering the configuration of the proposed R2 site and the provision of attached garages for the proposed R1A developments, adverse street parking concerns are not anticipated.

Furthermore, the proposed amendment would facilitate proper land use transitions and respect current land use districts and existing developments. The proposed amendment within the southerly portion of the NASP area would result in a more desirable housing type with little land use intensification. The proposed land uses (R1A, R2) within the northerly portion of the NASP area would provide for the majority of the density increase and will be geographically separated from existing developments. Such separation is favoured in order to allow for reasonable notification of plan intent for prospective future landowners. Furthermore, the proposed medium density site is ideally located near major thoroughfares for efficient traffic and transit considerations.

Municipal Planning Commission Recommendation

The proposed NASP amendment was presented to the Municipal Planning Commission at its May 14, 2007 meeting. The Commission supports the NASP amendment and recommends that City Council proceed with first reading of Neighbourhood Area Structure Plan Amendment Bylaw No. 3217/B-2007.

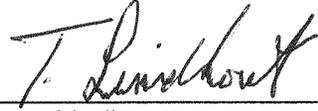
Recommendation

That City Council proceed with first reading of Neighbourhood Area Structure Plan Amendment Bylaw No. 3217/B-2007.

Respectfully submitted,



Martin Kvapil
PLANNING ASSISTANT



Tony Lindhout
CITY PLANNING MANAGER

Attachments

GENCAN DEVELOPMENT LTD. NEIGHBOURHOOD AREA STRUCTURE PLAN

Council Adoption:
August 14, 2000

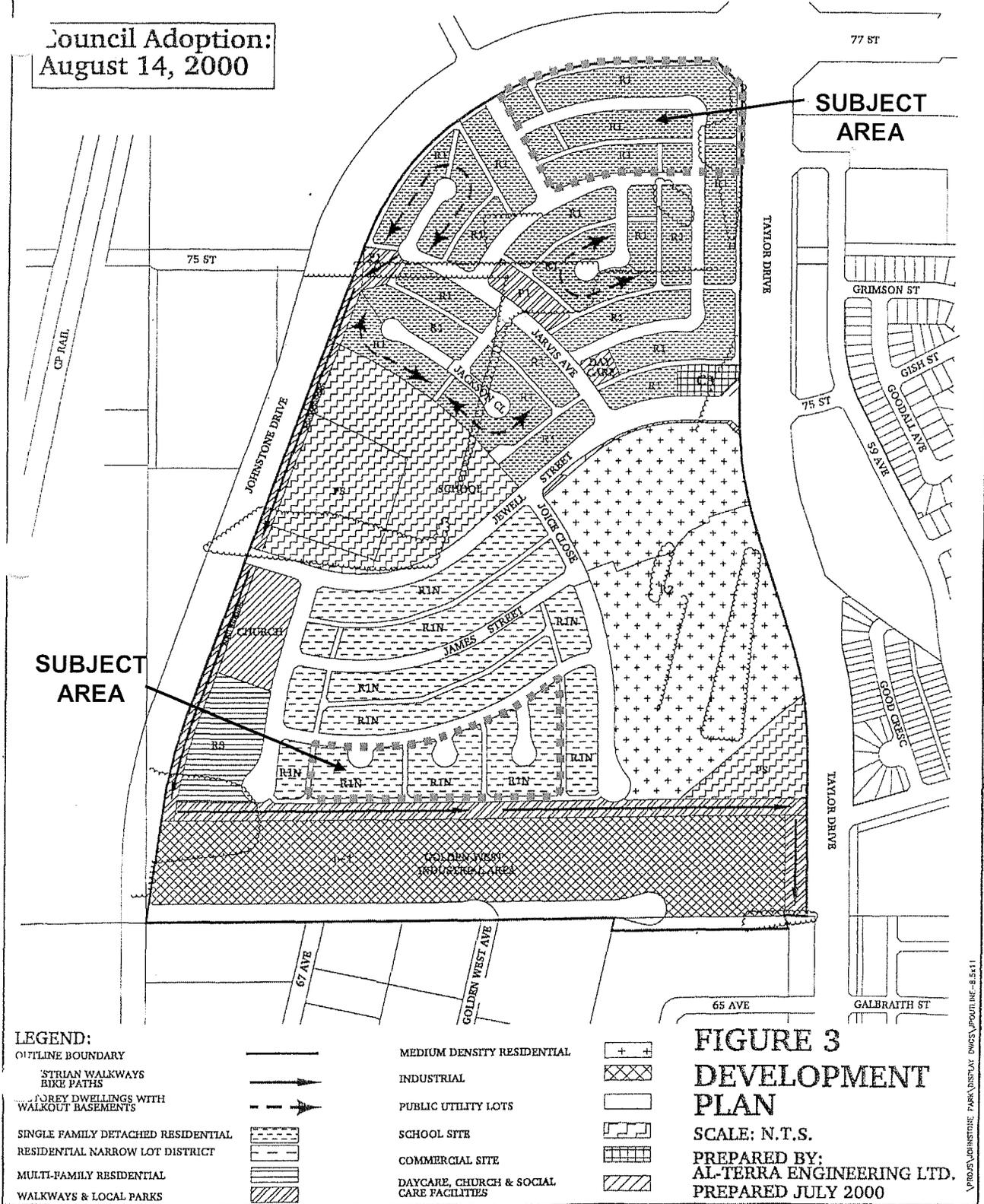


Figure 1: Existing Concept

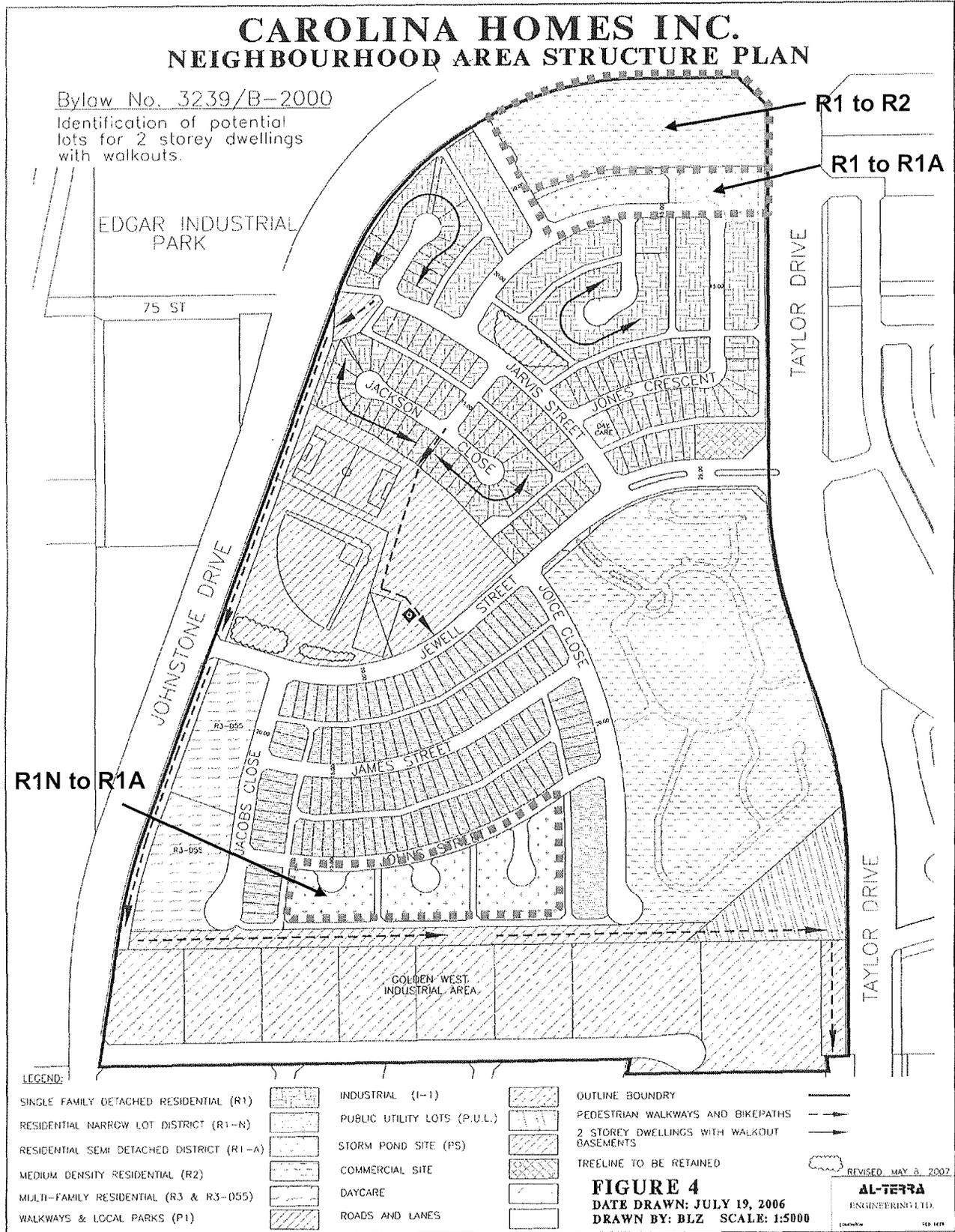


Figure 2: Proposed Concept

Figure 3: Proposed Duplexes

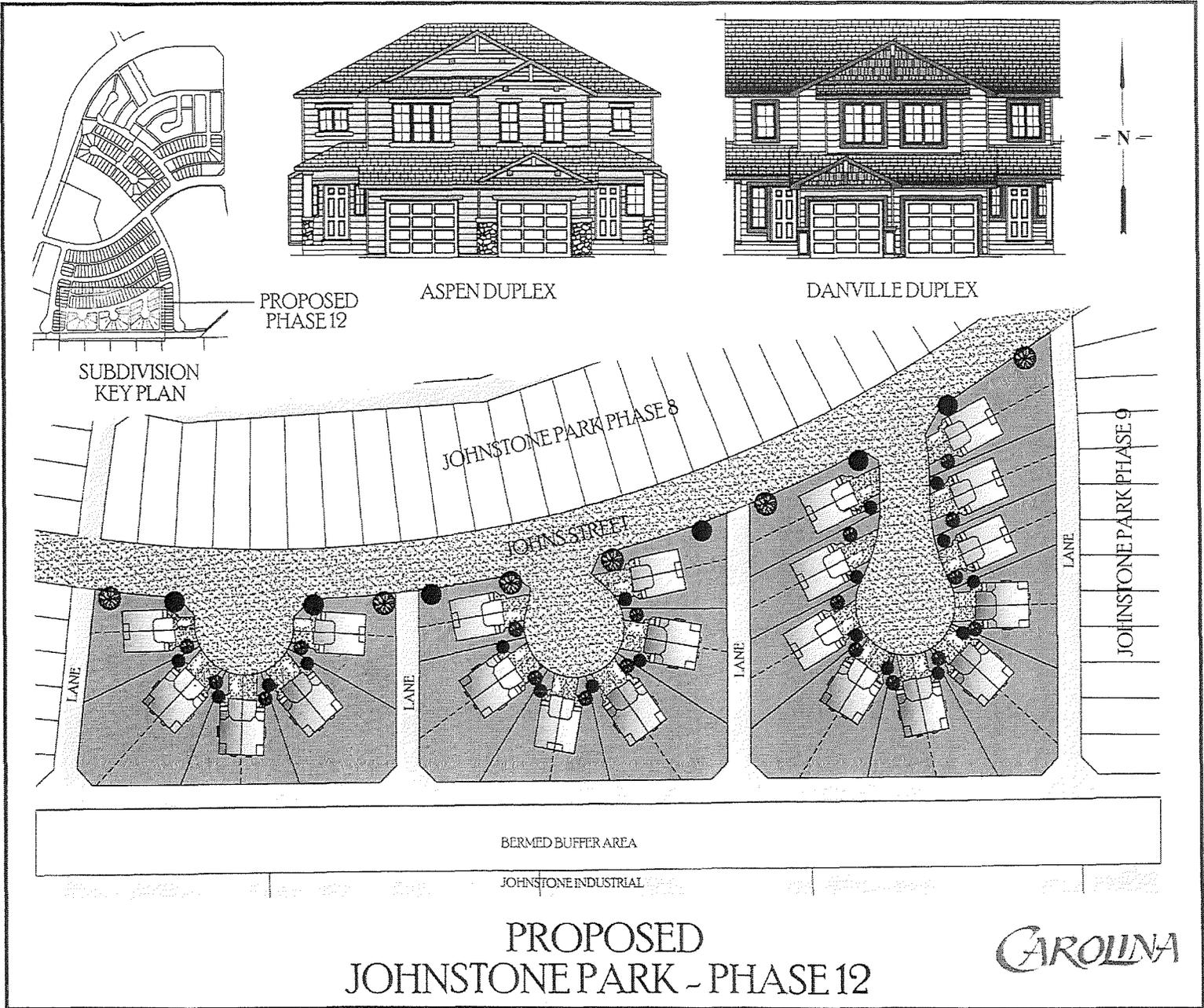
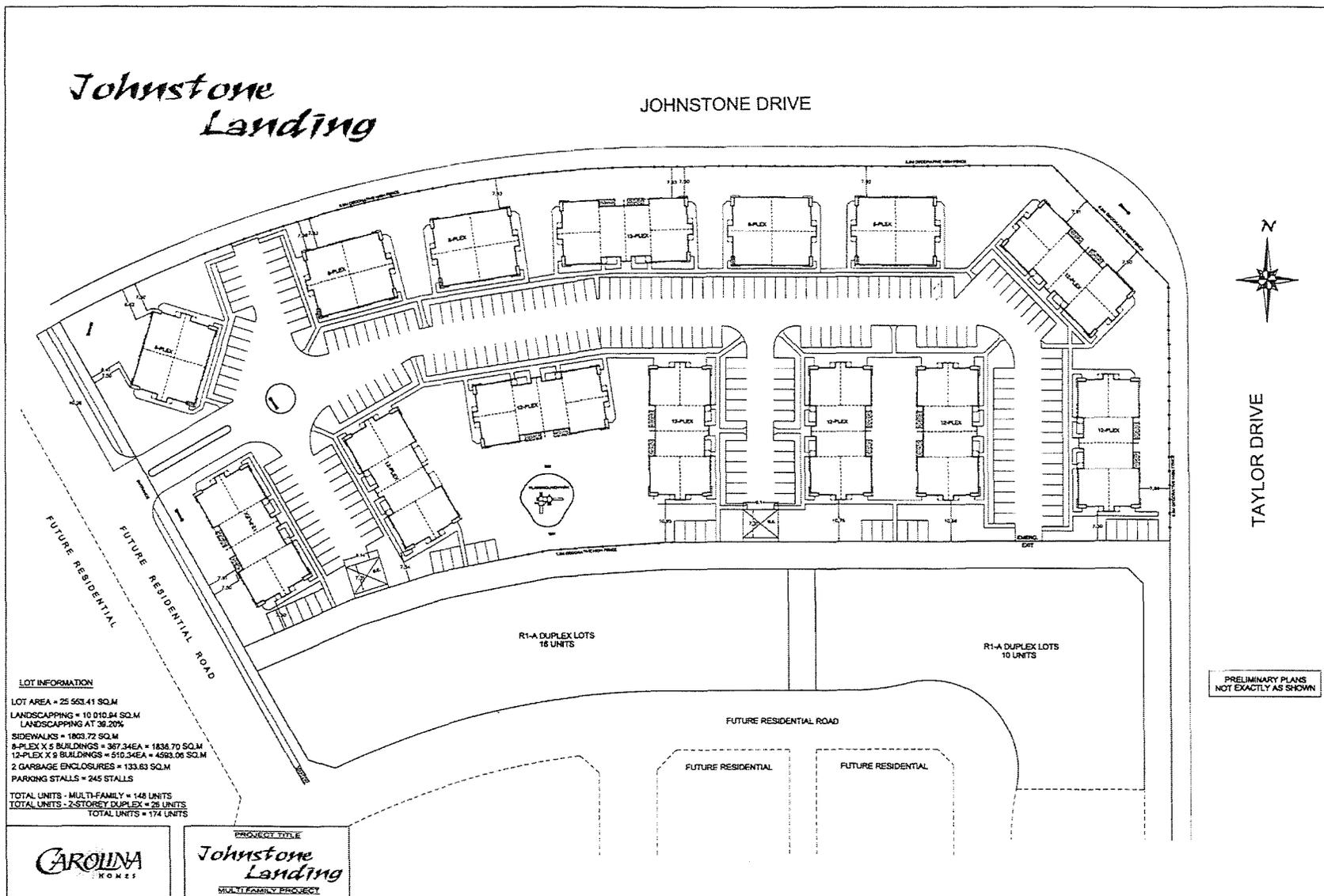


Figure 4: Proposed Multi-plexes





OFFICE OF THE MAYOR

DATE: May 15, 2007

TO: Legislative & Administrative Services Manager

FROM: City of Red Deer Municipal Planning Commission

RE: **Johnstone Park Neighbourhood Area Structure Plan amendment**

At the May 14, 2007 Red Deer Municipal Planning Commission meeting, the Commission considered a report from Parkland Community Planning Services dated May 9, 2007 re: Johnstone Park Neighbourhood Area Structure Plan amendment. This is an application by Al-Terra Engineering, on behalf of Carolina Homes, for an amendment to the Johnstone Park Neighbourhood Area Structure Plan in order to reallocate a portion of the northeast plan area from future R1 Low Density Residential to future R2 Medium Density Residential and R1A Semi-detached Dwelling Residential, and Reallocate the entire remaining lands south of Johns Street from future R1N Narrow Lot Residential to future R1A Semi-detached Dwelling Residential due to changes in market trends and the inability to sufficiently site some lots within the existing land use allocations.

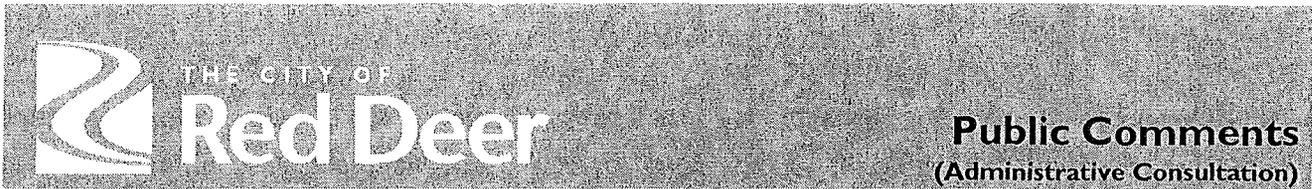
Following discussion the resolution as set out below was introduced and passed.

“Resolved that the Municipal Planning Commission support the proposed Johnstone Park Neighbourhood Area Structure Plan amendment and recommend that City Council consider first reading of the NASP Amendment Bylaw No. 3217/B-2007, and the applicable Land Use Bylaw amendment.”

The above is submitted for Council’s consideration.

Mayor Morris Flewwelling
Chairperson
City of Red Deer Municipal Planning Commission

c. Martin Kvapil, Parkland Community Planning Services



Date: Tuesday, February 13, 2007

Meeting: Proposed Amendment to the Johnstone Park Neighbourhood Area Structure Plan

Please Print

Your comments are important!

The personal information on this form is collected under the authority of the Municipal Government Act and is protected under the provisions of the Freedom of Information & Protection of Privacy (FOIP) Act. It is used solely for the purpose of providing input and assisting in the evaluation of existing or proposed programs, services and/or plans in the city of Red Deer. This comment sheet may be provided confidentially to City Council, administration, or affected council committees to assist in deliberations. Comments may also be circulated publicly; however, any personal information provided will be withheld. If you have any questions about the collection and use of this information, contact Martin Kvapil at Parkland Community Planning Services, 404, 4808 Ross Street, Red Deer, AB, T4N 1X5; fax: (403) 346-1570; e-mail: pcps@pcps.ab.ca.

Contact Information:

Name (required): [Redacted]

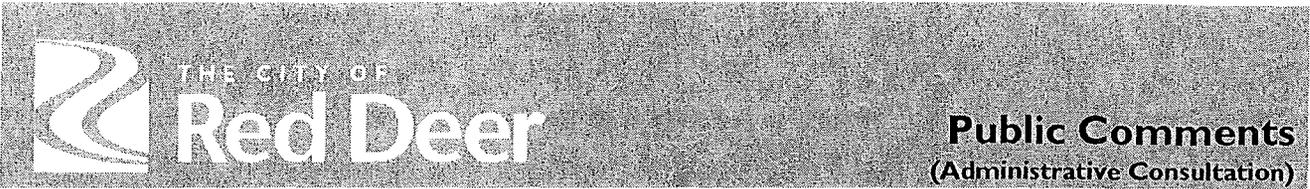
Mailing Address & Postal Code (optional: will allow administration to respond to you if necessary):

[Redacted] Phone #: [Redacted]

Comments:

I think it is very important to have either the burme made higher or plant many trees to separate the industrial area from the industrial residential

[Redacted]



Date: Tuesday, February 13, 2007

Meeting: Proposed Amendment to the Johnstone Park Neighbourhood Area Structure Plan

Please Print **CARMEN E. MORPHY**

Your comments are important!

The personal information on this form is collected under the authority of the Municipal Government Act and is protected under the provisions of the Freedom of Information & Protection of Privacy (FOIP) Act. It is used solely for the purpose of providing input and assisting in the evaluation of existing or proposed programs, services and/or plans in the city of Red Deer. This comment sheet may be provided confidentially to City Council, administration, or affected council committees to assist in deliberations. Comments may also be circulated publicly; however, any personal information provided will be withheld. If you have any questions about the collection and use of this information, contact Martin Kvapil at Parkland Community Planning Services, 404, 4808 Ross Street, Red Deer, AB, T4N 1X5; fax: (403) 346-1570; e-mail: pcps@pcps.ab.ca.

Contact Information:

Name (required): [Redacted]

Mailing Address & Postal Code (optional: will allow administration to respond to you if necessary): [Redacted] Phone #: [Redacted]

Comments:

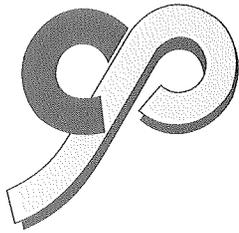
*Seems to be a logical way to go.
We are happy with it.*

Comments:

We agree with the recommendations of Parkland Community Planning Services that Council give first reading to the Neighbourhood Area Structure Plan Bylaw Amendment. A Public Hearing would be held on Monday, June 18, 2007 at 6:00 p.m. in Council Chambers during Council's regular meeting.

"Morris Flewwelling"
Mayor

"Craig Curtis"
City Manager



**PARKLAND
COMMUNITY
PLANNING
SERVICES**

Suite 404, 4808 Ross Street
Red Deer, Alberta T4N 1X5
Phone: (403) 343-3394
FAX: (403) 346-1570
e-mail: pcps@pcps.ab.ca
www.pcps.ca

DATE: May 14, 2007
TO: Kelly Kloss, Legislative and Administrative Services Manager
FROM: Martin Kvapil, Planning Assistant
RE: Land Use Bylaw Amendment No. 3357/N-2007
Johnstone Park Neighbourhood – Phases 11 & 12
Carolina Homes Ltd.

Proposal

Carolina Homes Ltd. is proposing to develop the Phases 11 and 12 of the Johnstone Park neighbourhood. Rezoning is being sought for approximately 4.34 ha (10.7 ac.) of land from A1 Future Urban Development District District to R1A Semi-Detached Dwelling Residential District and R2-D59 (medium density residential with a maximum density of 59 units per hectare) in order to create 42 semi-detached residential lots and a multiple-family residential site to accommodate 148 dwelling units. The proposed uses would conform with the proposed Johnstone Park Neighbourhood Area Structure Plan amendment being considered concurrently.

Staff Recommendation

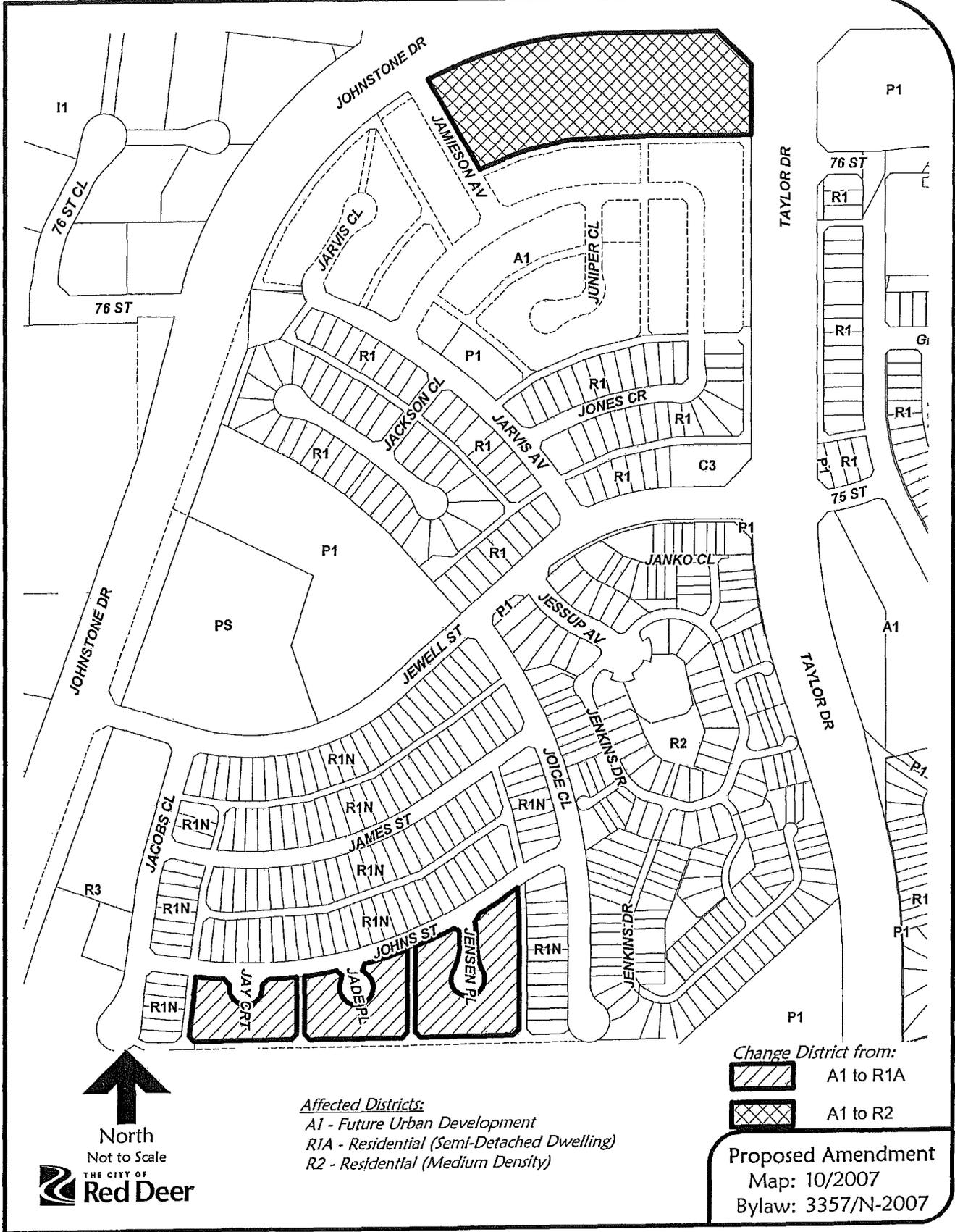
It is recommended that City Council, subject to first reading of Neighbourhood Area Structure Plan Amendment Bylaw No. 3217/B-2007, proceed with first reading of Land Use Bylaw Amendment No. 3357/N -2007.

Martin Kvapil
PLANNING ASSISTANT

Tony Lindhout
CITY PLANNING MANAGER

Attachments

Proposed Amendment to Land Use Bylaw 3357/2006



Comments:

We agree with the recommendations of Parkland Community Planning Services that Council give first reading to the Land Use Bylaw Amendment. A Public Hearing would be held on Monday, June 18, 2007 at 6:00 p.m. in Council Chambers during Council's regular meeting.

"Morris Flewwelling"
Mayor

"Craig Curtis"
City Manager

FILE



Council Decision – May 22, 2007

Legislative & Administrative Services

DATE: May 23, 2007

TO: Martin Kvapil, Parkland Community Planning Services

FROM: Nona Housenga, Deputy City Clerk

SUBJECT: Johnstone Park Neighbourhood Area Structure Plan Bylaw Amendment 3217/B-2007 and Land Use Bylaw Amendment 3357/N-2007
Johnstone Park Neighbourhood – Phases 11 & 12
Carolina Homes Ltd.

Reference Report:

Parkland Community Planning Services, dated May 14, 2007

Bylaw Readings:

Johnstone Park Neighbourhood Area Structure Plan Bylaw Amendment 3217/B-2007 and Land Use Bylaw Amendment 3357/N-2007 were given first readings. Copies of the bylaws are attached.

Report Back to Council: Yes

Public Hearings will be held on Monday, June 18, 2007 at 6:00 p.m. in Council Chambers, during Council's regular meeting.

Comments/Further Action:

Johnstone Park Neighbourhood Area Structure Plan Bylaw Amendment 3217/B-2007 provides for the reallocation of a portion of the northeast plan area from future R1 Low Density District to future R2 Medium Density Residential District and R1A Semi-Detached Dwelling Residential District. The entire remaining lands south of Johns Street are to be reallocated from future R1N Narrow Lot Residential District to future R1A Semi-Detached Dwelling Residential District. Land Use Bylaw Amendment 3357/N-2007 provides for the development of Phase 11 and 12 of the Johnstone Park neighbourhood. Approximately 4.34 ha (10.7ac.) of land will be rezoned from A1 Future Urban Development District to R1A Semi-Detached Dwelling Residential District and R2-D59 (Medium Density Residential with a Maximum Density of 59 Units per Hectare). This will create 42 semi-detached residential lots and a multiple-family residential site to accommodate 148 dwelling units.

Council Decision – May 22, 2007
Johnstone Park Neighbourhood
Page 2

This office will now proceed with the advertising for the Public Hearings. Carolina Homes Ltd. will be responsible for the advertising costs in this instance.



Nona Housenga
Deputy City Clerk

/chk

/attach.

c Director of Development Services
Inspections & Licensing Manager
Land & Economic Development Manager
LAS Admin. Assistant

FILE



LEGISLATIVE & ADMINISTRATIVE SERVICES

May 23, 2007

Fax: (403) 256-7991

Carolina Homes Inc.
#215, 340 Midpark Way SE
Calgary, AB T2X 1P1

Dear Sir:

**Re: *Johnstone Park Neighbourhood Area Structure Plan Bylaw Amendment 3217/B-2007
Land Use Bylaw Amendment 3357/N-2007 - Phases 11 & 12
Johnstone Park Neighbourhood
Carolina Homes Inc.***

Red Deer City Council gave first reading to *Johnstone Park Neighbourhood Area Structure Plan Bylaw Amendment 3217/B-2007* and *Land Use Bylaw Amendment 3357/N-2007* at the City of Red Deer Council meeting held Tuesday, May 22, 2007. For your information a copy of the bylaws are attached.

Johnstone Park Neighbourhood Area Structure Plan Bylaw Amendment 3217/B-2007 provides for the reallocation of a portion of the northeast plan area from future R1 Low Density District to future R2 Medium Density Residential District and R1A Semi-Detached Dwelling Residential District. The entire remaining lands south of Johns Street are to be reallocated from future R1N Narrow Lot Residential District to future R1A Semi-Detached Dwelling Residential District. *Land Use Bylaw Amendment 3357/N-2007* provides for the development of Phase 11 and 12 of the Johnstone Park neighbourhood. Approximately 4.34 ha (10.7ac.) of land will be rezoned from A1 Future Urban Development District to R1A Semi-Detached Dwelling Residential District and R2-D59 (Medium Density Residential with a Maximum Density of 59 Units per Hectare).

Council must hold Public Hearings before giving second and third readings to the bylaws. This office will now advertise for the Public Hearings to be held on Monday, June 18, 2007 at 6:00 p.m. in Council Chambers of City Hall during Council's regular meeting.

...2/

Carolina Homes Inc.

May 23, 2007

Page 2

You are responsible for the advertising costs and will be invoiced for this cost which we estimate to be approximately \$700.00. If you are not in agreement with paying this cost, please notify me by 10:00 A.M. on Wednesday, May 30, 2007.

Please call me if you have any questions or require additional information.

Sincerely,



Nona Housenga
Deputy City Clerk

/attach.

c Parkland Community Planning Services
LAS Admin. Assistant

BYLAW NO. 3357/K-2007

Being a bylaw to amend Bylaw No. 3357/2006, the Land Use Bylaw of the City of Red Deer.

COUNCIL OF THE CITY OF RED DEER, ALBERTA, ENACTS AS FOLLOWS:

1. That "Use District Map Q10" contained within "Schedule A" of the Land Use Bylaw is hereby amended in accordance with Land Use District Map No. 7 attached hereto and forming part of the bylaw.

READ A FIRST TIME IN OPEN COUNCIL this 23rd day of April 2007.

READ A SECOND TIME IN OPEN COUNCIL this day of 2007.

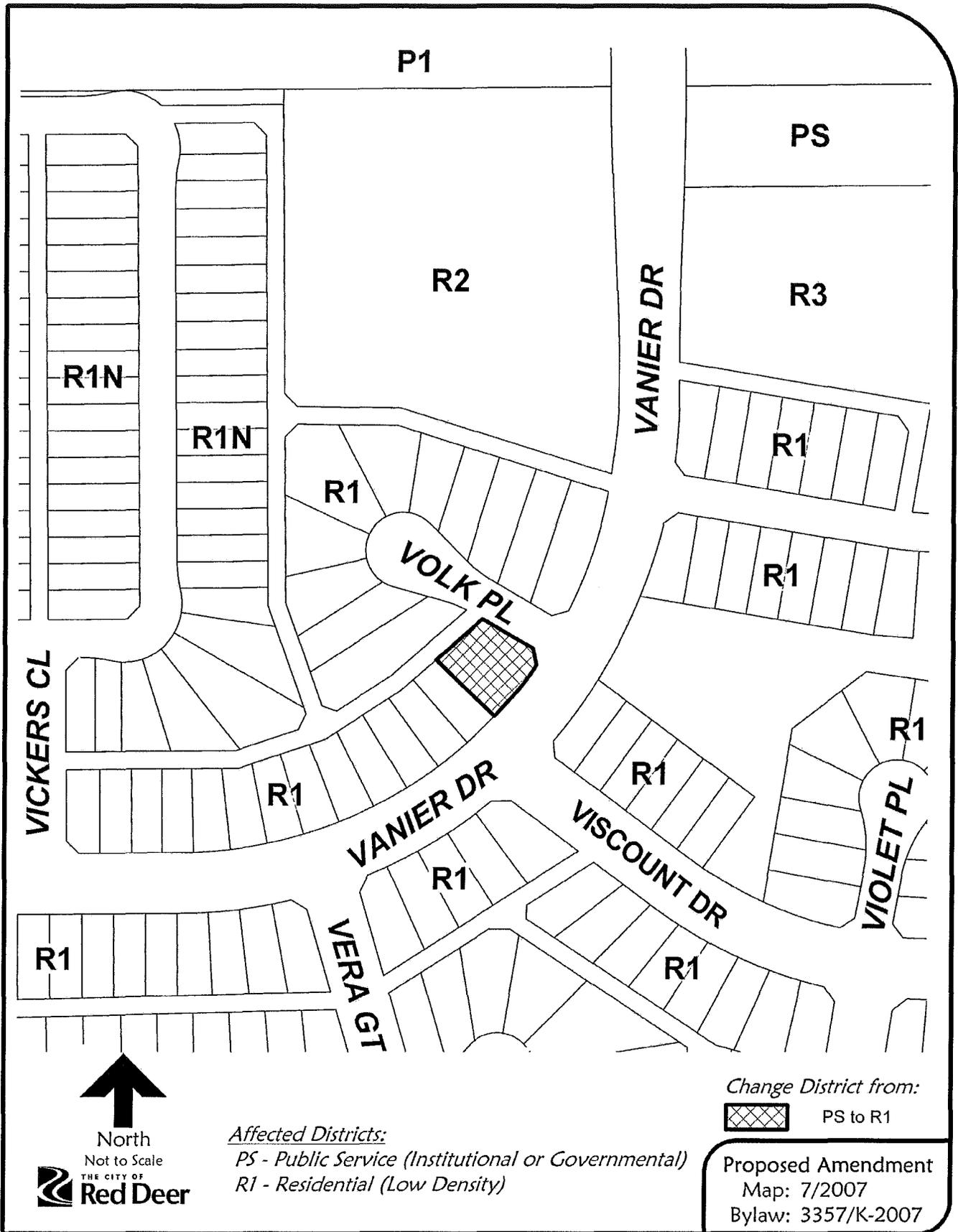
READ A THIRD TIME IN OPEN COUNCIL this day of 2007.

AND SIGNED BY THE MAYOR AND CITY CLERK this day of 2007.

MAYOR

CITY CLERK

Proposed Amendment to Land Use Bylaw 3357/2006



North
Not to Scale



Affected Districts:
PS - Public Service (Institutional or Governmental)
R1 - Residential (Low Density)

Change District from:

 PS to R1

Proposed Amendment
Map: 7/2007
Bylaw: 3357/K-2007

Item No. 2

BYLAW NO. 3217/C-2007

Being a bylaw to amend Bylaw No. 3217/98, the bylaw adopting the neighbourhood area structure plans as a bylaw of the City of Red Deer

COUNCIL OF THE CITY OF RED DEER, ALBERTA, ENACTS AS FOLLOWS:

That Bylaw No. 3217/98 is hereby amended:

1. By substituting the revised and updated map (Figure 4), attached hereto and forming part of the bylaw, in the West Park Extension Neighbourhood Area Structure Plan.

READ A FIRST TIME IN OPEN COUNCIL this 23rd day of April 2007.

READ A SECOND TIME IN OPEN COUNCIL this day of 2007.

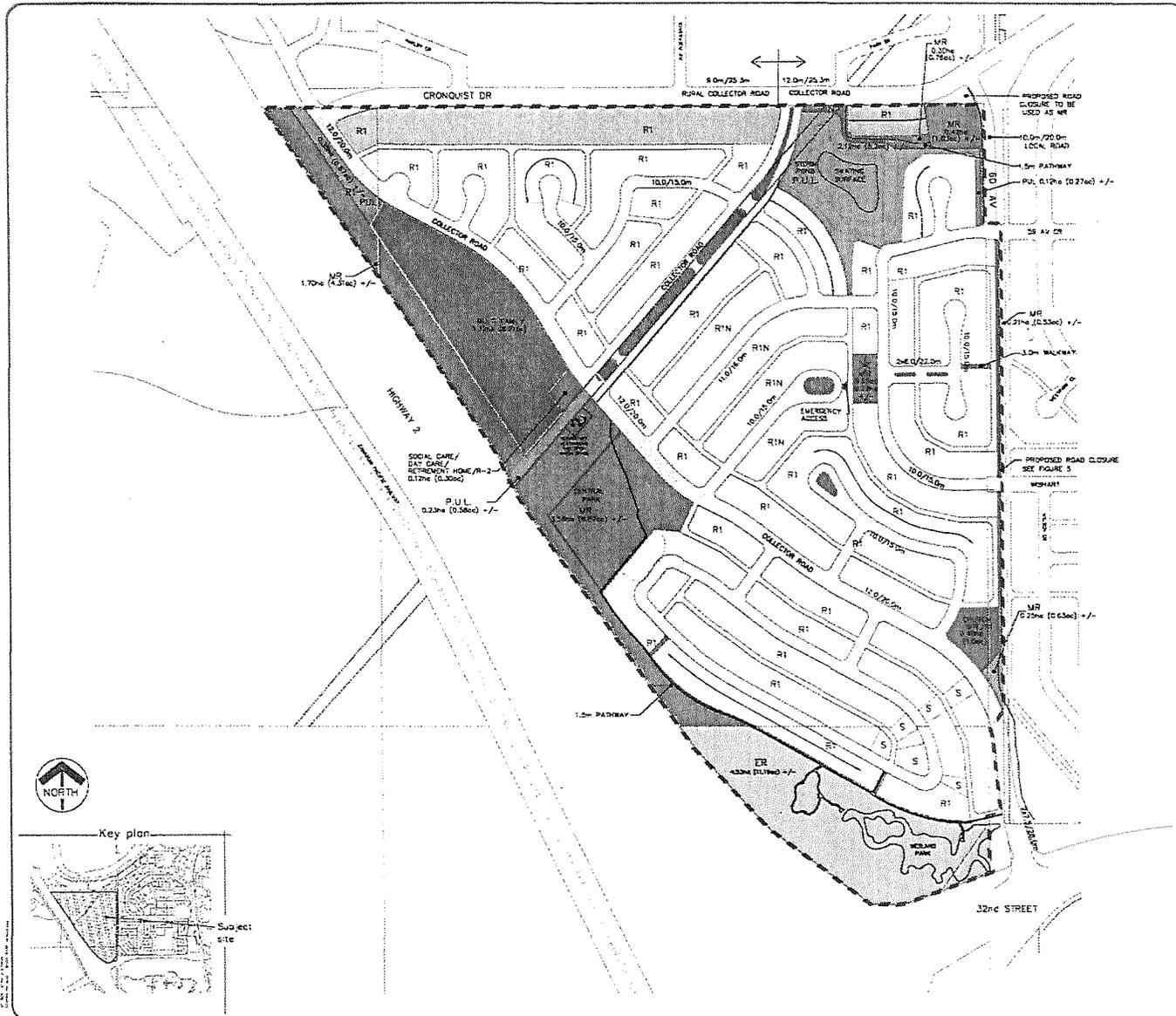
READ A THIRD TIME IN OPEN COUNCIL this day of 2007.

AND SIGNED BY THE MAYOR AND CITY CLERK this day of 2007.

MAYOR

CITY CLERK





West Park Extension in Red Deer

Neighbourhood Structure Plan

Within:
Section 7, Township 38, Range 27, W of 4

Prepared for: Trademark Western Properties.

Plan Statistics		
	Acres	Hectares
Total Area	156.25	63.74
Environmental Reserve	11.19	4.53
Total Developable		
	145.07	58.71
Single family Large Lots	8.08	3.27
Single family Std. Lots	60.07	24.31
Single family Narrow Lots	8.16	3.31
Multi family - Town House	8.20	3.32
Secondary Suite Lots	1.19	0.48
Street and Lanes	33.63	13.61
Public Utility Lots	7.86	3.16
Church Site/R1	1.0	0.40
Social Care Site (Social Housing/Day Care/ Retirement Home)	0.30	0.12
Municipal Reserve *	16.56	6.70
Net Developable Area		
	145.07	58.71

* Municipal Reserve Summary		
	Acres	Hectares
Central Park	8.87	3.59
Highway 2 Buffer	4.19	1.70
Buffer - Existing Community	1.16	0.47
Total Lot	0.66	0.27
Feature Park	1.03	0.42
N.E. Storm Pond	0.76	0.31
Total Area for Municipal Reserve	16.56	6.70

- Legend**
- Neighbourhood Structure Plan Boundary
 - Existing Power Poles
 - Proposed 1.5m Pathway
 - Proposed Walkway
 - Existing Tree Cover
 - Children Play Area
 - Potential Walkout lots
 - Landscaped Medians
 - Proposed 2.5m Regional Pathway
 - Existing Contours

Planning Team Prepared By
 InterPlan Strategies Inc. **InterPlan** strategies inc.
 Al-Tera Engineering Ltd. Land Planning Services
 Lim Associates Inc.
 Firm Transportation Consultants
 Westhoff Resources Engineering Inc.
 McInnery Consulting Services Ltd.
 Group 2 Architects

Date	Scale	Figure
Nov. 2001	0 30 60 120m	4
Rev		
JAN 24/05		
(A1)		

BYLAW NO. 3390/2007

The Red Deer Gymnastics Association agreed to make payments over a period of time to The City of Red Deer for the reimbursement of the construction costs incurred by the City for construction of a gymnastics facility within the Collicutt Centre. This constitutes a form of loan from The City of Red Deer. Council deemed such a loan to be for a purpose that will benefit the municipality.

Section 265 of the Municipal Government Act authorizes a municipality to lend money to a non-profit organization provided that the loan is authorized by bylaw.

NOW THEREFORE COUNCIL OF THE CITY OF RED DEER, ALBERTA, ENACTS AS FOLLOWS:

1. Council hereby authorizes a loan to The Red Deer Gymnastics Association to be used for the construction of a gymnastics facility within the Collicutt Centre on the following terms:
 - a. Purpose of loan: Construction of a gymnastics facility in the Collicutt Centre
 - b. Principal amount: \$1,000,000
 - c. Interest rate: 6% per annum
 - d. Term of loan: 11 years
 - e. Repayment:
 - i) \$250,000 upon agreement signing (paid)
 - ii) \$200,000 upon facility opening (paid)
 - iii) To be paid quarterly on January 15th, April 15th, July 15th and October 15th in the amount of \$18,432.18 per quarter starting January, 2001 through October, 2010 until loan is repaid

2. The source of the funds to be loaned was an additional expenditure to the 1999 Recreation Parks and Culture Capital Budget.

3. City administration is authorized to enter into a loan agreement with The Red Deer Gymnastics Association on the terms set out in this bylaw and in a form satisfactory to the City Solicitor.

READ A FIRST TIME IN OPEN COUNCIL this 23rd day of April 2007

READ A SECOND TIME IN OPEN COUNCIL this day of 2007

READ A THIRD TIME IN OPEN COUNCIL this day of 2007

AND SIGNED BY THE MAYOR AND CITY CLERK this day of 2007

MAYOR

CITY CLERK

BYLAW NO. 3392/2007

The Red Deer Minor Hockey Commission agreed to make payments over a period of time to The City of Red Deer for the reimbursement of the construction costs incurred by the City for construction of a NHL sized ice rink facility within the Collicutt Centre. This constitutes a form of loan from The City of Red Deer. Council deemed such a loan to be for a purpose that will benefit the municipality.

Section 265 of the Municipal Government Act authorizes a municipality to lend money to a non-profit organization provided that the loan is authorized by bylaw.

NOW THEREFORE COUNCIL OF THE CITY OF RED DEER, ALBERTA, ENACTS AS FOLLOWS:

1. Council hereby authorizes a loan to The Red Deer Minor Hockey Commission to be used for the construction of a NHL sized ice rink facility within the Collicutt Centre on the following terms:
 - a. Purpose of loan: Construction of a NHL sized ice rink in the Collicutt Centre
 - b. Principal amount: \$1,000,000
 - c. Interest rate: 6% per annum
 - d. Term of loan: 5 years
 - e. Repayment:
 - i) \$200,000 by December 31, 1999 (paid)
 - ii) \$201,019.98 by December 31, 2000 (paid)
 - iii) To be paid yearly on December 31st in the amount of \$225,545.00 per year starting December, 2001 through December, 2003 until loan is repaid (paid)
2. The source of the funds to be loaned was an additional expenditure to the 1999 Recreation Parks and Culture Capital Budget.
3. City administration is authorized to enter into a loan agreement with The Red Deer Minor Hockey Commission on the terms set out in this bylaw and in a form satisfactory to the City Solicitor.

READ A FIRST TIME IN OPEN COUNCIL this 23rd day of April 2007

READ A SECOND TIME IN OPEN COUNCIL this day of 2007

READ A THIRD TIME IN OPEN COUNCIL this day of 2007

AND SIGNED BY THE MAYOR AND CITY CLERK this day of 2007

MAYOR

CITY CLERK

Item No. 7

BYLAW NO. 3357L-2007

Being a bylaw to amend Bylaw No. 3357/2006, the Land Use Bylaw of the City of Red Deer.

COUNCIL OF THE CITY OF RED DEER, ALBERTA, ENACTS AS FOLLOWS:

1. That "Land Use District Map O15" contained within "Schedule A" of the Land Use Bylaw is hereby amended in accordance with Land Use District Map 8/2007 attached hereto and forming part of the bylaw.

READ A FIRST TIME IN OPEN COUNCIL this day of 2007.

READ A SECOND TIME IN OPEN COUNCIL this day of 2007.

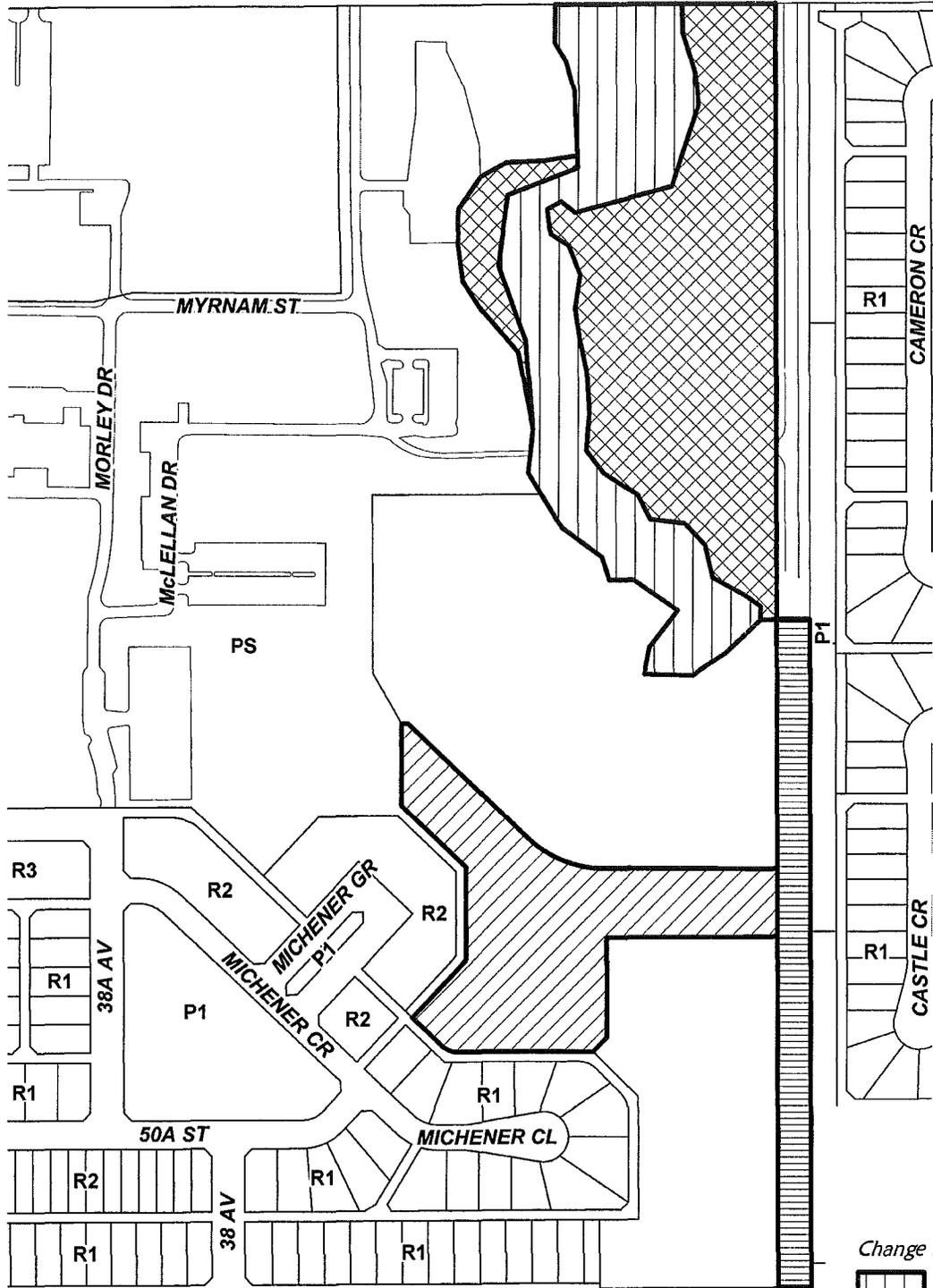
READ A THIRD TIME IN OPEN COUNCIL this day of 2007.

AND SIGNED BY THE MAYOR AND CITY CLERK this day of 2007.

MAYOR

CITY CLERK

Proposed Amendment to Land Use Bylaw 3357/2006



North
Not to Scale



Affected Districts:

- A2 - Environmental Preservation
- P1 - Parks and Recreation
- PS - Public Service (Institutional or Governmental)
- R1A - Residential (Semi-Detached Dwelling)

Change District from:

- PS to A2
- PS to P1
- PS to R1A
- PS to road

Proposed Amendment
Map: 8/2007
Bylaw: 3357/L-2007

BYLAW NO. 3357/M-2007

Being a Bylaw to amend Bylaw No. 3357/2006, the Land Use Bylaw of The City of Red Deer as described herein.

COUNCIL OF THE CITY OF RED DEER, ALBERTA, ENACTS AS FOLLOWS:

Bylaw No. 3357/2006 is hereby amended as follows:

1 Addition of Section 7.11:

7.11 Riverside Meadows Overlay District**General Purpose**

The purpose of this District is to ensure that the redevelopment of major redevelopment sites will be designed to satisfy objectives outlined in the *Riverside Meadows Area Redevelopment Plan* which describes a compatible blend of residential and commercial development as if it were a village in a city. This District is comprised of regulations that provide a means to regulate design attributes which cannot be satisfactorily addressed through conventional land use zoning.

For interpretation purposes of this District, "Shall" statements mean those which must be followed. "Should" statements mean compliance to the principle is required but the Development Authority has some discretion based on the circumstances of the specific case. "May" statements mean that the Development Authority determines the level of compliance.

(1) Permitted and Discretionary Uses

Those uses listed as permitted and discretionary in the existing underlying use districts.

(2) Application

- (a) The regulations in the District apply to permit applications that change the site plan or exterior of any existing or new building on lands located in the Riverside Meadows Overlay District, the boundaries which are illustrated in Part 7, Figure 17.
- (b) In addition to Section 2.4 (1), an application for development approval shall include a site plan which shows:
 - (i) existing and proposed grades;
 - (ii) existing and proposed landscaping;

- (iii) proposed building demolition, if any;
 - (iv) the height of main floor above grade;
 - (v) the location of proposed fences;
 - (vi) the location of all underground/overhead utility services and their connection points to any building; and
 - (vii) a sketch or photograph showing façade design and location of existing or proposed adjacent buildings.
- (c) Where the building regulations of the existing underlying use district are in conflict with the development regulations of this District, then the development regulations of this District shall govern.
- (d) Where a proposed development does not comply with the development regulations of this District, the applicant shall:
- (i) contact the Riverside Meadows Community Association and each owner of property located within a distance of 30.0 metre of the site of the proposed development (the “affected parties”);
 - (ii) describe to the affected parties in detail the manner in which the proposed development does not comply with the development regulations of this District and solicit their comments on the proposed development;
 - (iii) document the comments of the affected parties with respect to the proposed development;
 - (iv) describe any proposed modifications to the development made by the applicant to address the concerns of the affected parties, if any; and
 - (v) submit as part of the Development Application documents showing the foregoing requirements have been complied with.
 - (vi) Where a proposed development is to be forwarded to the Municipal Planning Commission for a decision, the Development Officer shall notify the affected parties of the time and date at which the application will be considered.

(3) Regulations for All Redevelopment

- (a) No street frontage building elevation shall have any single wall length greater than 5.0 m unless it contains distinct architectural elements such as projections, balconies, surface changes, and articulation.

- (b) Windows and balconies shall be placed to allow overlook of streets, lanes, sidewalks, pedestrian passages, parking areas and public open spaces.
- (c) Entrances shall be clearly identified, visible and accessible from the principal frontage streets.
- (d) Areas between a building edge and public sidewalk shall be developed in a manner that provides a visual amenity and pedestrian enhancement.
- (e) More than one type of high quality and innovative building material, such as, but not limited to, brick, stone, concrete and cement stucco shall be used in a variety of combinations for ornamentation and articulation.
- (f) Architectural elements such as gables, cornices, window and door trim and strong eave detailing shall be used to help articulate facades and reduce scale of larger buildings.
- (g) A critical height line shall be defined on the building façade with a projecting horizontal element at a height between 3.6 m and 4.25 m.
- (h) Street frontage elevations of buildings located on corner lots shall have equal quality architectural treatment.
- (i) All street facing elevations shall be parallel to the street except in the case of parcels with street frontage on three sides, only two elevations shall be parallel.
- (j) Lighting shall be used to compliment and draw attention to window displays, signs, store information, and architectural elements on the entire façade.
- (k) Fencing along the street fronts of vacant sites, construction sites, and around garbage compounds shall be constructed of weather proof materials or finishes (no plywood) and should be coordinated with the look and finish of adjoining development.
- (l) Ground-oriented pedestrian scale lighting shall identify pedestrian routes and site entrances to parking lots and buildings.
- (m) The creation of pedestrian spaces, linkages to parking lots and other streets, pocket parks, courtyards, area sidewalks, walkways, and trail networks between buildings shall become part of the normal fabric of Riverside Meadows.

- (n) Street furniture such as benches, poster kiosks, garbage cans, recycle containers, bike racks, planters, etc. shall have a common design and strategically placed to provide the public with ample places to visit and rest. Transit stop furniture shall meet transit design criteria. All street furniture shall be placed in such a manner as to not disrupt pedestrian mobility lanes. Private street furniture shall not be placed on public boulevards.
- (o) Open spaces shall use landscaping and plant materials to soften the harder elements. Buildings, including additions, shall be designed to provide for useable outdoor spaces.
- (p) Elements which are utilitarian in nature such as air conditioning units, electrical equipment, service areas, waste receptacles and the like shall be screened from the public view, while fulfilling CPTED principles.
- (q) Development shall minimize disruption to existing topography and vegetation.
- (r) Landscaped boulevards shall be incorporated into parking lots and between the sidewalk and road right of way.
- (s) In addition to the parking regulations under Section 3.1 and 3.2 the following shall apply to all redevelopment:
 - (i) Subject to review by City Administration and approval by the Development Authority, angle parking shall be permitted on local roads and streets where traffic volumes are less than 3,000 vehicles per day. Angle parking design shall incorporate landscaped boulevards and sidewalks between the vehicle and building elevation to ensure a continuous pedestrian path.
 - (ii) There shall be no front on-site parking for residential developments. Parking shall be provided in the rear of the lot or underground.
 - (iii) Parking access shall be from the lane. Where no lane exists, street access to the rear of the building or parking lot may be permitted if it does not interfere with boulevard trees or other streetscaping. The number of vehicular site entrances should be held to a single driveway per block. Entrances may be combined with other properties.
 - (iv) Defined walkways shall provide clear pedestrian connections between vehicle parking areas and adjacent sidewalks and/or building entrances.

- (v) All off street surface parking areas shall be paved.
- (vi) Parking areas shall be organized into clusters. Fulfilling the principles of CPTED, parking areas shall be visually enhanced and incorporate quality landscaping, elements to define sidewalk edge, promote user safety and ease of pedestrian movement.

(4) Regulations for Residential Redevelopment

- (a) A variety of sizes, styles and types of residences shall be used within the neighbourhood that reflects the vision as outlined in the *Riverside Meadows Area Redevelopment Plan* and appeal to a large demographic.
- (b) Architectural design elements such as building projections, balconies, verandahs, porches, steps, canopies and bay windows shall be incorporated into elevations fronting the street.
- (c) Each main floor dwelling unit fronting a street shall have a private front yard and individual front entry access from the sidewalk.
- (d) The main floor shall not be situated higher than 1.2 m above the grade of the front sidewalk.
- (e) Vertical walls, railings, hedges, gateways or decorative fences in the front yard shall not exceed .9 m in height unless of an open design.
- (f) Residential uses on the ground floor shall be setback a minimum of 4 m from the property line.
- (g) Front drive garages are not permitted. Garages shall be rear attached or detached with access off the lane.
- (h) Large multi-family developments should have underground parking and minimize above grade parking.
- (i) Enhanced landscaped areas with trees and a variety of plantings shall be in the front yard setback area.

(5) Regulations for Commercial Redevelopment

- (a) All redevelopment criteria listed in subsection (i) also apply to commercial redevelopment.

- (b) Building elevations facing a street, including both elevations on corner sites shall be built to the property line unless a setback provides an amenity to the pedestrian environment under Section 7.11(3)(b)(i)(4).
- (c) Side yard setbacks shall be zero unless parcel abuts a residential parcel than minimum 1.5 metre side yard. Rear yard setbacks shall be no less than 1.5 metres.
- (d) The minimum ground floor to ceiling height for commercial use shall be 3.6 m.
- (e) The ground floor of any street facing elevation shall contain a minimum of 50% transparent windows.
- (f) Where a lane exists, access to on-site parking and for loading and delivery zones shall be provided from the lane.
- (g) As a minimum, overhangs and canopies shall be provided at each entrance and should be located along the full elevation. The design shall be compatible with the building's architecture and shall not impact the safety of the sidewalk.
- (h) Service bays, utility entrances, and storage yards shall be located to the side or rear of the building and screened from view.
- (i) Street elevations shall replicate the historic pattern of store front modules of 7.5 to 10 m wide, each containing varied design elements such as entrances, windows, canopies, projections, roof lines and signage.
- (j) Sites located along Gaetz Avenue shall have the following exceptions:
 - (i) New buildings or major additions shall be setback as listed in Section 5.6 (2) (a).
 - (ii) Parking should be in the rear or side yard. Subject to City Administration approval, front parking areas may be considered if an enhanced landscaped buffer of 1.5 m is provided adjacent to Gaetz Avenue.
 - (iii) Access off Gaetz Avenue shall be subject to Engineering Department approval.

- 2 Addition of Part 7, Figure 17 attached hereto and forming part of the bylaw.
- 3 The "Land Use Constraint Map L16" contained in "Schedule A" of the Land Use Bylaw is hereby amended in accordance with the Land Use District Map 9/2007 attached hereto and forming part of the bylaw.

READ A FIRST TIME IN OPEN COUNCIL this day of 2007.

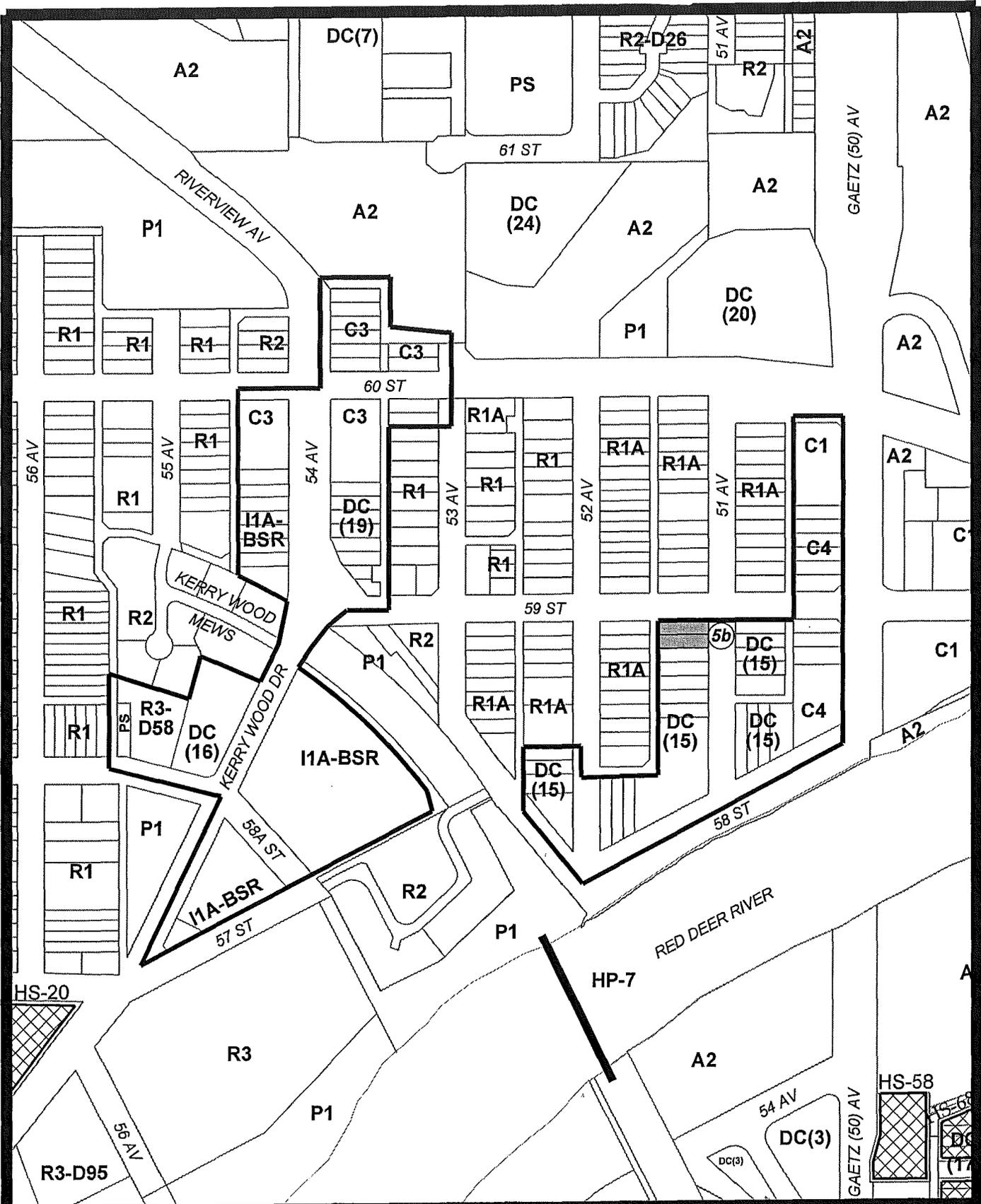
READ A SECOND TIME IN OPEN COUNCIL this day of 2007.

READ A THIRD TIME IN OPEN COUNCIL this day of 2007.

AND SIGNED BY THE MAYOR AND CITY CLERK this day of 2007.

MAYOR

CITY CLERK



NTS

RIVERSIDE MEADOWS OVERLAY DISTRICT

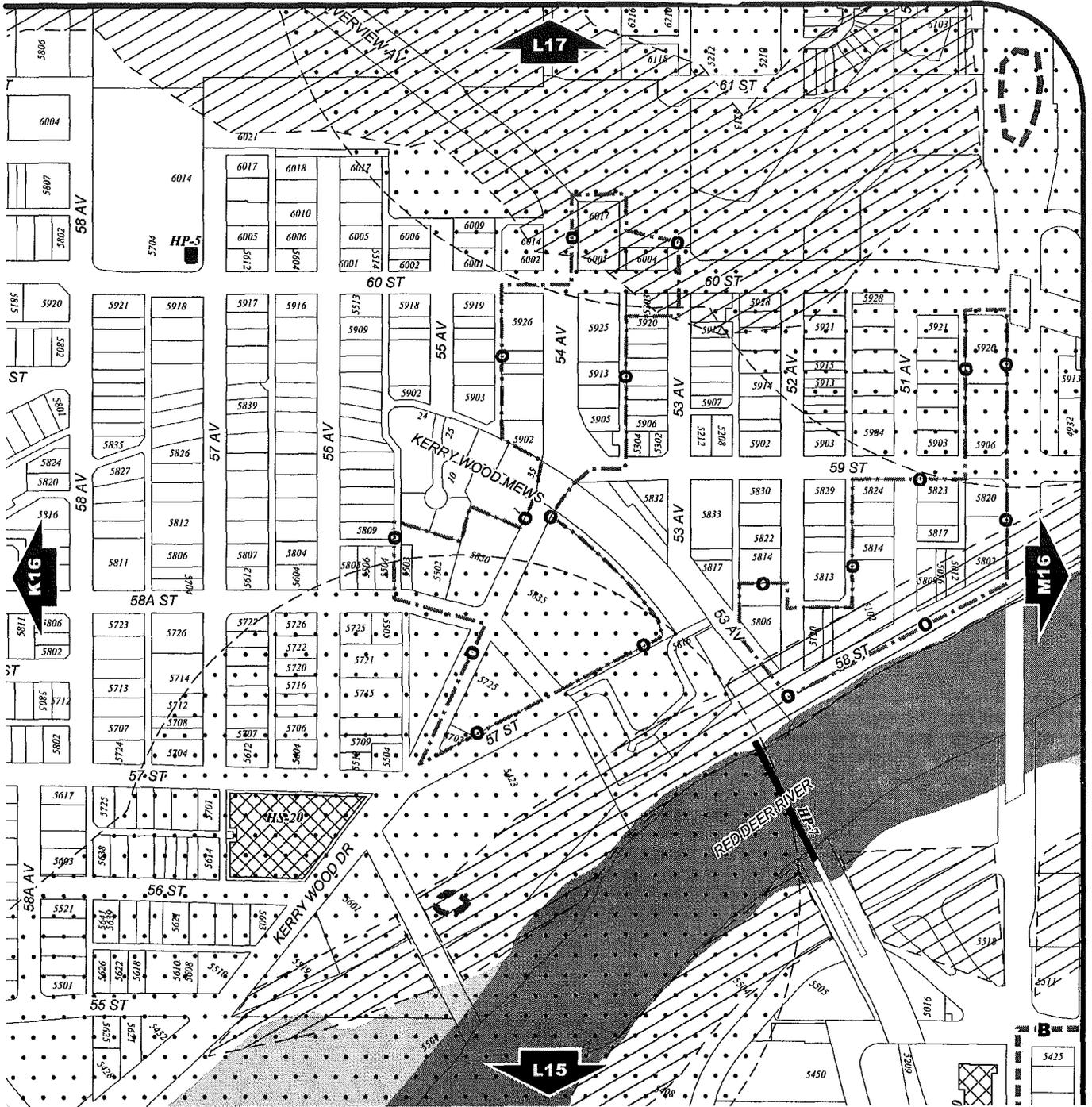
Bylaw No. 3357/M-2007

— Area of Application



Bylaw No. 3357/2006

FIGURE 17



Land Use Bylaw 3357/2006



North

Scale 1:5,000

© The City of Red Deer



- | | | | |
|--|------------------------------|--|--------------------------------|
| | Escarpment Area | | Historical Preservation Sites |
| | Flood Fringe | | Historically Significant Sites |
| | Floodway | | Historical Site Number |
| | Landfill Site (approximate) | | City Boundary |
| | Landfill Setback | | Civic Address |
| | Major Entry Area | | Railway |
| | Overlay District | | Proposed Lots |
| | Gaetz - Ross Heritage Area | | |
| | Business Revitalization Zone | | |

Printed on May 14, 2007

Land Use Constraints

L16

SE¼ Sec20 38-27-W4

CAROLINA HOMES INC.

JOHNSTONE PARK
NEIGHBOURHOOD AREA STRUCTURE PLAN

APRIL 2007 REVISION

SUBMITTED BY:

AL-TERRA ENGINEERING LTD.

INITIALLY SUBMITTED BY:

IBI

GROUP

ARCHITECTS, ENGINEERS, PLANNERS

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Carolina Homes Inc.
Neighbourhood Area Structure Plan
Johnstone Park

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1.0 INTRODUCTION

The accompanying documentation has been provided in support of amending the current Neighbourhood Area Structure Plan (NASP) for the 59.658ha (147.420ac) Johnstone Park area within The City of Red Deer. It should be noted that since this documents' initial submission in 1999, approximately 47.022ha has been developed. The Plan, as presented in this submission, reflects the intentions of both The City of Red Deer Land Use By-law and the revised Northwest Area Structure Plan, comments of City Planning staff, as well as local market conditions.

The plan identifies current and proposed land uses, including area for open spaces and public, social and recreational facilities.

The plan also addresses the servicing concepts for water, sanitary sewers, storm sewers and road infrastructure.

1.1 FORMAT

The report is divided into the following sections:

- 1.0 Introduction
- 2.0 Context
- 3.0 Applicable Plans and Policies
- 4.0 Neighbourhood Area Structure Plan
- 5.0 Servicing

2.0 CONTEXT

2.1 LOCAL SETTING

The 59.658ha (147.420ac) subject site is located in the northwest corner of the City of Red Deer, within the Northwest Area Structure Plan boundary. Legally, the property is located in portions of the SE. 1/4 Sec 31-38-27- W4 and the NE1/4 Sec 30-38-27-W4. It is bounded to the north and west by Johnstone Drive, an arterial road; to the south by an existing industrial development; and to the east by Taylor Drive, a four lane divided major road (see Figure 1).

The lands east of Taylor Drive contain primarily low density residential development, and an industrial oil well servicing company is located to the west of the site on 76 Street. An industrial park is located south of the site, as well as to the west of Johnstone Drive, which is currently known as the Edgar Industrial Park. The area north of Johnstone Drive has been developed as residential housing.

2.2 LAND OWNERSHIP

The remaining undeveloped portions of the site are currently owned by one landowner, namely Carolina Homes Inc. These areas are comprised of Lot 3, Lot 4, Lot 5 Plan 962 4094, the former 76th Street right of way, Plan 4067J, and a remaining 0.299 ha. from previous subdivisions. See Appendix B for the applicable certificates of title.

2.3 SITE DESCRIPTION

Initially, the site was primarily used for agricultural purposes, with the majority of the lands being cultivated. Various stands of trees were interspersed throughout the site, as indicated on Figure 2. The site has since been cleared of much of the original tree stands, with the exception of what was preserved in the Central Park and in the Municipal Reserve off of Jarvis Avenue.

2.3.1. *Environmental Issues*

A portion of the site at the northwest corner of Taylor Drive and the central collector road intersection, now named Jewell Street, was contaminated from a former oilfield tanker cleaning operation. This portion of the land has been the subject of a Class 1 Environmental Assessment prepared by UMA Engineering Ltd. The environmental assessment found that the contaminated site could not be developed for residential use without remedial action. The location of the contamination is illustrated in Figure 3. The implications, and remedial procedures, of the contaminated site will be discussed further in the body of this report (see Section 4.3).

2.3.2. Topography

The property is characterized by a gentle sloping direction from a high point in the north area of the site. The south east portion of the site has the lowest elevations. The maximum grade change is approximately 3.0 metres.

3.0 APPLICABLE PLANS AND POLICIES

3.1 STATUTORY PLANS

There are two major statutory plans which directly affect the subject site, namely; The City of Red Deer Land Use Bylaw 3156/96, and the new northwest Area Structure Plan (ASP) adopted by Council in July 1998, and amended in September 2005.

The City of Red Deer Land Use Bylaw sets out the Land Use designation for the site and the rules for the designated Land Use districts. The Northwest ASP sets out the general planning framework for the site and surrounding areas. It details the physical description, utility services, transportation plans and Land Use options for the subject property.

Provisions in the Northwest Area Structure Plan (Northwest ASP) which are relevant to the Johnstone Park site, are listed as follows:

"4.2 Residential

Residential development in the plan area will be located east of the railway line. Any residential development must be preceded by a Neighbourhood Area Structure Plan in accordance with the City's Planning and Subdivision Guidelines. These guidelines require that residential development should be diversified providing a range of housing types and densities to suit the needs of the community. Specific land uses are determined at the Neighbourhood Area Structure Plan stage. The overall density cannot exceed 45 persons per gross hectare."

“4.3 Industrial

There are two areas where industrial growth will occur. The first area is at the south end of Johnstone Park where there will be a small extension of the Golden West Industrial area. This extension will allow the roads to be looped; the roads currently dead-end at the quarter section line.”

“6. Implementation

The objective of the Northwest Area Structure Plan shall be implemented through the Neighbourhood Area Structure Plans which are developed for the area. Neighbourhood Area Structure Plans are mandatory prior to any residential development within the plan area,' consideration should be given to requiring an area structure plan prior to any industrial development. Any Neighbourhood Area Structure Plan shall be consistent with the Northwest Area Structure Plan.”

Also note paragraph 4.5, of the Northwest ASP, “Schools”, which provides for a public elementary school to be built in the Johnstone Park neighbourhood. This proposed school site has since been removed and the area converted to park.

The initially submitted Plan, and this amendment, responds to each of the above mentioned provisions in that a range of residential housing types are provided with the proposed density being 44.9 persons per hectare. Additionally 9.410ha (23.252ac) of industrial development, including the road, will be provided as in paragraph 4.3 and Map 4 of the Northwest ASP.

3.2 OTHER POLICIES:
SOCIAL CARE SITES

In 1998, the Red Deer Community Services Master Plan was amended for new residential developments to include one 0.12 ha (0.30ac) site for a social care/daycare site.

The Planning and Subdivision Guidelines indicate that a Neighborhood Area Structure Plan for a neighbourhood is required to provide the following:

- one site of 0.12ha (0.30 ac) for the possible development of a private or public day care or social care facility (The Plan, as presented with this submission, contains one such site, located towards the southern portion of the northern sites central collector road);
- one 0.81ha (2.00ac) site suitable for church development (The Plan, as presented with the initial submission, contained one such development located towards the southwest portion of the site towards the Johnstone Drive/central collector road intersection. The church site was advertised and no interested parties came forward. The church site has been redeveloped in the form of an R3 development. See Appendix A for a copy of the advertisement.)

3.3 OTHER POLICIES: MUNICIPAL RESERVE

The Municipal Government Act stipulates that 10% of a residential development site shall be dedicated for Municipal Reserve.

Up to 1.0 ha of land used for a dry pond may be designated Municipal Reserve, provided that the area can be used for park purposes.

4.0 NEIGHBOURHOOD AREA STRUCTURE PLAN

This section of the report will describe the Plan and address the issues set out in section 3.1.1 of the Planning and Subdivision Guidelines.

4.1 LAND USE

Currently, the southern-most 9.410ha (23.252ac), including 1.464 ha of road, of the subject site is designated I-1, Business Service Industrial, the developed portions of the site north of the industrial parcel are designated with various residential and park land uses (detailed further in this document), and the remaining undeveloped portion is presently designated A-1, Future Urban Development.

The Plan, as presented with this submission, proposes to develop the remaining portions of the site as single family detached residential (R1), single family semi-detached (R1A), multi-family residential (R2) and public utility areas.

These proposed Land Uses are summarized in the following section and illustrated on Figure 4.

4.1.1. Residential

The plan currently shows a mix of residential housing districts in the form of R-1, R1N, R-2, and R-3 designations. It also proposes to develop the remainder as R1, R1-A, and R2 designations.

▪ **R1 Residential (Low Density) District**

A portion of the northern area of the site takes the form of the R-1 (Low Density) District. Development in this district will be in the form of detached single family dwellings. Rear servicing will be provided for all lots.

In total, the site currently contains 98 R-1 Residential (Low Density) lots, and approximately 87 proposed lots, with a minimum frontage of 12.0m/lot (the total of 185 lots is within the maximum 262 lots allowable based upon 12.0m/lot minimum frontage as established in the Red Deer Land Use By-law No. 3156/96). Assuming 3.24 persons per household, approximately 599 people will occupy the R-1 component of the development.

▪ **R1-N Residential (Narrow Lot) District**

R1-N residential development is currently located within the southern portion of the site. No additional R1-N development is proposed for the northeast portion of the site. Development in this district will take the form of detached single family dwellings. Rear servicing will be provided for all lots.

The site currently contains approximately 130 R1-N Residential (Narrow Lot Detached Dwelling) with a minimum frontage of 10.40m per lot. Assuming 3.0 persons per household, 390 people will occupy the R1-N component of the development.

▪ **R1-A Residential Semi Detached District**

There will be an R1-A Semi Detached Duplex area in the form of three cul-de-sacs in the southern central part of the development. An additional R1-A site will be located in the north area. This strip of houses will act as a buffer between the R2 site and the R1 housing.

The south area will contain 42 units and the north area will contain 26 units, for a total of 68 units with a minimum frontage of 7.6m per lot (each side of semi-detached). Assuming 3.0 persons per household, 204 people will occupy these R1-A zones of the subdivision.

▪ **R2 Residential (Medium Density) District**

An R2 medium density residential site is currently located towards the south eastern portion of the site. This developed site is restricted to an adult community.

The 'adult village' site contains 77 R-2 Medium Density residential units in the form of duplexes and 96 similarly designated units in the form of fourplexes. Assuming 2.0 persons per household (an accurate ratio based on the retirement age demographic group occupying this R-2 development), 346 people will occupy this R-2 component of the overall development. (Because this will be a 'village' site, marketed to senior

citizens, an exception to the typical R-2 density is requested from 3.24 persons/unit to 2.0 persons/unit).

An additional R2 site is proposed for the north end of the site. This site contains 2.55ha (6.30 acres). This site will contain a combination of 2-storey 8-Plex and 12-Plex products. Based on preliminary layouts a total of 148 units are proposed. This will lead to a density of 59 units/ha. Based on 3.0 persons per household for this type of housing we project 444 occupants. The development of the R2 site will provide a buffer between the very busy intersection of the major roadways and the remainder of the subdivision. Access to the proposed site will be limited to the main entrance road (near Johnstone Drive, as shown on Figure 4). An emergency access will be provided onto the lane on the south side of the R2 site. The emergency access will not be used for daily traffic in and out of the R2 site. The proposed development is as far away from the existing R1 and R1-N housing and will not significantly impact traffic flows within the subdivision.

▪ **R3 Residential (Multiple Family) District**

A parcel along the south western portion of the site contains an R-3 Residential (Multiple Family) District, restricted to a density of 55 units per hectare (D55).

Development in this area takes the form of townhouses and a 52 unit apartment building, providing suitable housing alternatives for low to medium income groups. The 52 unit apartment building occupies the previously proposed church site.

In total, the site will contain approximately 55 R3 Residential (Multiple Family) units. Assuming 2.46 persons per townhouse household and 1.6 persons per apartment household, 218 people will occupy the R-3 component of the development.

4.1.2. Residential Density

The mix of housing types and densities is consistent with the City's planning policies for new communities. The overall density for the Johnstone Park Neighbourhood Area Structure Plan Area is expected to work out to approximately 45 people per hectare. The projected population is conservative based on the projected density for each type of housing. Due to the difficulty in projecting population, the current subdivision development guideline uses a unit density calculation. The guideline states that unit densities must be between 12.35 and 17.3 units per hectare. The proposed density in Johnstone Park will be 16.3 units per hectare.

Table 1 illustrates that 60.6 per cent of the site is for residential uses, 16.05 per cent for parks and open space, 2.38 per cent for the southeast detention pond, 19.88 per cent for streets and lanes and the balance for other neighbourhood uses, such as commercial and day-care facilities.

Table 1. Neighbourhood Area Structure Plan Statistics

Land Use	Hectares (+/-)	Acres (+/-)	Percentage
Residential - Single Family Detached Dwellings (R1)	8.235	20.348	16.49
Residential Semi-Detached (R1-A)	2.528	6.246	5.06
Residential - Single Family Narrow Dwellings (R1-N)	6.043	14.932	12.10
Residential – Multi-Family 8-Plex & 12-Plex (R2)	2.550	6.301	5.11
Residential Duplex/Fourplex Dwellings (R2)	8.869	21.915	17.76
Residential Multi-Family (R3-D55)	2.028	5.011	4.06
Commercial	0.244	0.603	0.49
Day Care Site	0.091	0.225	0.18
Church Site (1)	0.000	0.000	0.00
Central Park Site/Storm Pond	4.998	12.350	10.00
Local Parks and Walkways	2.219	5.482	4.44
South East Detention Pond	1.186	2.931	2.38
P.U.L. Lots (incl. road widening)	1.016	2.511	2.03
Streets and Lanes	9.928	24.533	19.88
TOTAL DEVELOPABLE AREA	49.934	123.389	100.00
Industrial (I1)	7.946	19.635	
Road (Industrial)	1.464	3.617	
P.U.L. (Industrial)	0.314	0.776	
Total Area of Original ¼ Sections	59.658	147.420	

1. Church Site was previously advertised and no interested parties came forward.

Table 2. Density Statistics

Residential Designation	Dwelling Units	# of Persons
Residential - Single Family Detached Dwellings (R1)	185	599
Residential Semi-Detached (R1-A)	68	204
Residential - Single Family Narrow Dwellings (R1-N)	130	390
Residential Duplex/Four-Plex Dwellings (R2) (Seniors)	173	346
Residential – Multi-Family 8-Plex & 12-Plex (R2)	148	444
Residential-Multi-Family (R3 Apartment Building)	52	83
Residential-Multi-Family (R3-D55)	58	174
TOTAL	814	2240
TOTAL DEVELOPABLE AREA	49.934	49.934
TOTAL DENSITY (per ha)	16.30	44.80

(The alternative Land Use scenario for the church has been used, bringing the overall site density nearer to the maximum 45 people per hectare, as allowed for in the initial submission of this Neighbourhood Area Structure Plan.)

4.1.3. Industrial Uses

▪ **I-1 Industrial (Business Service) District**

A 9.410ha (23.252ac) I1 Industrial development is located at the southernmost portion of the subject site (see Figure 4). This area includes 1.7946 ha (3.617ac) for road.

A 0.314ha (0.776ac) linear P1 area, previously located south of the industrial parcel, has been consolidated with the industrial parcel, re-designated I1, and swapped with another parcel of the same size located northeast adjacent to Taylor Drive and bordering the east boundary of the industrial site.

A 20m wide bermed buffer Park is strategically located along the entire northern boundary of the industrial development to screen it from the residential uses to the north (see Section 4.1.7).

4.1.4. Institutional Uses

- **Church Site**

A 0.81ha (2.00 ac) parcel was initially set aside for a church site at the Johnstone Drive/central collector road intersection. This site was provided in accordance to the Red Deer Community Services Master Plan (The alternative use for this site would take the form of an R-3 Multiple Family development).

4.1.5. Day or Social Care

A site, located off the central collector road, has been set aside for a day care social care facility (see Figure 4). The site is approximately 0.091ha (0.225ac) in size. The site is currently developed as a day care institution.

As previously mentioned, the existing Red Deer Community Services Master Plan recommends the provision of a day care and social care facility on the site, however, discussions with Parkland Community Planning Services indicate the new policies will require only one 0.12ha (0.30ac) day care social care site.

4.1.6. Commercial

- **C3**

One commercial site is proposed for the plan area, at the northwest intersection of 75 Street and Taylor Drive. The 0.244ha (0.603ac) site will contain a small scale commercial building to service residents of the Johnstone Park area (the maximum permitted size is 0.25 ha (0.62ha). It should be noted that this commercial site will be self contained with its own loading/servicing area, apart from the adjacent residential rear lane (see Figure 6).

4.1.7. *Parks and Open Space*

▪ **P1 Parks and Recreation District**

There are several Parks and pathway systems, both existing and proposed, for Johnstone Park. They are summarized as follows (a table outlining the overall MR dedication within the Johnstone Park development is located in section 4.1.8):

- A 0.184ha (0.455ac) Park on the northwest edge of the site adjacent to Johnstone Drive (see 'Park A', Figure 5). This Park is intended to connect the residential development with the proposed Johnstone Drive
- A 0.537ha (1.327ac) linear park located within the Johnstone Park future road widening right-of-way, along the west side of the site. This 15m wide linear berm will serve as a buffer between Johnstone Drive and the public and residential uses located immediately east. -

A 0.479ha (1.184ac) linear park located along Johnstone Drive and west of the R3 site, within the Johnstone Park future road widening right-of-way, serves as a continuation of the previously discussed linear berm to the north. It too is 15m wide and will serve as a buffer between Johnstone Drive and the residential development to the east.

- A 0.337ha (0.833ac) Park located towards the centre of the northern residential component of the Plan (see 'Park B', Figure 5). This 'central park' is intended to be a passive recreation area with natural vegetation and a meandering pathway system.
- A 20m buffer strip between the industrial and residential areas in the south part of the plan, (see 'Park C', Figure 5) will be bermed and landscaped, and will incorporate a 1.5m meandering regional walking/cycling path. The berm will be 2.85m in height based on a 3.5: 1 slope and will be 1.161ha (2.869ac) in size. The berm will be landscaped and act as a connection between the existing pathway system in Glendale and the existing walkway along Johnstone Drive.

- A 0.314ha (0.776ac) park located in the extreme southeast corner of the subject site will be bermed and landscaped (see 'Park D', Figure 5). This site was part of a land swap involving a previous 0.314ha (0.78ac) strip of reserve land to the immediate south (see Section 4.1.3).

It is worth mentioning that all Park locations will take advantage of existing trees and vegetation where possible. This is consistent with the goals of the Ecological Profile (discussed in Section 4.2). Additionally, all trails will be 1.5m wide and constructed to city standards, with the exception of the trail along Johnstone Drive which is 3.0 metres wide.

4.1.8. Public Service

- **PS - Public Service District**

Two Public Service areas are located on the subject site. The first, a 1.500ha (3.710ac) area located within the central park site, contains a storm pond/recreation area. The second, a 1.186ha (2.931ac) site located towards the south east boundary, also contains a storm pond.

- **PS - (MSR)- School) Site**

A 3.498ha (8.640ac) Public Elementary School site was initially provided for on the east side of Johnstone Drive and the north side of the primary collector road which runs in an east-west direction through the site. The school site has been converted to a central park site.

Table 3. Municipal Reserve Dedication Statistics

Municipal Reserve	Hectares	Acres
Park 'A'	0.184	0.455
Park 'B'	0.337	0.833
20m Buffer	1.161	2.869
Buffer along north side of R2 site	0.095	0.237
Central Park Site (with storm pond)	4.998	12.350
TOTAL MUNICIPAL RESERVE	6.775	16.741
TOTAL DEVELOPABLE AREA	49.934	123.385
PERCENTAGE	13.57	

Table 3 shows that the total municipal reserve dedication is 13.57 per cent. As previously mentioned, this NASP must supply 10 percent of the developable land for municipal reserve. Therefore, the above mentioned statistics result in an over-dedication of 3.57 per cent.

4.2 ECOLOGICAL PROFILE

The natural landscape of the site is described in the Johnstone Park Ecological Profile, prepared by the City of Red Deer in 1996. The plan has been prepared using the recommendations in the Ecological Profile as a framework for the site layout. The Plan's response to the various recommendations is described as follows (it may be helpful to refer to Figure 2 in this document, Figure 1 in the Ecological Profile of the Johnstone Park Natural Area as prepared by the City of Red Deer Recreation, Parks and Culture Department when reading this section):

- **Recommendation #1:**

'A bike path should be constructed along the buffer from 64th Avenue to the Zone 5 treed area consideration should be given to extending the bike path further west to the Edgar Athletic park.'

Provision:

A 20m landscaped buffer strip, will contain a 1.5m regional walking and/or cycling path. The path extends to the western boundary of the site.

- **Recommendation #2:**

'The northernmost social care facility should be relocated to within the Zone 9 vegetation area... '

Provision:

The recommendation is no longer applicable as the Neighbourhood Area Structure Plan has since changed. However, the Plan, as presented in this submission, attempts to maintain as much of the present homestead vegetation as possible through the placement of a public park (see 'Park B', Figure5).

- **Recommendation #3**

'Zone 4 treed area should be fully preserved and integrated into the school/recreation site.'

Provision:

Much of the Zone 4 treed area will be maintained. (See Figure 4).

- **Recommendation #4**

'A small constructed/natural park for passive recreation should be built to displace some of the unpleasant appearing poplars found in the southwest end of Zone 2...'

Provision:

As the majority of Zone 2 vegetation has been removed to construct Taylor Drive and the few remaining trees will be those located in the southwest end of Zone 2 (i.e. the 'unpleasant appearing poplars'), it has been decided that this zone is not salvageable.

- **Recommendation #5**

'.... perceivable habitat area found in Zone 3. Part of this habitat could be developed into a passive park.'

Provision:

A public park has been created which maintains as many of the aspens and balsam poplars as possible (see 'Park B', Figure 5).

- **Recommendation #8:**

'A large part of Zone 1 should be preserved as a natural sound and visual barrier from 64th Avenue noise.'

Provision:

Much of Zone 1 will not be preserved. The R-2 development will be constructed to include visual and sound attenuation along Taylor Drive.

4.3 ENVIRONMENTAL CONCERNS

A portion of the Johnstone Park subdivision was contaminated with

hydrocarbons from a former tanker washing operation. The location of the site is indicated on Figure 3.

The contaminated site required remediation before development could occur on it. A range of techniques was researched to determine the most appropriate for the proposed future land use. The remediation procedure is described in the letter from Parkland Geotechnical Consulting Ltd., a copy of which is in Appendix A. The approval of the site for development is noted in this letter.

A 20m setback for residential development (with the exception of the collector road) from the contaminated area is required by the City of Red Deer. Prior to the remediation being undertaken the setback will be adhered to. Once Alberta Environment issues a reclamation certificate, development may proceed within the setback area.

4.4 TRANSPORTATION

The location of residential collector and local roads and lanes are indicated on Figure 1. Lanes will be constructed in a segmented fashion and no continuous curves will be used. An amendment to the Northwest ASP to allow for an altered collector road pattern was submitted with the initial submission of this NASP.

4.4.1. *Internal Road Network*

A primary, central collector road has been provided for linkage to both Johnstone Drive and Taylor Drive. Figure 6A illustrates the dimensions of this road.

A second access to Johnstone Drive will be provided at the north end of the subdivision. This access will convey traffic to the series of cul-de-sacs proposed for the northern low-density, single family residences.

Access to the adult community (R2 site) is restricted to one location off the primary collector road.

4.4.2. *Pedestrian Linkage*

The pedestrian access issue has been addressed in this NASP, in that a 3.00m separate asphalt sidewalk conducts pedestrian traffic north and south along Johnstone Drive. This linkage is continued internally along the central collector road by means of a 1.50m sidewalk.

A pedestrian link by means of a path system along the 20.0m berm separating the industrial portion from the residential components, is proposed to allow pedestrian traffic to continue from Johnstone Drive to Taylor Drive.

An open trail system is provided for through the central park, which will connect the pedestrian traffic from the north residential portion of the site.

All pedestrian linkages are detailed on Figure 4.

4.5 PHASING

Orderly phased developments will be accommodated on the site assuming that the provision of off-site infrastructure has been coordinated. Typical City of Red Deer urban standards are perceived to be the preferred servicing and infrastructure option (see Figure 7 for proposed phasing).

5.0 SERVICING

The Neighbourhood Area Structure Plan area will be partially serviced by existing infrastructure in Taylor Drive along the east boundary and in Johnstone Drive along the north and west boundaries. Adequate storm sewer capacity and sanitary sewer capacity are available for all portions of the site. Water distribution mains are available to supply required potable water for residential mixed-use and industrial development. Shallow utility infrastructure is located adjacent to the site and is available for further expansion.

5.1 WATER DISTRIBUTION

The water distribution system is a direct extension of the existing water main distribution system from the subdivision to the east.

A 400mm feeder main runs through the center of the site from the east subdivision and connects up to the same size water main running parallel with Johnstone Drive on the west side of the subdivision. This feeder is identified on Figure 8.

Various water networks to the north and to the south on-site branch off this 400mm feeder main, to provide a water distribution system to the existing and proposed neighbourhoods.

The south system is looped to existing water lines at the south east and south west corners of the site. The north system will be looped to an existing stub at the north portion of Johnstone Drive.

5.2 SANITARY SEWERS

The sanitary sewers network is split into two sewer systems. The north system, as indicated on Figure 9 by the hatched portion of the subdivision, is a direct extension to the now existing sanitary sewer system in Johnstone Crossing, a subdivision to the north of this site.

This northern sanitary sewer network is a gravity draining system, using 200mm mains.

The south system connects to the existing sanitary system running along Johnstone Drive to the west of the site. This south sanitary system is comprised of 200mm pipe, with the exception of the 250mm pipe that crosses the central collector road, travels in the lane directly adjacent to this road and finally connects up to the existing 300mm trunk main on the west side of Johnstone Drive. This network is illustrated on Figure 9.

5.3 STORM WATER MANAGEMENT

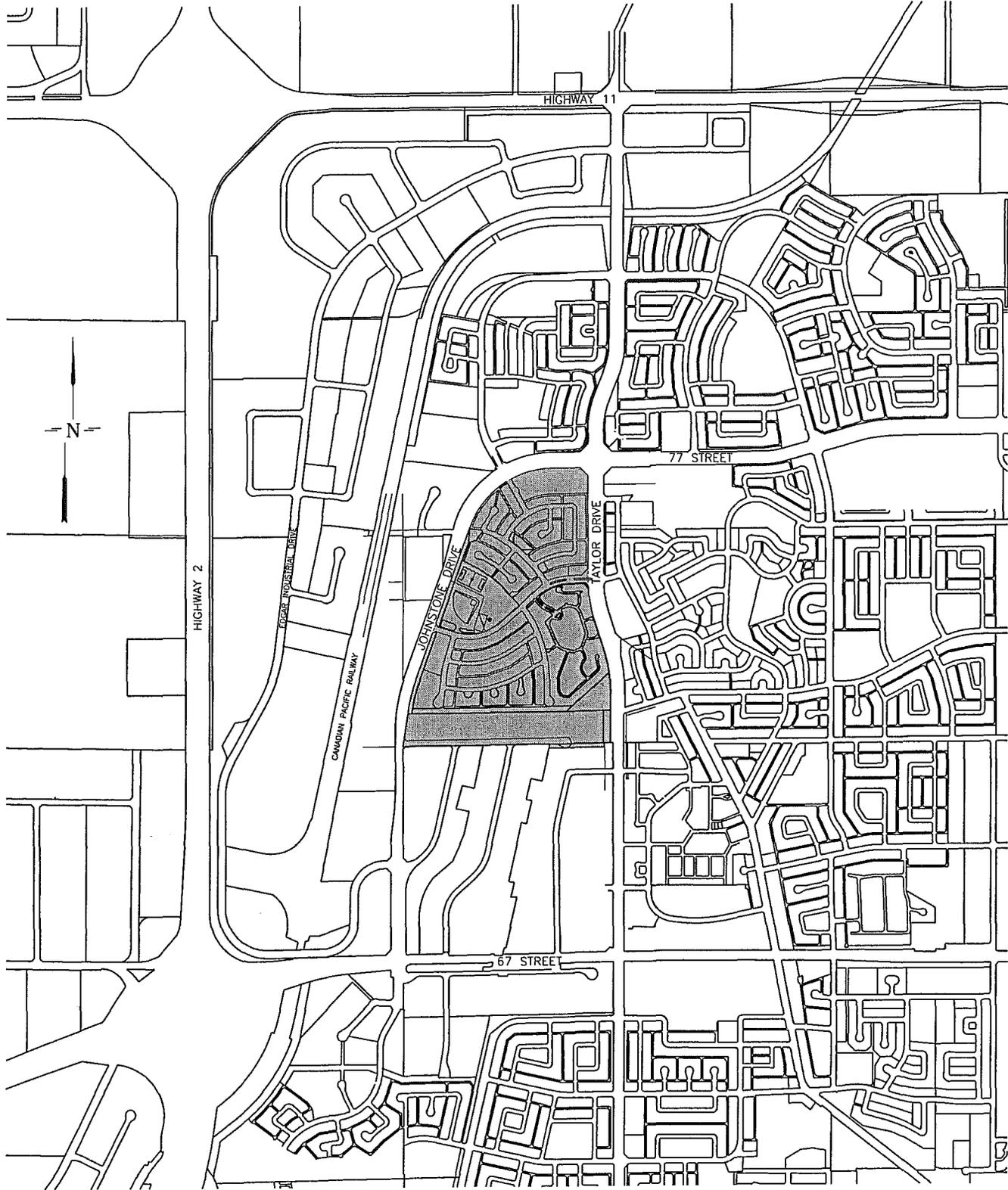
The subdivision is to be serviced by two storm water management facilities; one located in the central park and the other in the south east corner of the subdivision.

The majority of the subdivision will be serviced by the central storm pond, both by means of storm sewers and overland drainage. Figure 10 and Figure 11 illustrate how the subdivision is split into north and south drainage patterns. The north portion, which will not use the storm pond facilities, will connect to the existing extension of the storm sewer at the north end of Johnstone Drive. This extension has been sized for the 1:100 year event, and therefore, the north portion of this site has no need for a storm pond facility. Detention for this area is provided off-site.

The south east storm pond facility accepts some runoff from the R2 site; however the majority of use by this facility comes from the existing Industrial Park to the south.

All run-off ultimately drains to the Red Deer River.

CAROLINA HOMES INC. NEIGHBOURHOOD AREA STRUCTURE PLAN



DATE DRAWN: FEBRUARY 22, 2006
DATE REVISED: April 26, 2007
DRAWN BY: BLZ
SCALE: 1:20,000
LOCATION: \PROJS\Johnstone Park\NASP\
April Revisions\FIGURE 1 - LOCATION.dwg

**FIGURE 1
LOCATION**

CAROLINA HOMES INC. NEIGHBOURHOOD AREA STRUCTURE PLAN

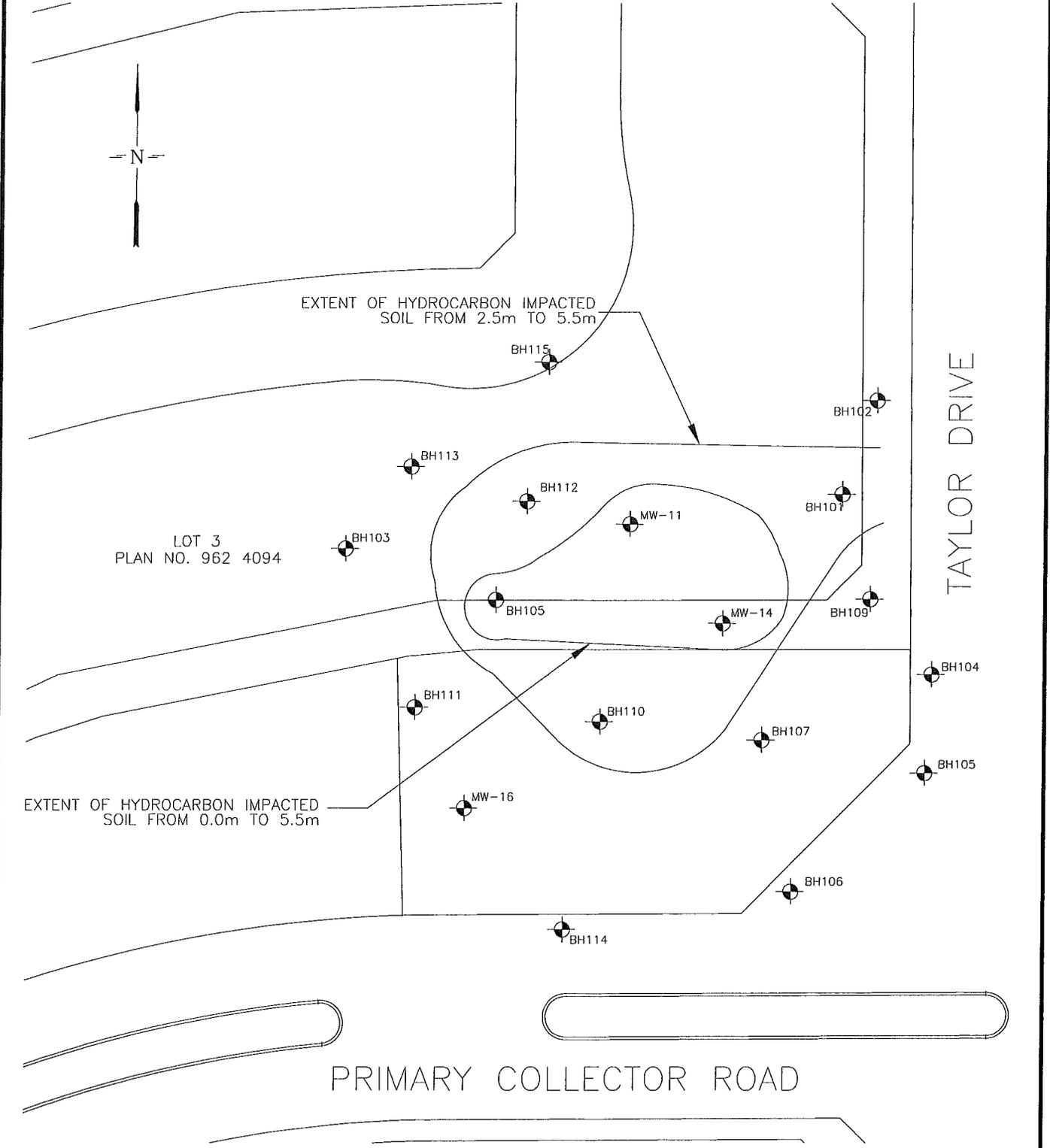


DATE DRAWN: FEBRUARY 22, 2006
 DRAWN BY: BLZ
 SCALE: 1:5000
 LOCATION: \PROJS\Johnstone Park\NASP\
 FIGURE 2 - SITE FEATURES.dwg

LEGEND:
 - - - - - OUTLINE BOUNDARY
 ~~~~~ ORIGINAL GROUND CONTOURS  
 ~~~~~ ORIGINAL TREELINE  
 [ZONE 1] ECOSPACE AREAS

**FIGURE 2
 SITE FEATURES**

CAROLINA HOMES INC. NEIGHBOURHOOD AREA STRUCTURE PLAN



DATE DRAWN: FEBRUARY 22, 2006
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FIGURE 3 - ENVIRONMENTAL CONTAMINATION.dwg

**FIGURE 3
EXTENT OF
ENVIRONMENTAL
CONTAMINATION**

CAROLINA HOMES INC. NEIGHBOURHOOD AREA STRUCTURE PLAN

Bylaw No. 3239/B-2000

Identification of potential lots for 2 storey dwellings with walkouts.

EDGAR INDUSTRIAL PARK

75 ST

JOHNSTONE DRIVE

JACOBS CLOSE

JAMES STREET

JOHNS STREET

GOLDEN WEST INDUSTRIAL AREA

JEWELL STREET

JOCE CLOSE

JACKSON CLOSE

JARVIS STREET

JONES CRESCENT

TAYLOR DRIVE

TAYLOR DRIVE

LEGEND:

| | | | | | |
|---|--|------------------------------|--|---|--|
| SINGLE FAMILY DETACHED RESIDENTIAL (R1) | | INDUSTRIAL (I-1) | | OUTLINE BOUNDRY | |
| RESIDENTIAL NARROW LOT DISTRICT (R1-N) | | PUBLIC UTILITY LOTS (P.U.L.) | | PEDESTRIAN WALKWAYS AND BIKEPATHS | |
| RESIDENTIAL SEMI DETACHED DISTRICT (R1-A) | | STORM POND SITE (PS) | | 2 STOREY DWELLINGS WITH WALKOUT BASEMENTS | |
| MEDIUM DENSITY RESIDENTIAL (R2) | | COMMERCIAL SITE | | TREELINE TO BE RETAINED | |
| MULTI-FAMILY RESIDENTIAL (R3 & R3-D55) | | DAYCARE | | | |
| WALKWAYS & LOCAL PARKS (P1) | | ROADS AND LANES | | | |

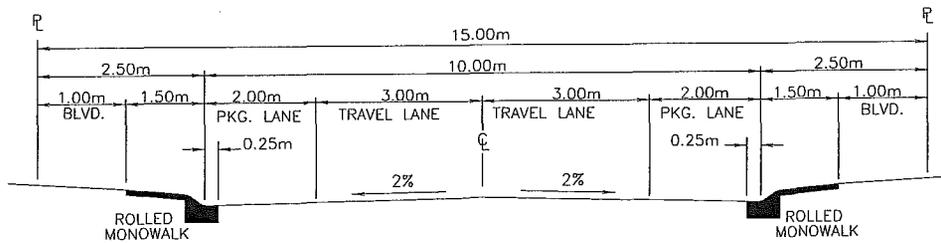
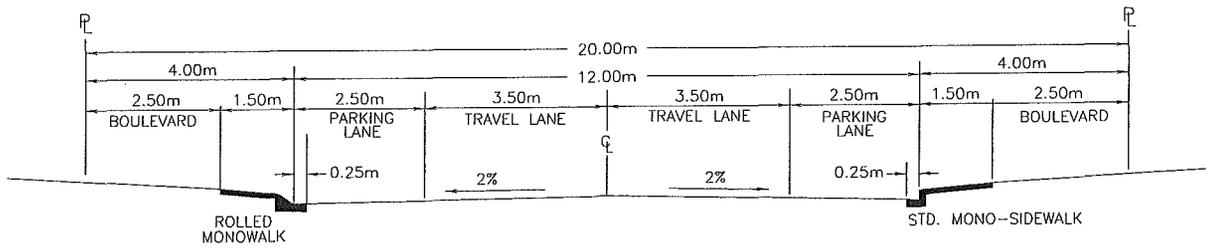
FIGURE 4
DATE DRAWN: JULY 19, 2006
DRAWN BY: BLZ SCALE: 1:5000

REVISED: MAY 8, 2007

AL-TERRA
ENGINEERING LTD.

EDMONTON REG. DEER

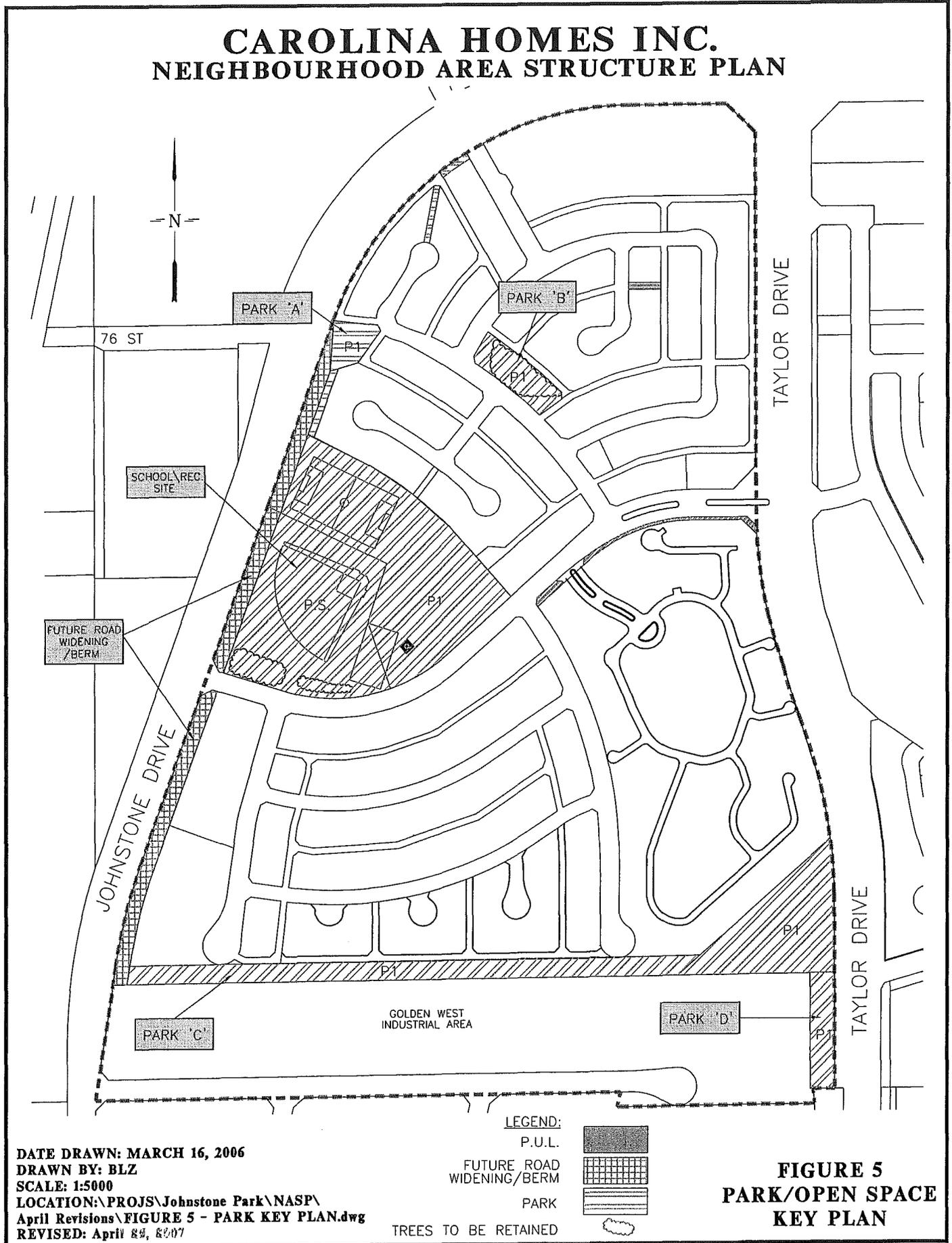
CAROLINA HOMES INC. NEIGHBOURHOOD AREA STRUCTURE PLAN



DATE DRAWN: FEBRUARY 23, 2006
 DRAWN BY: BLZ
 SCALE: N.T.S.
 LOCATION: \PROJS\Johnstone Park\NASP\
 FIGURE 4A - ROAD DETAILS.dwg

FIGURE 4A
RESIDENTIAL UNDIVIDED COLLECTOR
AND LOCAL ROADWAY DETAILS

CAROLINA HOMES INC. NEIGHBOURHOOD AREA STRUCTURE PLAN

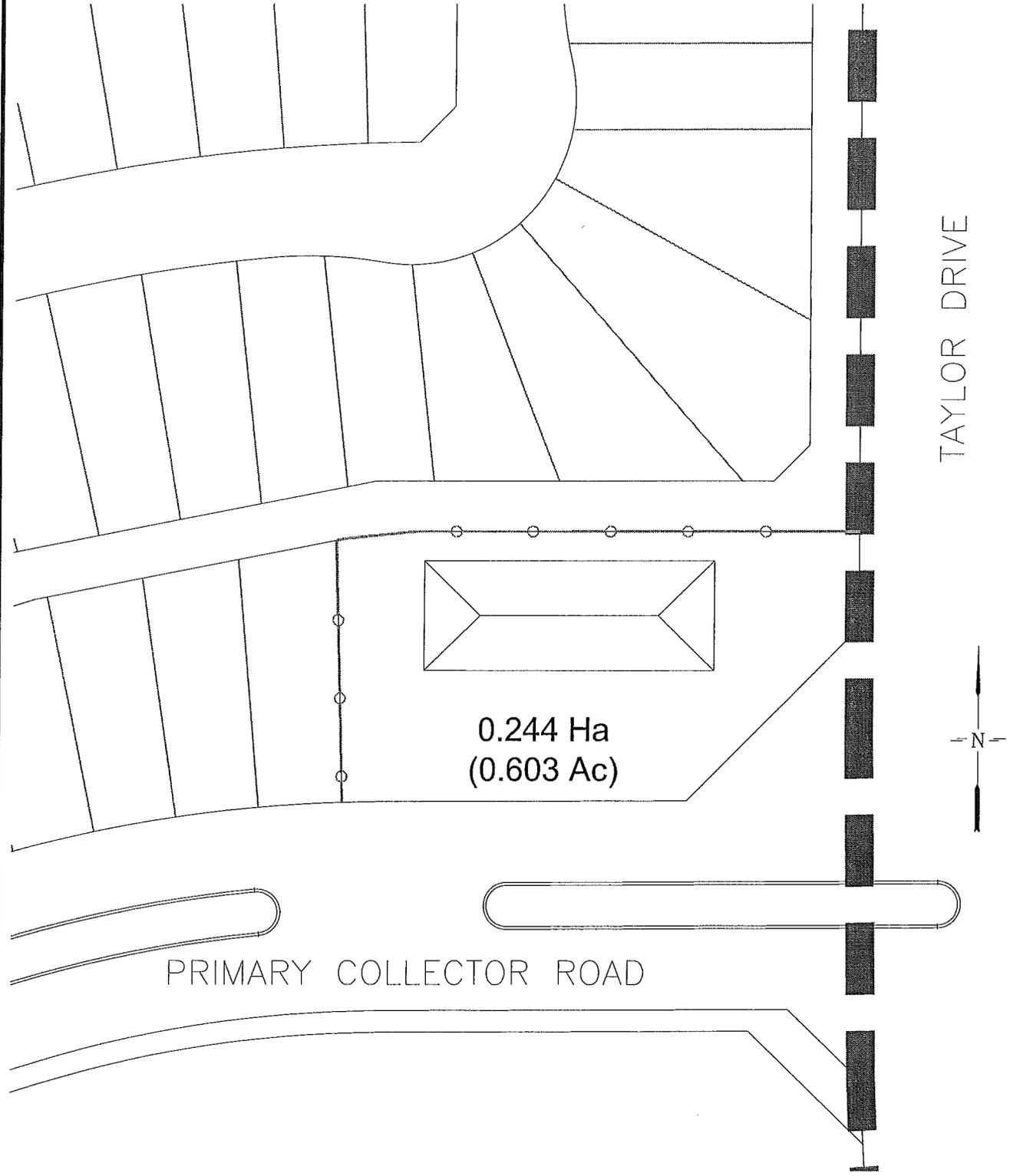


DATE DRAWN: MARCH 16, 2006
 DRAWN BY: BLZ
 SCALE: 1:5000
 LOCATION: \PROJS\Johnstone Park\NASP\
 April Revisions\FIGURE 5 - PARK KEY PLAN.dwg
 REVISED: April 29, 2007

LEGEND:
 P.U.L. [Symbol]
 FUTURE ROAD WIDENING / BERM [Symbol]
 PARK [Symbol]
 TREES TO BE RETAINED [Symbol]

**FIGURE 5
 PARK/OPEN SPACE
 KEY PLAN**

CAROLINA HOMES INC. NEIGHBOURHOOD AREA STRUCTURE PLAN

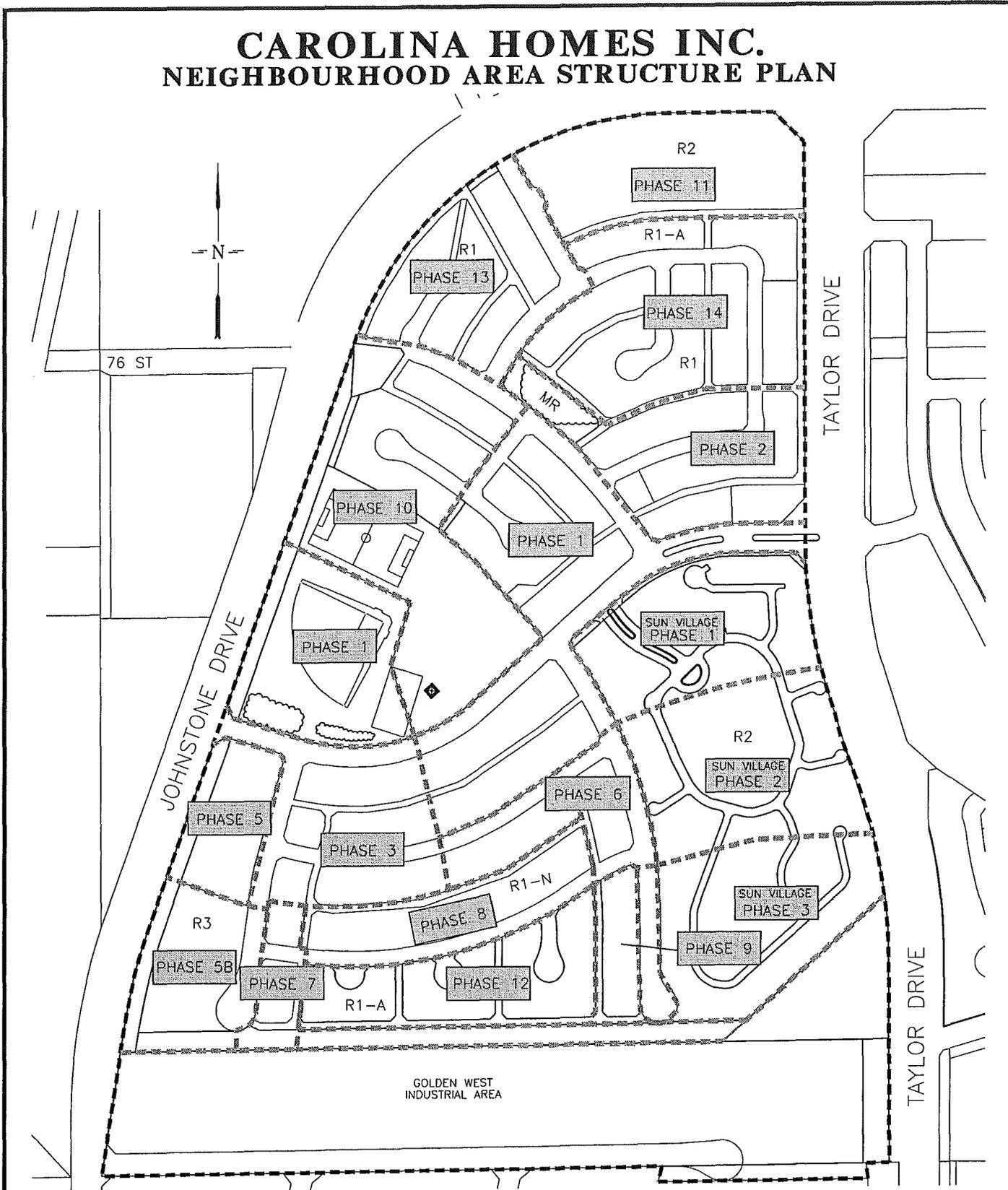


LEGEND:
——— OUTLINE BOUNDARY
——— WOOD FENCE

DATE DRAWN: FEBRUARY 22, 2006
DRAWN BY: BLZ
SCALE: 1:750
LOCATION: \PROJS\Johnstone Park\NASP\
FIGURE 6 - CONCEPTUAL COMMERCIAL LAYOUT.dwg

**FIGURE 6
CONCEPTUAL
COMMERCIAL LAYOUT**

CAROLINA HOMES INC. NEIGHBOURHOOD AREA STRUCTURE PLAN



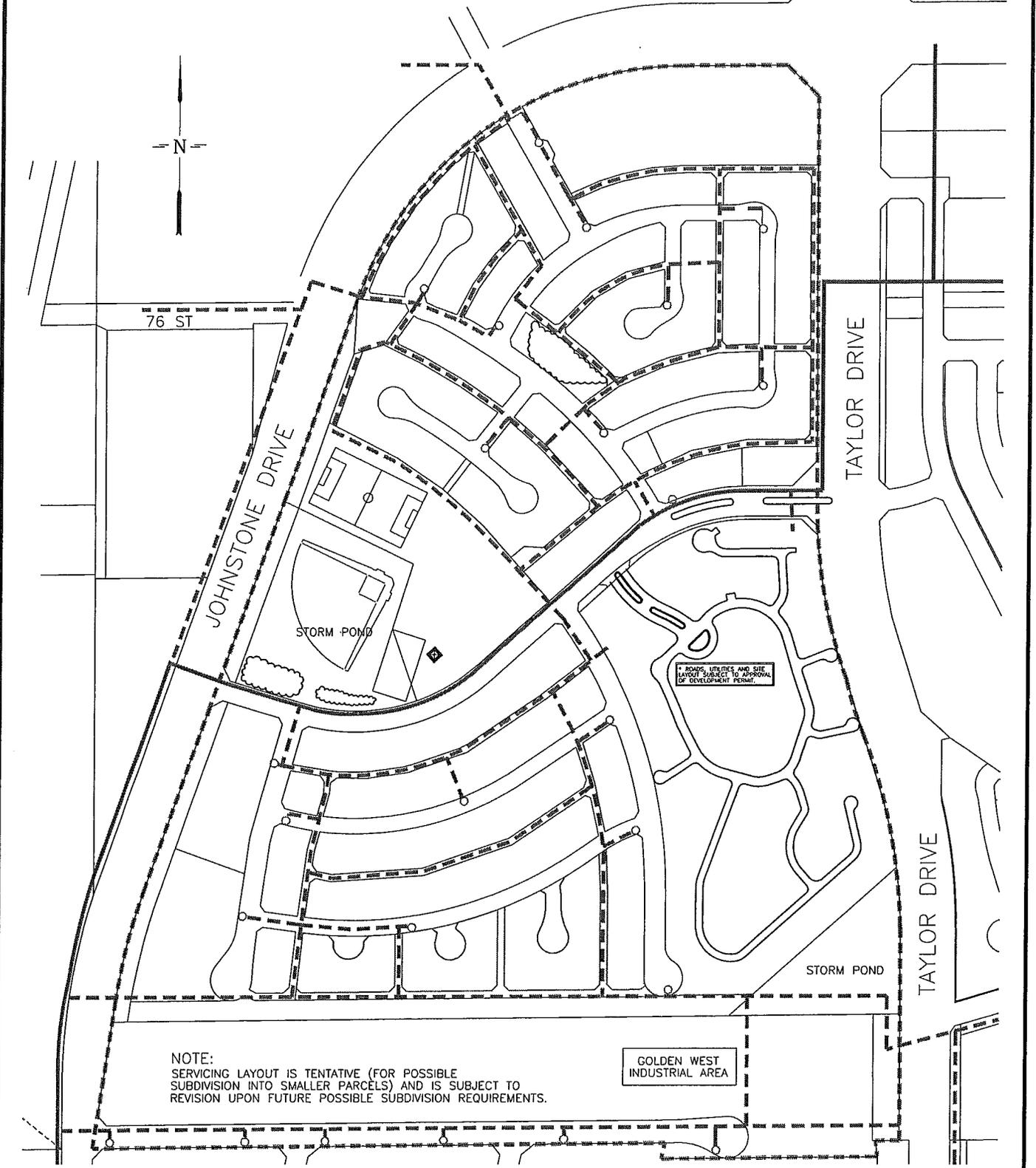
LEGEND:
 - - - - - OUTLINE BOUNDARY
 - - - - - PHASE BOUNDARY

NOTE: PHASE 4 IS NOT APPLICABLE.

DATE DRAWN: FEBRUARY 22, 2006
 DRAWN BY: BLZ
 SCALE: 1:5000
 LOCATION: PROJ\JOHNSTONE PARK\NASP\N
 April Revisions\FIGURE 7 - PHASING CONCEPT.dwg
 REVISED: April 26, 2007

**FIGURE 7
 PHASING CONCEPT**

CAROLINA HOMES INC. NEIGHBOURHOOD AREA STRUCTURE PLAN

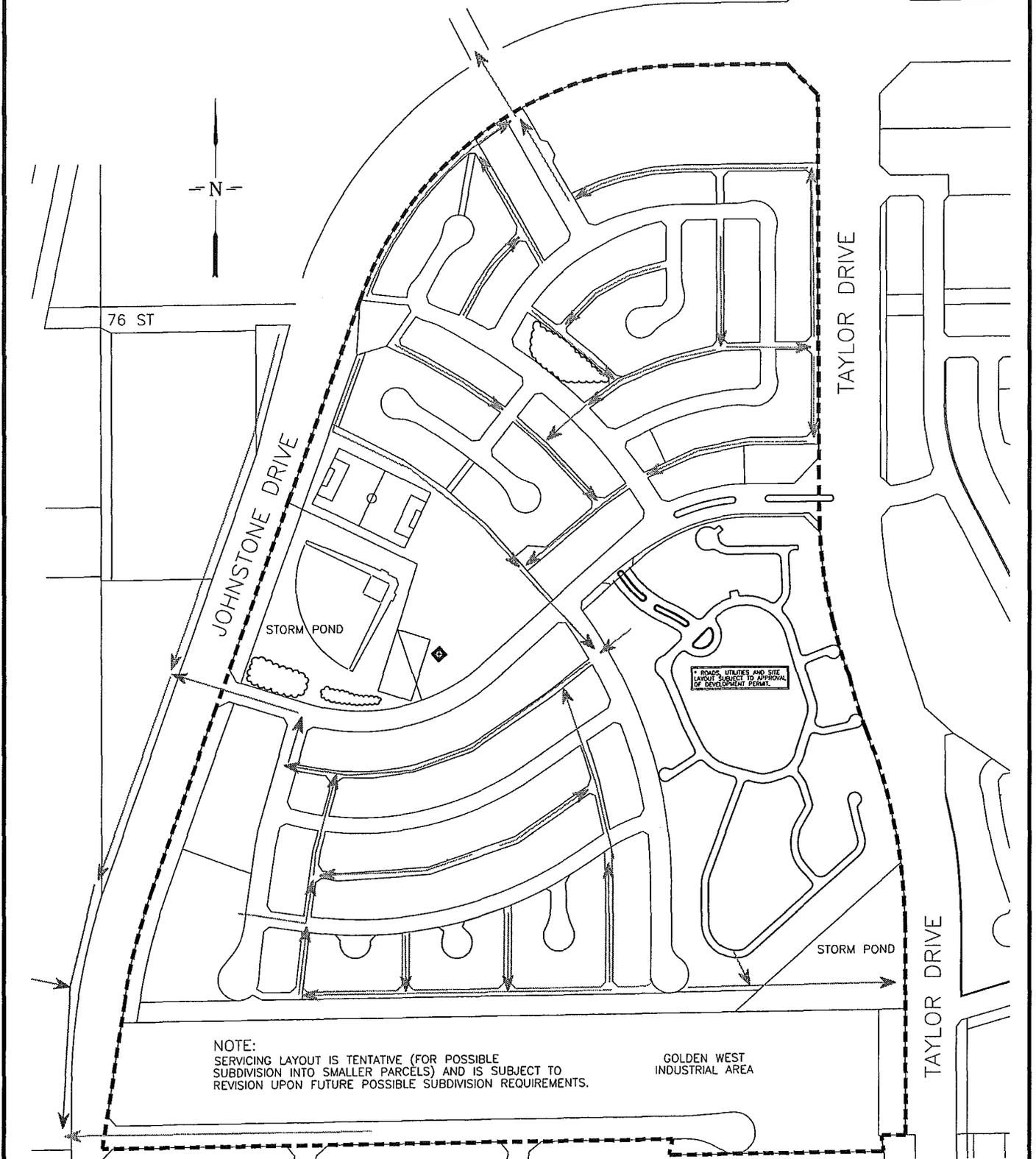


DATE DRAWN: FEBRUARY 24, 2006
 DRAWN BY: BLZ
 SCALE: 1:5000
 LOCATION: \PROJS\Johnstone Park\NASP\
 April Revisions\FIGURE 8 - WATER DISTRIBUTION.dwg
 REVISED: April 26, 2007

LEGEND:
 - - - - - OUTLINE BOUNDARY
 ——— FEEDER WATER MAIN
 - - - - - WATER MAIN
 ○ HYDRANT

**FIGURE 8
 WATER
 DISTRIBUTION**

CAROLINA HOMES INC. NEIGHBOURHOOD AREA STRUCTURE PLAN



NOTE:
SERVICING LAYOUT IS TENTATIVE (FOR POSSIBLE
SUBDIVISION INTO SMALLER PARCELS) AND IS SUBJECT TO
REVISION UPON FUTURE POSSIBLE SUBDIVISION REQUIREMENTS.

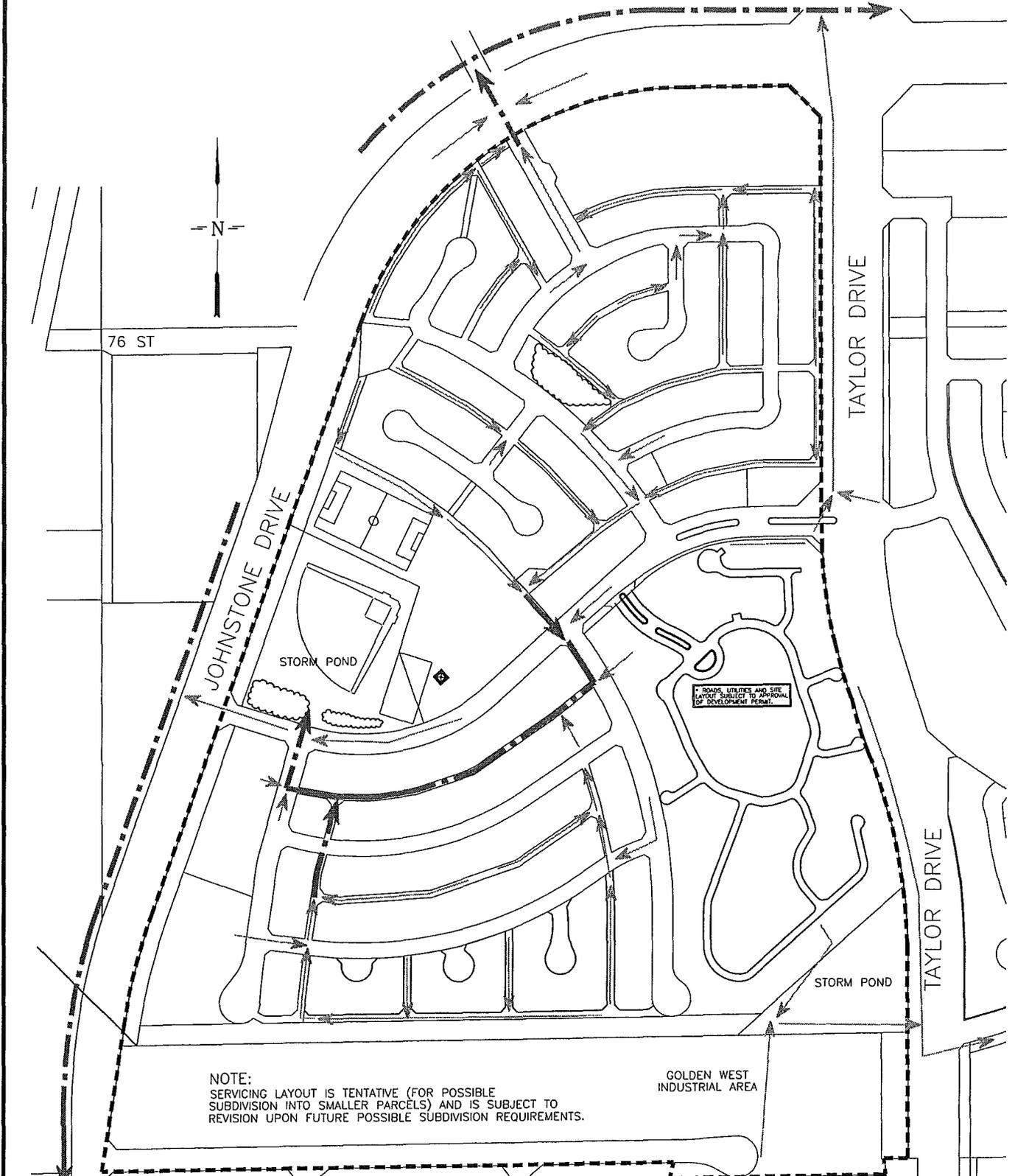
GOLDEN WEST
INDUSTRIAL AREA

- LEGEND:**
- OUTLINE BOUNDARY
 - ← 200mm SANITARY
 - ← 250mm SANITARY
 - ← 300mm SANITARY
 - ← 450mm SANITARY

DATE DRAWN: FEBRUARY 23, 2006
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SCALE: 1:5000
LOCATION: \PROJS\Johnstone Park\NASP\
April Revisions\FIGURE 9 - SANITARY SEWERS.dwg
REVISED: April 26, 2007

**FIGURE 9
SANITARY
SEWERS**

CAROLINA HOMES INC. NEIGHBOURHOOD AREA STRUCTURE PLAN



NOTE:
SERVICING LAYOUT IS TENTATIVE (FOR POSSIBLE
SUBDIVISION INTO SMALLER PARCELS) AND IS SUBJECT TO
REVISION UPON FUTURE POSSIBLE SUBDIVISION REQUIREMENTS.

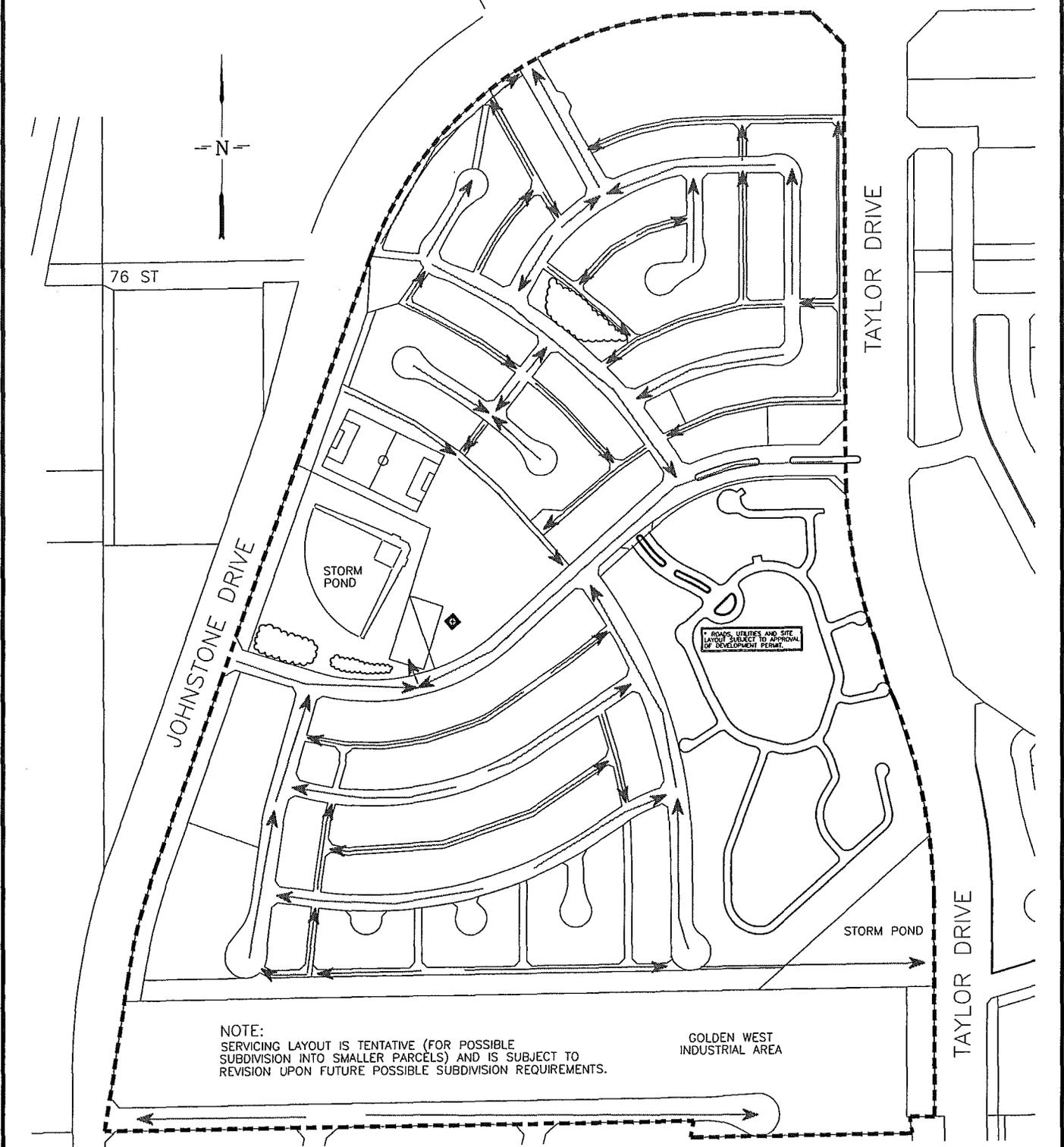
GOLDEN WEST
INDUSTRIAL AREA

DATE DRAWN: FEBRUARY 23, 2006
DRAWN BY: BLZ
SCALE: 1:5000
April Revisions\LOCATION\PROJ\Johnstone Park\NARP\
FIGURE 10 - STORM SEWERS.dwg
REVISED: April 26, 2007

LEGEND:
 - - - - - OUTLINE BOUNDARY
 ← → MINOR STORM
 ← = → STORM TRUNK

**FIGURE 10
STORM SEWERS**

CAROLINA HOMES INC. NEIGHBOURHOOD AREA STRUCTURE PLAN



NOTE:
SERVICING LAYOUT IS TENTATIVE (FOR POSSIBLE
SUBDIVISION INTO SMALLER PARCELS) AND IS SUBJECT TO
REVISION UPON FUTURE POSSIBLE SUBDIVISION REQUIREMENTS.

GOLDEN WEST
INDUSTRIAL AREA

LEGEND:

- OUTLINE BOUNDARY
- ← DIRECTION FLOW IN ROADS
- ← DIRECTION FLOW IN LANES

**FIGURE 11
OVERLAND
DRAINAGE**

DATE DRAWN: FEBRUARY 24, 2006
DRAWN BY: BLZ
SCALE: 1:5000
April Revisions\LOCATION\PROJS\Johnstone Park\NASP\
FIGURE 11 - OVERLAND DRAINAGE.dwg
REVISED: April 26, 2007

BYLAW NO. 3357/N-2007

Being a bylaw to amend Bylaw No. 3357/2006, the Land Use Bylaw of the City of Red Deer.

COUNCIL OF THE CITY OF RED DEER, ALBERTA, ENACTS AS FOLLOWS:

1. That "Use District Map J19 and J20" contained within "Schedule A" of the Land Use Bylaw is hereby amended in accordance with Land Use District Map No. 10 attached hereto and forming part of the bylaw.

READ A FIRST TIME IN OPEN COUNCIL this day of 2007.

READ A SECOND TIME IN OPEN COUNCIL this day of 2007.

READ A THIRD TIME IN OPEN COUNCIL this day of 2007.

AND SIGNED BY THE MAYOR AND CITY CLERK this day of 2007.

MAYOR

CITY CLERK

Proposed Amendment to Land Use Bylaw 3357/2006

